



TOWN OF EAST GRANBY

INCORPORATED 1858

PLANNING DEPARTMENT
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June 3, 2024

TO: Planning & Zoning Commission
FROM: Robin Newton, AICP, CZEO, Town Planner
RE: **PZC#24-09**, Russell Road Associates, LLC; applicant, 38 Russell Road; Construct industrial use building with parking, access drives, loading dock & related infrastructure.

Staff has prepared this review for the application listed above.

General Comments:

Staff reviewed the following:

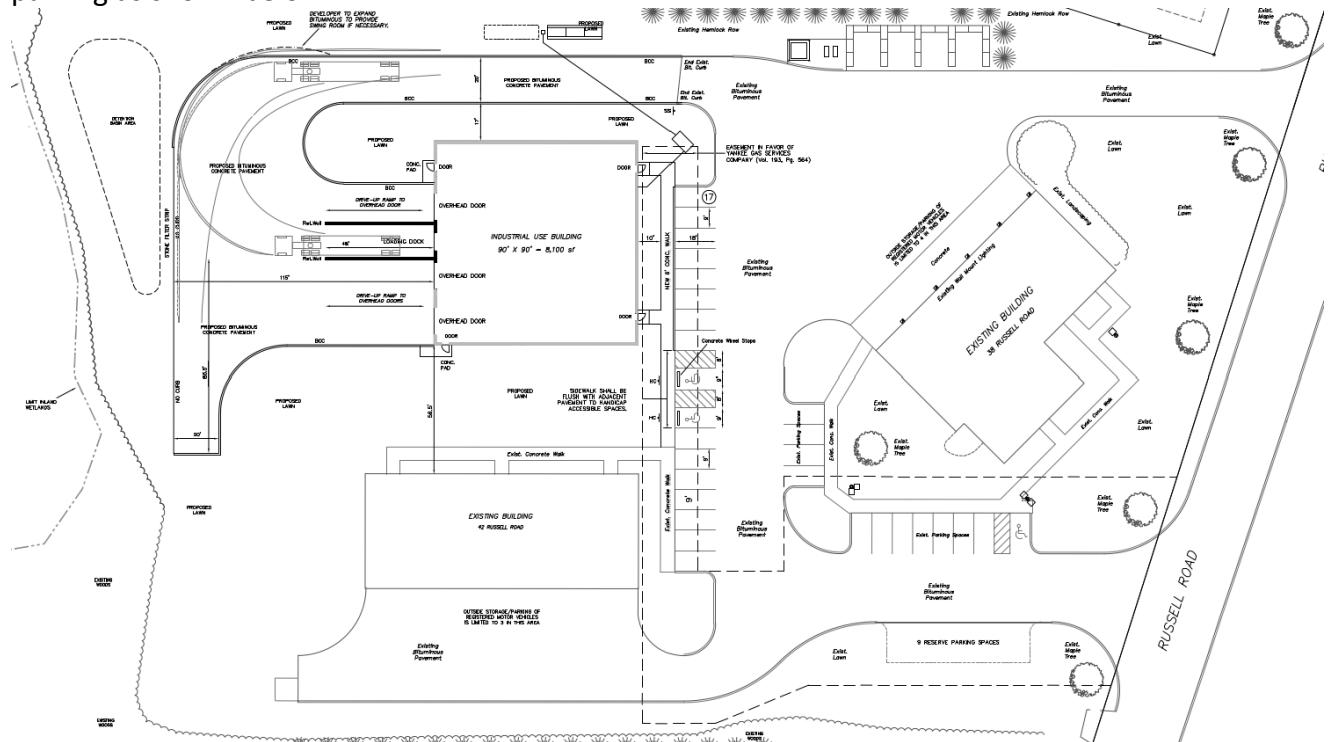
1. Plans entitled, "Modification to Approved Site Plan Prepared For Russell Road Associates, LLC, 38 Russell Road, East Granby, Connecticut, Dated April 26, 2024, Revisions through 5/31/24, Prepared by Barresi Associates, LLC" with the following Sheets:

| | |
|-----------|---|
| Sheet 1: | Cover Sheet |
| Sheet 2: | Boundary Plan |
| Sheet 3: | Existing Conditions/Site Preparation plan |
| Sheet 4: | Layout Plan |
| Sheet 5: | Grading & Erosion Control Plan |
| Sheet 6: | Utility, Lighting & Landscape Plan |
| Sheet 7: | Septic System Design & Details |
| Sheet 8: | Sedimentation & Erosion Control Notes |
| Sheet 9: | Erosion Control Details |
| Sheet 10: | Construction Details |
2. Drainage Report
3. IWWA Application
4. Town Engineer Comments

Comments:

This proposal seeks to construct an 8,100 square foot industrial use building with a loading dock and 3 garage bays. There is associated site work which includes drainage updates, bituminous driveway, septic system, parking spots to the front of the building and a proposed lawn area.

This site is already built out with two existing industrial buildings and associated driveways and parking as shown below.



Site Plan Requirements Review:

1. **Landscaping:** Section VII.A.2 requires that at least 40% of the site be landscaped. It does not appear that there is adequate landscaping to comply with this provision. A landscape buffer is not required for this proposal as it is adjacent to similar uses located in the Commerce Park A Zone.
2. **Parking-** this proposal meets the parking requirements for the proposed use.
3. **Loading Docks-** the proposed loading docks meet the width and length requirements.
4. **Signage-** there is no signage proposed as part of this site plan. Any signage will need permits.
5. **Outdoor Lighting-** the proposed outdoor lighting is shown on the plan and is minimal and interior to the lot. The type of lighting is not shown and should be provided to staff at the administrative permitting level to ensure it meets requirements for full cut off lighting and no light trespass off the property.
6. **Refuse Storage-** a location for refuse storage is not shown on the proposed plans and should be added.

If the Commission feels that all this application meets their regulations, Staff has prepared a draft motion for the Commission's consideration (motions are always prepared in the affirmative):

1. A pre-construction meeting is required with Town Staff prior to the start of any construction activities.
2. Final Plans to be submitted to the Town for review prior to any work being commenced.
3. A final mylar must be filed in the Town Clerk's Office and a paper set is to be filed with the Land Use Office.
4. The applicant must post an Erosion and Sedimentation Control Bond in an amount to be approved by the Town Engineer. The applicants engineer shall submit an estimate with all the E&S quantities for review and approval. Bond shall be in place before the start of any construction activities.
5. No work shall commence until all permit conditions are met.
6. Any conditions of approval from the Town Engineer shall be incorporated into this approval.