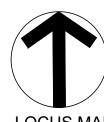
# EAST GRANBY HIGH SCHOOL Exterior Door Replacement

95 SOUTH MAIN STREET EAST GRANBY, CT 06026 BID ISSUE - AUGUST 2, 2024 - PROJECT No. 2024.013

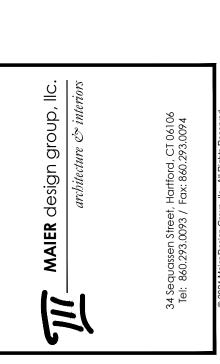






Architect

95 South Main Street
East Granby, CT 06026
BID ISSUE - August 2, 2024 - PROJECT No. 20



# ABBREVIATIONS GAUGE REINFORCING GALV. GALVANIZED ANCHOR BOLT REQ'D. REQUIRED G.B. AIR CONDITIONING GRAB BAR RESIL. RESILIENT G.C. ACOUSTICAL GENERAL CONTRACTOR RET. RETAINING AC.T. ACOUSTICAL TILE GLASS REV. REVISION GLZ. GMU. GRD. GR. R.O. **ROUGH OPENING** ADJ. GLAZING ADJUSTABLE A.F.F. GLAZED MASONRY UNIT R.O.W. RIGHT OF WAY ABOVE FINISHED FLOOR AGGREGATE GROUND RUBBER TILE AGGR. A.H.U. AIR HANDLING UNIT GRADE R.W.L. RAIN WATER LEADER GWB GYPSUM WALLBOARD ALTERNATE S. FPFG. ALUM. ALUMINUM SPRAYED ON FIREPROOFING H.B. HOSE BIBB ANOD. ANODIZED SOLID CORE HC HANDICAPPED SCHED. APPR. APPROVED SCHEDULE **HOLLOW CORE** S.D. SOAP DISPENSER ASPH. ASPHALT HDWD. HARDWOOD SECT. SECTION HDWE. HARDWARE BSMT. S.F. **BASEMENT** SQUARE FOOT HM. **HOLLOW METAL** SH. BOARD SHELF HORIZ. SHWR. HORIZONTAL BEV. SHOWER BEVEL HTG. B.F. BOTTOM OF FOOTING HEATING SHEET HGT. SIM. HEIGHT BITUM **BITUMINOUS** SIMILAR HYD. HYDRANT SAN. SANITARY BLDG. BUILDING H.R. S.N.D. HANDRAIL SANITARY NAPKIN DISPENSER BLK. BLOCK SPEC. BLKG. **BLOCKING** SPECIFICATIONS INSIDE DIAMETER SPKLR. BEAM SPRINKLER INSIDE FACE S.P.R. BOT. BOTTOM SINGLE PLY ROOF INCAND. INCANDESCENT SQ. SQUARE BRK. BRICK INCL. INCLUDE S.F. B.U.R. **BUILT UP ROOFING** SQUARE FEET INFO. INFORMATION S.S. SERVICE SINK INSUL. INSULATION ST. STL. CAB. **CABINET** STAINLESS STEEL INT. CATCH BASIN INTERIOR STA. STATION C.B. INV. INVERT STD. STANDARD CEM. CEMENT I.P.S. IRON PIPE SIZE ST. FTG. STEP FOOTING CERAMIC STIFF. STIFFENERS CAST IRON J.C. JANITOR CLOSET STL. STEEL C.J. CONTROL JOINT JST. JOIST STL. JST. STEEL JOIST CLG. CEILING JOINT STOR. STORAGE CL. CLOSET S.T.C. SOUND TRANSMISSION CLASS C.M.U. CONCRETE MASONRY UNIT LAD. LADDER **STRUCT** STRUCTURAL C.O. **CLEAN OUT** LAM. LAMINATED SURF. SURFACE COL. COLUMN LAV. LAVATORY SUSP. SUSPEND CONC. CONCRETE LKR. LOCKER S. & V. STAIN & VARNISH CONF. CONFERENCE LINEAR FOOT SYM. SYMMETRICAL CONT. CONTINUOUS LIVE LOAD SYS. SYSTEM COORD. COORDINATE LIGHT CORR. CORRIDOR, CORRUGATED TREAD CARPET MAINTENANCE MAINT T & B TOP & BOTTOM CTR. CENTER MAS. MASONRY T. BD. TACKBOARD C.Y. CUBIC YARD MATL. MATERIAL TB. TOWEL BAR MECH. MECHANICAL TECH. TECHNICAL DEPT. DEPARTMENT MEMBRANE T/C MEMB. TOP OF CURB DETL. DETAIL MET. MEZZ. METAL TEL. TEMP. TELEPHONE D.F. DRINKING FOUNTAIN MEZZANINE **TEMPORARY** DIA. DIAMETER TERR. MFR. MANUFACTURER TERRAZZO DIM. DIMENSION T / FOUND. TOP OF FOUNDATION MIN. MINIMUM DN. DOWN MIR. MIRROR T & G **TONGUE & GROOVE** DOOR MISC. MISCELLANEOUS THK. THICK DOWNSPOUT M.O. MASONRY OPENING THRES. THRESHOLD DRY STANDPIPE D.S.P. MTD. MOUNTED TLT. TOILET DRAWING DWG. MASONRY UNIT TOILET PAPER DISPENSER DWL. DOWEL MULL. MULLION T / PR. TOP OF PIER T/S TOP OF SLAB EA. EACH NORTH T / SHLF TOP OF SHELF **EXPANSION JOINT** E.J. N.I.C. NOT IN CONTRACT T / STL. TOP OF STEEL **ELEVATION** NO. # NUMBER T / CONC TOP OF CONCRETE **ELECTRIC** ELEC. NOM. NOMINAL T.V. **TELEVISION ELEVATOR** ELEV. N.R.C. NOISE REDUCTION TYPICAL TYP. **EMERGENCY** EMERG. ENCL. **ENCLOSURE** N.T.S. NOT TO SCALE U.H. UNIT HEATER E.P. **ELECTRICAL PANEL UNDERWRITERS** EQUAL, EQUIVALENT EQ. U.L. O.A. OUTSIDE AIR LABORATORY **EQUIPMENT** EQUIP. O.C. ON CENTER UNFIN. UNFINISHED E.W. EACH WAY O.D. OUTSIDE DIAMETER UNLESS OTHERWISE ELECTRIC WATER COOLER OFFICE NOTED **EXPANSION** EXP. OHD. OPG. UR. OVERHEAD URINAL EXT. **EXTERIOR** OPENING U.V. UNIT VENTILATOR OPP. OPPOSITE F.A. FIRE ALARM VB. ΟZ OUNCE VINYL BASE F.A.P. FIRE ALARM PANEL VINYL COMPOSITION V.C.T. F.BRK. FACE BRICK PARTITION F.F. FINISH FLOOR PLATE VERT. VERTICAL F.D. FLOOR DRAIN P. LAM. PLASTIC LAMINATE VEST. VESTIBULE FDN. FOUNDATION PLAS. V.G. VERTICAL GRAIN F.E. FIRE EXTINGUISHER PLYWD. PLYWOOD V.I.F. VERIFY IN FIELD F.E.C. FIRE EXTINGUISHER CABINET PAIR VOL. VOLUME FIRE HYDRANT F.H. PREFAB. PREFABRICATED V.W.C. VINYL WALL COVERING F.H.C. FIRE HOSE CABINET PROJ. PROJECT FIN. FINISHED PROP. PROPERTY FLOOR PTD. VINYL WALL COVERING PAINTED W.C. FIXT. **FIXTURE** PAPER TOWEL DISPENSER P.T.D. WD. WOOD FLASH. FLASHING WIND. WINDOW FLEX. **FLEXIBLE** Q.T. QUARRY TILE W/O WITHOUT FLUOR. FLUORESCENT WP. WATERPROOFING F.O.C. FACE OF CONCRETE RADIUS **WORKING POINT** W. PT. F.O.M. FACE OF MASONRY R.A. RETURN AIR W.L. WORKING LINE FPRFG. FIREPROOFING RESILIENT RESIL. WALL SLEEVE W.S. F.R. FIRE RETARDANT TREATED RECPT. RECEPTACLE WAINS. WAINSCOT FT. REF. REFERENCE WT. WEIGHT

F.T.R.

FURR.

FINNED TUBE RADIATION

**FURRING** 

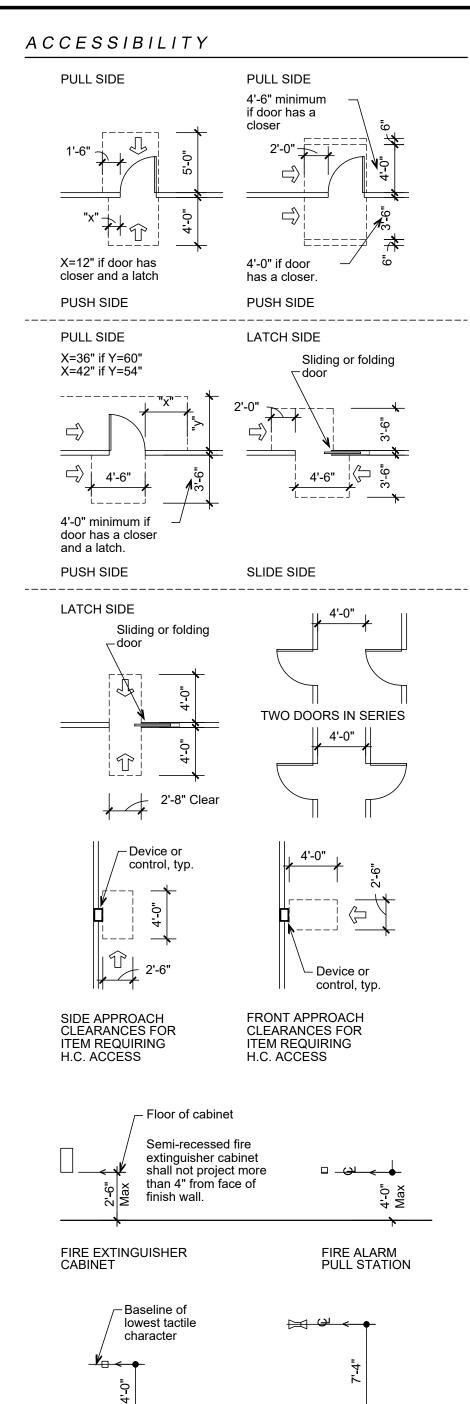
REFL.

REF. REG.

REFLECTED

REGISTER

REFRIGERATOR



ACCESSIBLE AND TACTILE SIGNAGE

WELDED WIRE FABRIC

YARD

WWF.

YD.

FIRE HORN AND LIGHT

# LIST OF DRAWINGS Title Status Sheet Revision Title Sheet 08/02/2024 Issued G000 General Information 08/02/2024 Issued -G001 A100 Master Building Location Plan 08/02/2024 Issued A101 08/02/2024 Issued Area One Floor Plan 08/02/2024 Issued Area Two Floor Plan

# A103 08/02/2024 Issued Area Three Floor Plan A200 08/02/2024 Issued Door Schedule and Elevations A201 08/02/2024 Issued Details

# CODE INFORMATION

**GENERAL** 

Governing Codes: Connecticut State Building Code (2021 IBC with 2022 CT Supplement) 2021 International Existing Building Code (IEBC), 2021 CT State Fire Safety Code, ICC/ANSI A117.1-2017.

Code Review based on 2021 IBC. Existing Use: E Education.

NO CHANGE OF USE.

Type of Construction: Existing Type IIB, Non-Combustible/Unprotected.

Project is deemed as a 'REPAIR' under Chapter 4 of the IEBC "Replacement of building elements in kind, maintaining the established and current means of egress

> East Granby High School Exterior Door Replacement

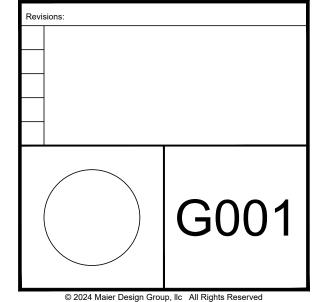
95 SOUTH MAIN STREET EAST GRANBY, CT 06026

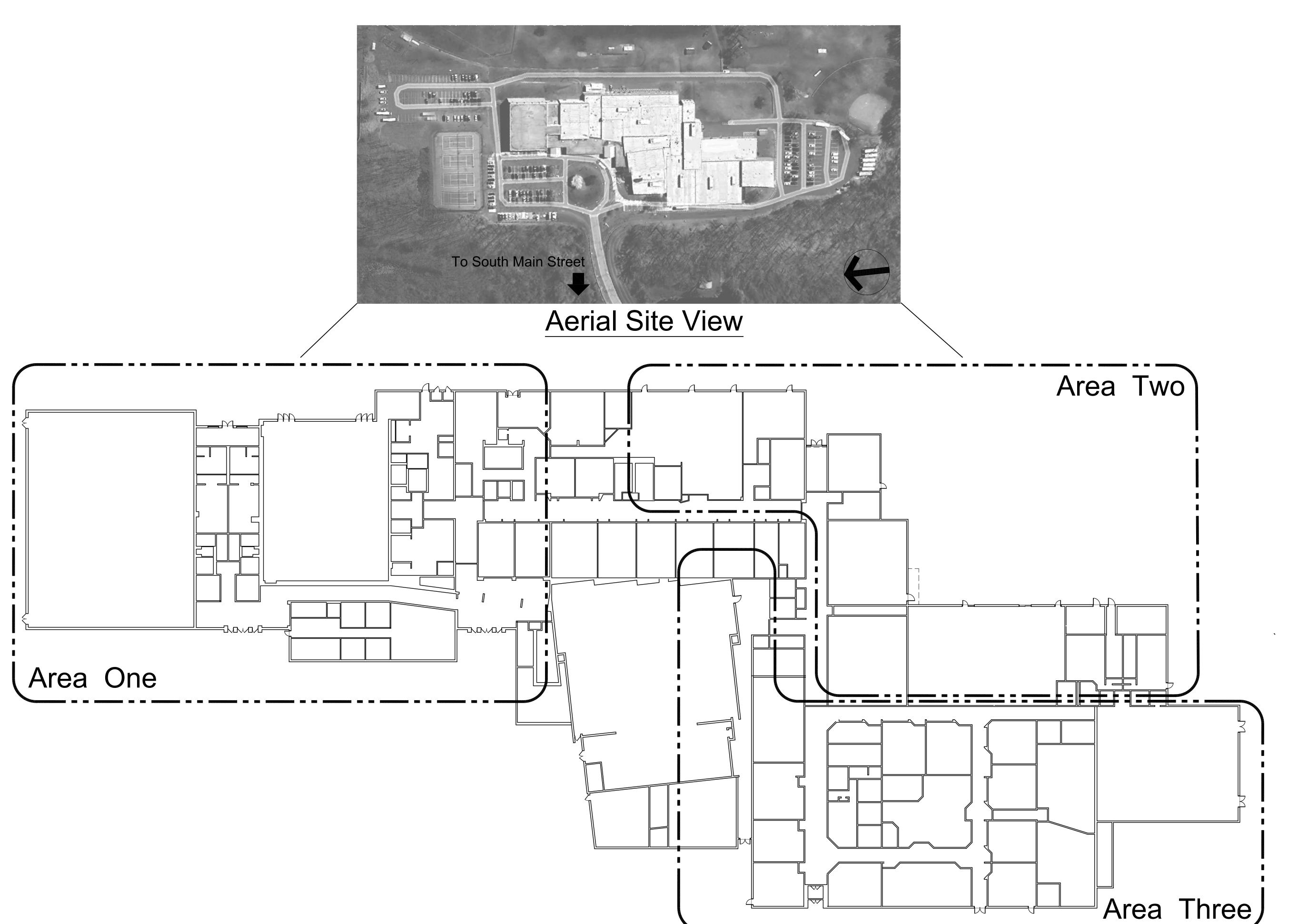
MAIER design group, llc. architecture & interiors

> 34 Sequassen Street, Hartford, CT 06106 Tel: 860.293.0093 / Fax: 860.293.0094

# **GENERAL INFORMATION** SHEET

Project Number:	Issue Date:
2024.013	Aug. 2, 2024
Scale:	CAD File:
AS NOTED	24013_G001
Drawn By:	Checked By:
map	EAL





East Granby High School
Exterior Door Replacement

95 SOUTH MAIN STREET EAST GRANBY, CT 06026

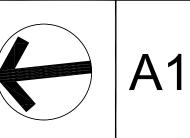


34 Sequassen Street, Hartford, CT 06106 Tel: 860.293.0093 / Fax: 860.293.0094

# MASTER BUILDING LOCATION PLAN

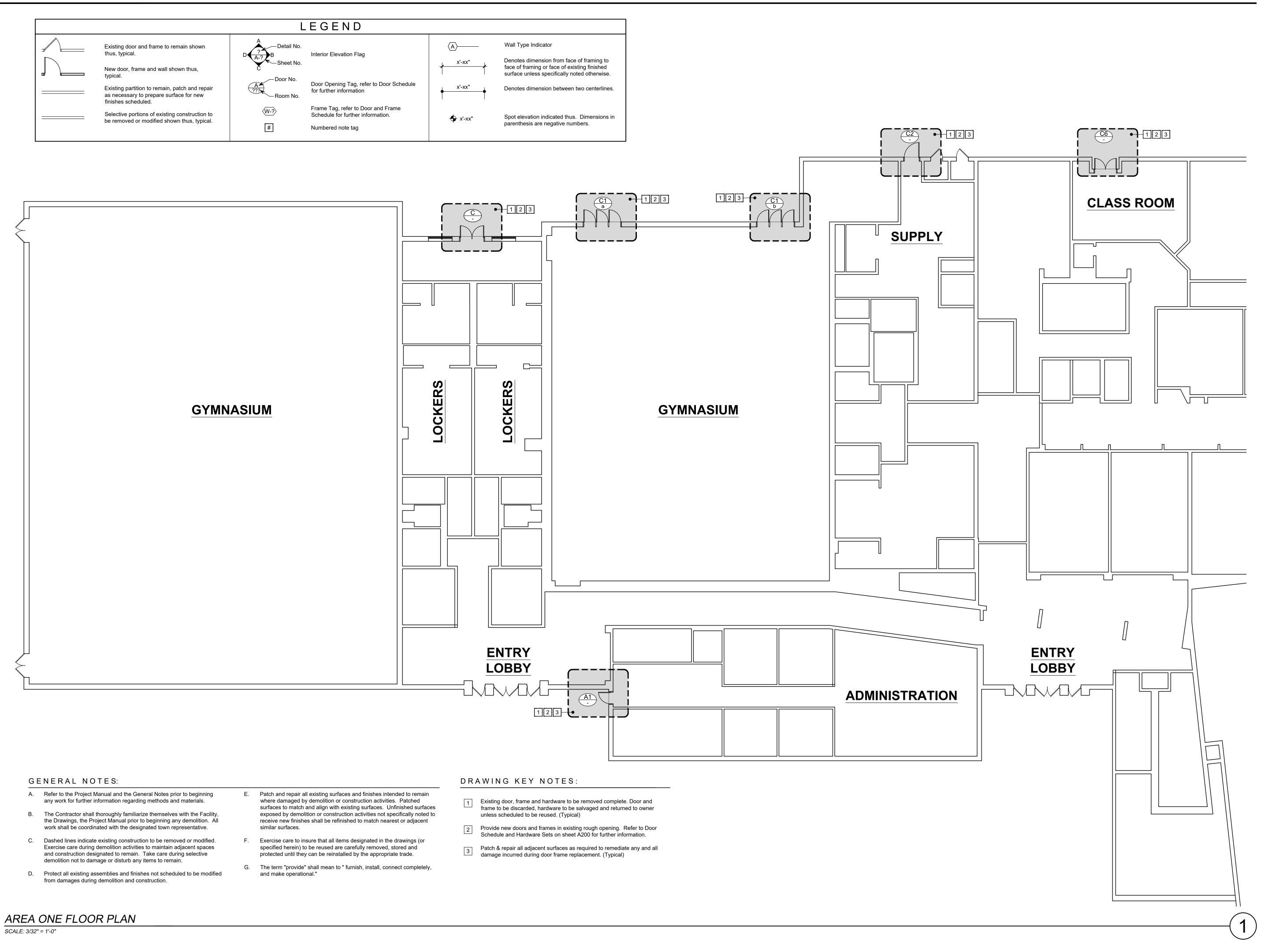
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2024.013	Aug 2, 2024
Scale:	CAD File:
AS NOTED	24013_A100
Drawn By:	Checked By:
map	EAL

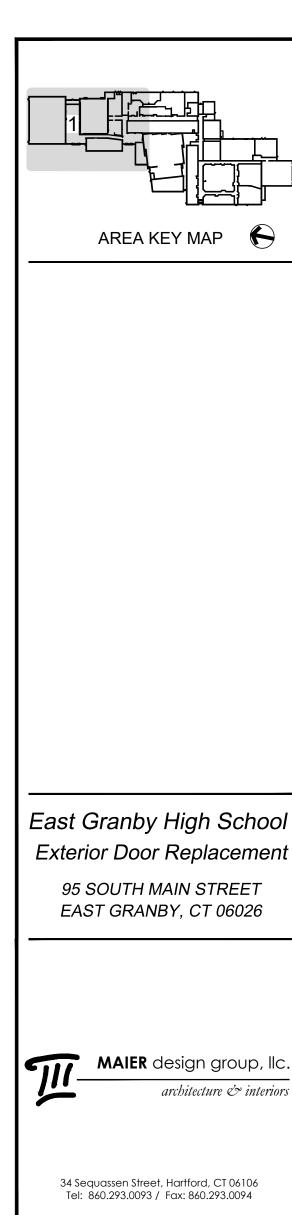
Revisions:



MASTER BUILDING LOCATION PLAN

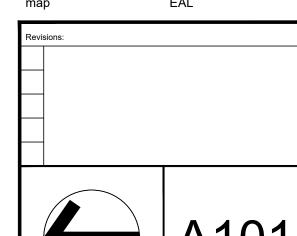
SCALE: N.T.S.

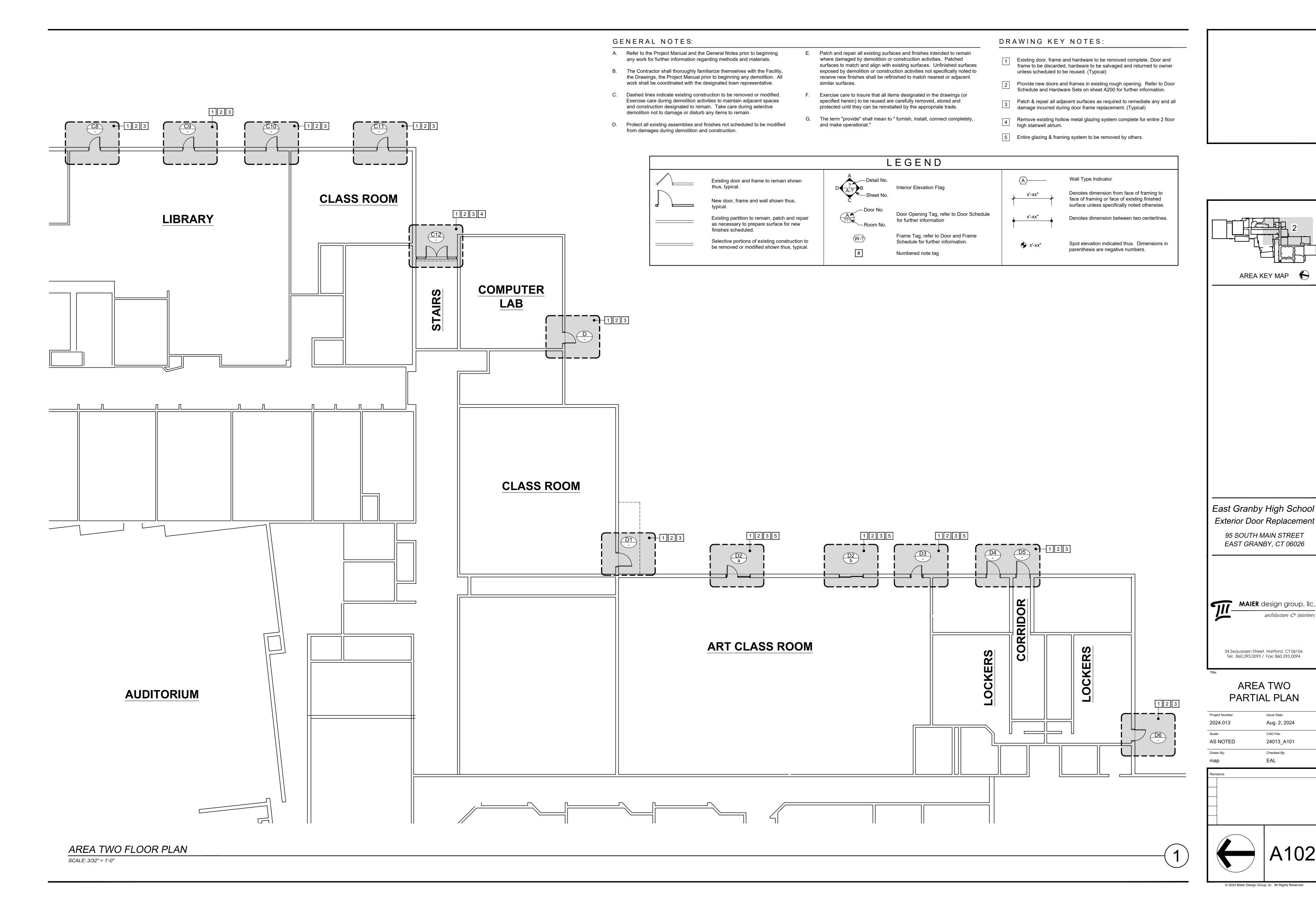




# AREA ONE PARTIAL PLAN

Project Number:	Issue Date:
2024.013	Aug. 2, 2024
Scale:	CAD File:
AS NOTED	24013_A101
Drawn By:	Checked By:
map	EAL
Revisions:	





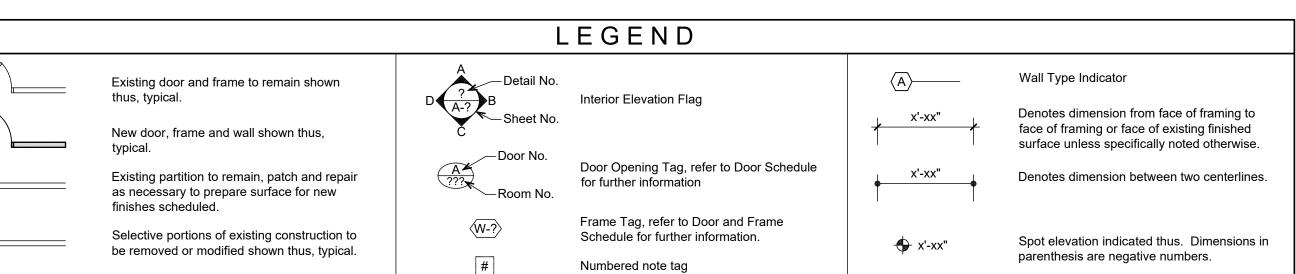
# GENERAL NOTES:

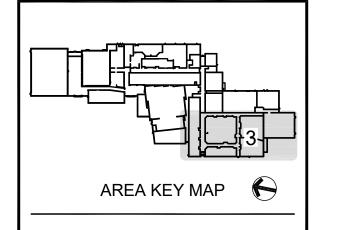
- A. Refer to the Project Manual and the General Notes prior to beginning any work for further information regarding methods and materials.
- B. The Contractor shall thoroughly familiarize themselves with the Facility, the Drawings, the Project Manual prior to beginning any demolition. All work shall be coordinated with the designated town representative.
- C. Dashed lines indicate existing construction to be removed or modified. Exercise care during demolition activities to maintain adjacent spaces and construction designated to remain. Take care during selective demolition not to damage or disturb any items to remain.
- D. Protect all existing assemblies and finishes not scheduled to be modified
- E. Patch and repair all existing surfaces and finishes intended to remain where damaged by demolition or construction activities. Patched surfaces to match and align with existing surfaces. Unfinished surfaces exposed by demolition or construction activities not specifically noted to receive new finishes shall be refinished to match nearest or adjacent similar surfaces.
- F. Exercise care to insure that all items designated in the drawings (or specified herein) to be reused are carefully removed, stored and protected until they can be reinstalled by the appropriate trade.
- G. The term "provide" shall mean to " furnish, install, connect completely, and make operational."

# DRAWING KEY NOTES:

**GYMNASIUM** 

- Existing door, frame and hardware to be removed complete. Door and frame to be discarded, hardware to be salvaged and returned to owner unless scheduled to be reused. (Typical)
- Provide new doors and frames in existing rough opening. Refer to Door Schedule and Hardware Sets on sheet A200 for further information.
- Patch & repair all adjacent surfaces as required to remediate any and all damage incurred during door frame replacement. (Typical)
- Remove existing hollow metal glazing system complete for entire 2 floor high stairwell atrium.
- 5 Entire glazing & framing system to be removed by others.





East Granby High School Exterior Door Replacement

95 SOUTH MAIN STREET EAST GRANBY, CT 06026

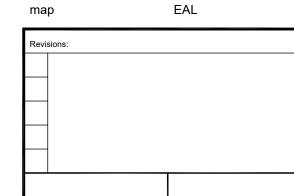
1 2 3

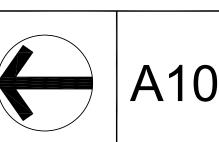
MAIER design group, llc. architecture & interiors

34 Sequassen Street, Hartford, CT 06106 Tel: 860.293.0093 / Fax: 860.293.0094

# AREA THREE FLOOR PLAN

Project Number:	Issue Date:
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Scale:	CAD File:
AS NOTED	24013_A101
Drawn By:	Checked By:
map	EAL



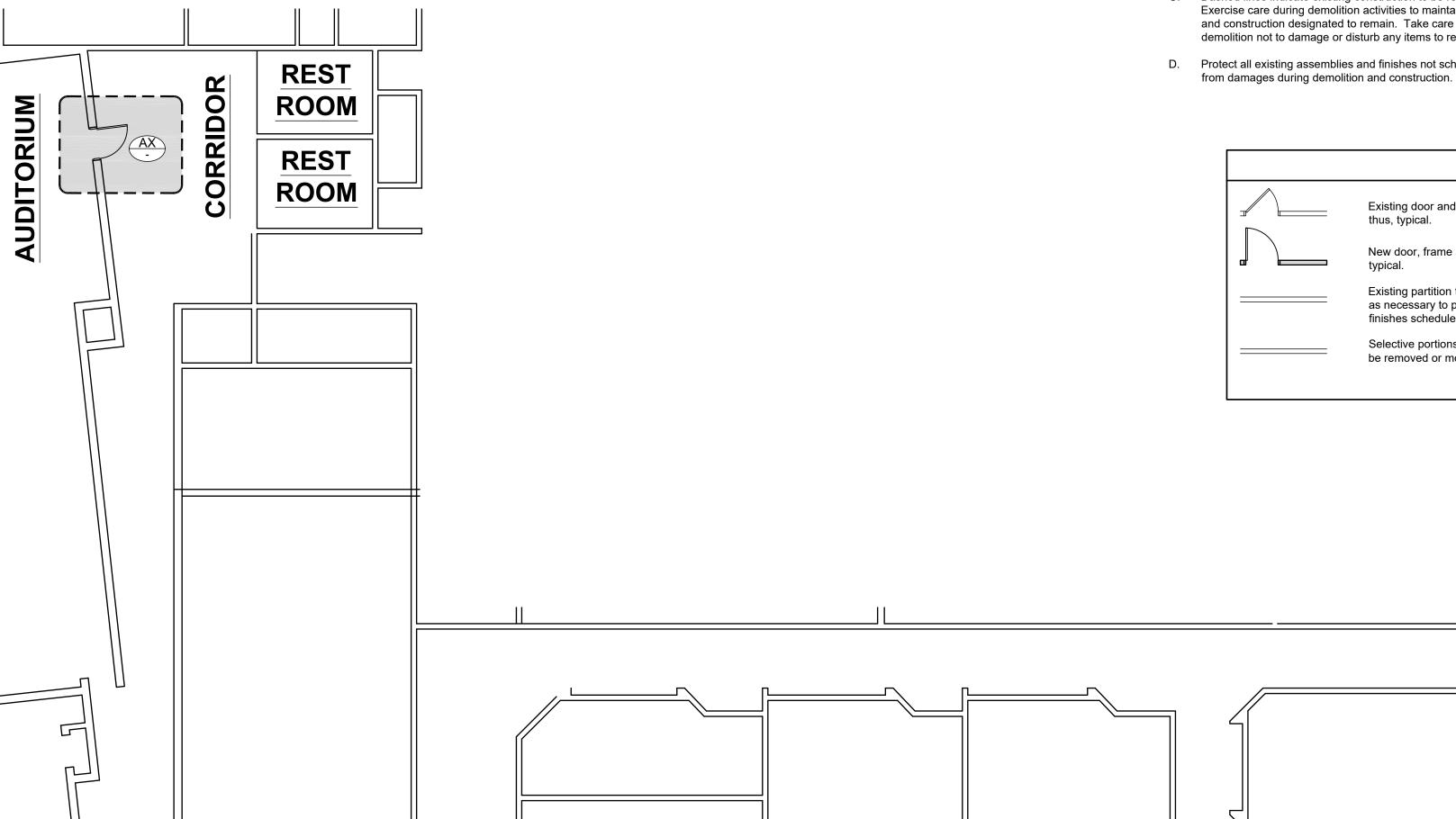


123 1 2 3 AREA THREE FLOOR PLAN SCALE: 3/32" = 1'-0"

**CLASS** 

**ROOM** 

ORRIDOR



CORRIDOR

**CLASS** 

**ROOM** 

1 2 3

1 2 3

	HARDWARE SETS	
TAG	DESCRIPTION	DOORS
Α	Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handles on Both Sides, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	A1, A7, C2
В	Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handle at Exterior, Rim Mounted Panic Device on Interior With Electric Latch Retraction, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	C6, D1
С	Continuous Hinge, ADA Compliant Overhead Closer, Cylinder Lockset with Lever Handles on Both Sides, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	D2a, D2b, D4
D	Continuous Hinge, ADA Compliant Overhead Closer, No Exterior Hardware, Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	C8, C9, C10, C11, D, D5
E	Continuous Hinge, ADA Compliant Overhead Closer, Lever Handle at Exterior, Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	A10
F	Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handles at Exterior, Rim Mounted Panic Device With Electric Latch Retraction on Interior, Reinstalled Airphone, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	D3
G	Active Leaf: Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handle on Exterior and Rim Mounted Panic Device on Interior With Electric Latch Retraction, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.  Inactive Leaf: Continuous Hinge, ADA Compliant Overhead Closer, Tubular Pull on Exterior and Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	С
Н	Active Leaf: Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handle on Exterior and Rim Mounted Panic Device on Interior With Electric Latch Retraction, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.  Inactive Leaf: Continuous Hinge, ADA Compliant Overhead Closer, Tubular Pull on Exterior and Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike. Removable Astragal Between Leaves.	A9, D7a
I	Each Leaf: Continuous Hinge, ADA Compliant Overhead Closer, No Exterior Hardware, Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	C1a, C1b
J	Each Leaf: Continuous Hinge, ADA Compliant Overhead Closer, No Exterior Hardware, Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike. Removable Astragal Between Leaves.	A6, C6, D7b
К	Active Leaf: Continuous Hinge, ADA Compliant Overhead Closer, Reinstalled Electronic Keypad Lockset with Lever Handle on Exterior and Rim Mounted Panic Device on Interior With Electric Latch Retraction, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.  Inactive Leaf: Continuous Hinge, ADA Compliant Overhead Closer, No Exterior Hardware and Rim Mounted Panic Device on Interior, Weatherstripping, Bottom Sweep, Kickplate on Interior Side, ADA Compliant Threshold, Pickplate at Strike.	C12

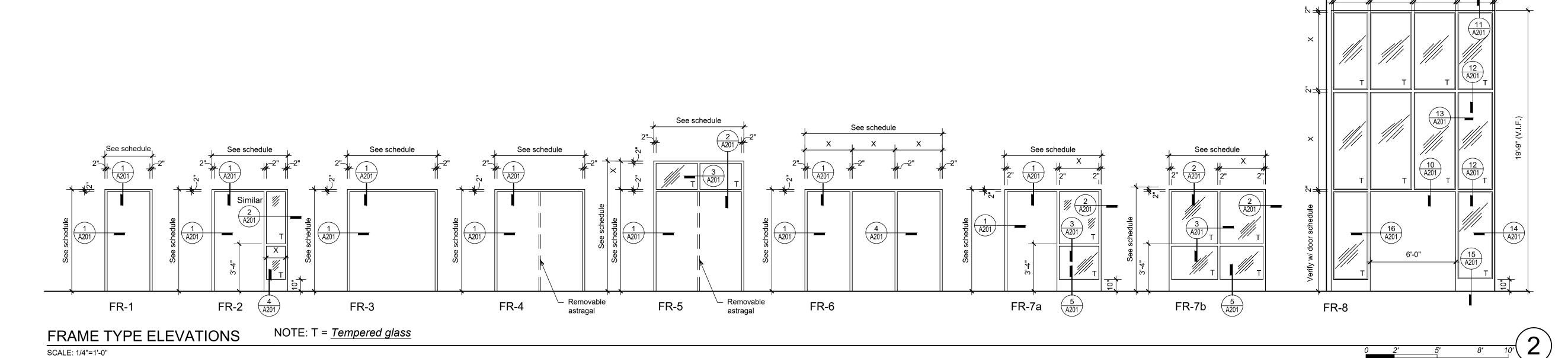
No. 3 Verify all existing rough opening dimensions prior to ordering any frames.

			DOOR SCHEDULE - EAST GRANBY H.S.														
	DOORS	Area One															
rstripping, Bottom Sweep, Kickplate on Interior Side,	A1, A7, C2	Door Tag	Location	Elevation	Width (W)	Height (H)	Material	Door Finish	Frame Type	Frame Depth	Jamb Detail	Head Detail	Frame Finish	Hardware	Function	Rating	Notes
d Panic Device on Interior With Electric Latch	C6, D1	A1	Main Office	DR-1	2'-11"	6'-11"	НМ	PAINT	FR-1	10"	1 / A201	1 / A201	PAINT	А	ENTRY	N/A	
eep, Kickplate on Interior Side, ADA Compliant	D2a, D2b, D4	С	Vestibule (Gymnasiums)	DR-7	2 @ 3'-0"	7'-0"	HM/GLASS	PAINT	FR-5	12 1/2"	1 / A201	2 / A201	PAINT	G	EGRESS	N/A	
		C1a	Gymnasium 2	DR-2	3 @ 3'-0"	7'-0"	HM/GLASS	PAINT	FR-6	16"	1 / A201	1 / A201	PAINT	I	EGRESS	N/A	
Bottom Sweep, Kickplate on Interior Side, ADA	C8, C9, C10, C11, D, D5	C1b	Gymnasium 2	DR-2	3 @ 3'-0"	7'-0"	HM/GLASS	PAINT	FR-6	16"	1 / A201	1 / A201	PAINT	I	EGRESS	N/A	
g, Bottom Sweep, Kickplate on Interior Side, ADA	A10	C2	Supply	DR-1	3'9"	7'-8"	НМ	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	А	EGRESS	N/A	
d Panic Device With Electric Latch Retraction on	D3	C6	Corridor	DR-5	2 @ 2'-5"	7'-7"	НМ	PAINT	FR-4	7"	1 / A201	1 / A201	PAINT	В	EGRESS	N/A	
ke. nd Rim Mounted Panic Device on Interior With	6	Area Two															
nd Kill Modified Paris Device of Interior With		C8	Library	DR-1	3'-0"	7'-0"	НМ	PAINT	FR-1	9"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
Weatherstripping, Bottom Sweep, Kickplate on		C9	Library	DR-1	3'-0"	7'-0"	НМ	PAINT	FR-1	6"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
nd Rim Mounted Panic Device on Interior With	A9, D7a	C10	Library	DR-1	3'-1"	7'-8"	НМ	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
	7.6, 57.6	C11	Classroom	DR-1	3'-0"	7'-0"	НМ	PAINT	FR-1	6"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
Weatherstripping, Bottom Sweep, Kickplate on		C12	Corridor (2 Stories)	DR-7	2 @ 3'-0"	7'-7"	ALUM / GLASS	ANODIZED	FR-8	6"	SEE FR-8	SEE FR-8	ANODIZED	К	EGRESS	N/A	
stripping, Bottom Sweep, Kickplate on Interior Side,	C1a, C1b	D	Maintanence Shop	DR-1	3'-0"	7'-0"	НМ	PAINT	FR-1	9 1/2"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
	16.00.07	D1	Tech Ed.	DR-1	3'-9"	7'-6"	НМ	PAINT	FR-1	16"	1 / A201	1 / A201	PAINT	В	EGRESS	N/A	
rstripping, Bottom Sweep, Kickplate on Interior Side,	A6, C6, D7b	D2a	Art	DR-8	3'-0"	7'-6"	ALUM / GLASS	ANODIZED	FR-7a	12 1/2"	9 / A201	SEE FR-7a	SEE FR-7a	С	ENTRY	N/A	
nd Rim Mounted Panic Device on Interior With	C12	D2b	Art	N/A	N/A	N/A	ALUM / GLASS	ANODIZED	FR-7b	12 1/2"	14 / A201	SEE FR-7b	SEE FR-7b	N/A	N/A	N/A	
eatherstripping, Bottom Sweep, Kickplate on Interior		D3	Art	DR-4	3'-0"	7'-6"	HM/GLASS	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	F	EGRESS	N/A	
		D4	Supply	DR-1	3'-9"	7'-8"	НМ	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	С	ENTRY	N/A	
		D5	Supply	DR-1	3'-9"	7'-8"	НМ	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	D	EGRESS	N/A	
		D6	Locker	DR-1	3'-1"	7'-8"	НМ	PAINT	FR-1	12 1/2"	1 / A201	1 / A201	PAINT	J	EGRESS	N/A	
		Area Three	e														
DOOR NOTES:		D7a	Gymnasium	DR-5	2 @ 3'-0"	7'-8"	НМ	PAINT	FR-4	12 1/2"	1 / A201	1 / A201	PAINT	Н	EGRESS	N/A	
No.1 Verify all lockset functions with Owner and	coordinate keying requirements with	D7b	Gymnasium	DR-5	2 @ 3'-0"	7'-8"	НМ	PAINT	FR-4	12 1/2"	1 / A201	1 / A201	PAINT	J	EGRESS	N/A	
existing locksets.	, , ,	A6	Corridor	DR-6	2 @ 3'-0"	7'-6"	HM/GLASS	PAINT	FR-4	7"	1 / A201	1 / A201	PAINT	J	EGRESS	N/A	
No. 2 Verify all throat and anchoring conditions in	the field prior to ordering any frames.	A7	Classroom	DR-1	3'-1"	7'-8"	НМ	PAINT	FR-1	10"	1 / A201	1 / A201	PAINT	Α	ENTRY	N/A	
		۸۵	Corridor	DR-5	2 @ 3'-0"	7'-6"	ым	DAINT	ED /	10 1/2"	1 / Δ201	1 / Δ201	PAINT	н	EGRESS	N/A	

12 1/2" 1 / A201

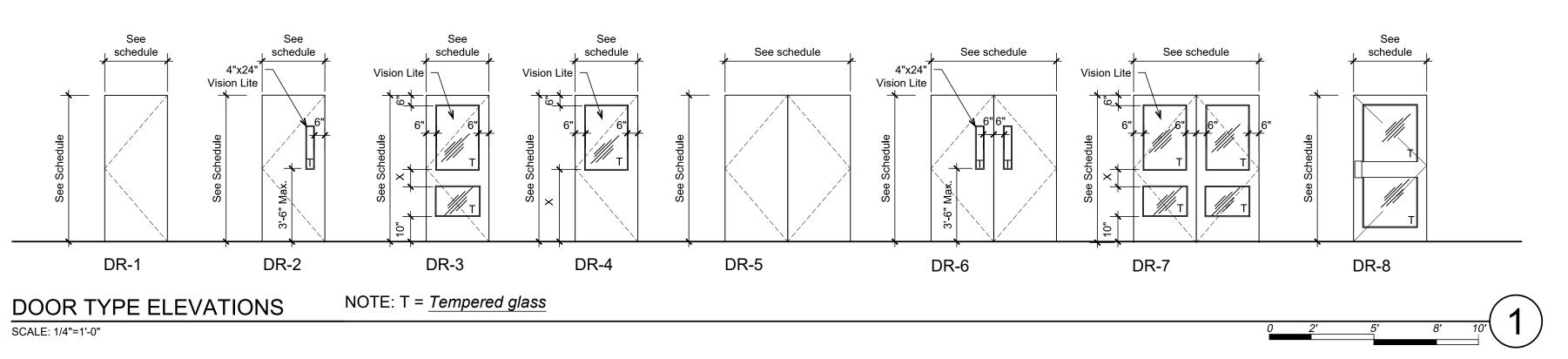
11'-6" (V.I.F.)

6'-0"



A10 Classroom

3'-1"





# DOOR SCHEDULE AND ELEVATIONS

Project Number:	Issue Date:				
2024.013	Aug. 2, 2024				
Scale:	CAD File:				
AS NOTED	24013_A200				
Drawn By:	Checked By:				
map	EAL				
Revisions:					
	$\Lambda$				
	A200				
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