



TOWN OF EAST GRANBY

INCORPORATED 1858

PLANNING DEPARTMENT
PO BOX 1858 9 CENTER ST
EAST GRANBY, CONNECTICUT 06026
PHONE 1-860-413-3331 FAX 1-860-653-4017

June 9, 2024

To: Planning & Zoning Commission
From: Robin Newton, AICP, CZEO, Director of Planning and Economic Development
Re: Application #24-08, Galasso Materials, LLC-5-year special permit renewal-Quarry Excavation Activities-60 South Main Street, East Granby, CT

Plans and Submittals:

1. Land Use Application
2. Project Narrative
3. Plans Entitled, "Galasso Quarry Permit Renewal, 60 South Main Street, East Granby, CT, Sheets 1-11, Dated 5/8/24, Revisions through 5/9/24 prepared by Loureiro Engineering Associates, Inc."
 - Cover Sheet
 - Topographic Survey
 - Overall Site Area Key Map
 - Existing Conditions plan
 - Site Preparation Plan
 - Site Layout Plan
 - Overall Grading Plan
 - Detailed Grading Plan
 - Excavation Plan
 - Excavation Cross Sections

Staff Comments:

This application is for the renewal of an existing special permit for Quarry Activities located on property at 60 South Main Street by Galasso Holdings, LLC. Per the Zoning Regulations Section V.E.4.f a renewal is required every 5 years for the purpose of reviewing compliance with the approved plans and the review criteria shall include the following:

- A report from a "certified engineer" that the excavation already completed conforms with the approved plan including restoration; and
- A new site plan and a 5-year projection plan.

Staffs review focused on the above criteria as specified in the Zoning Regulations.

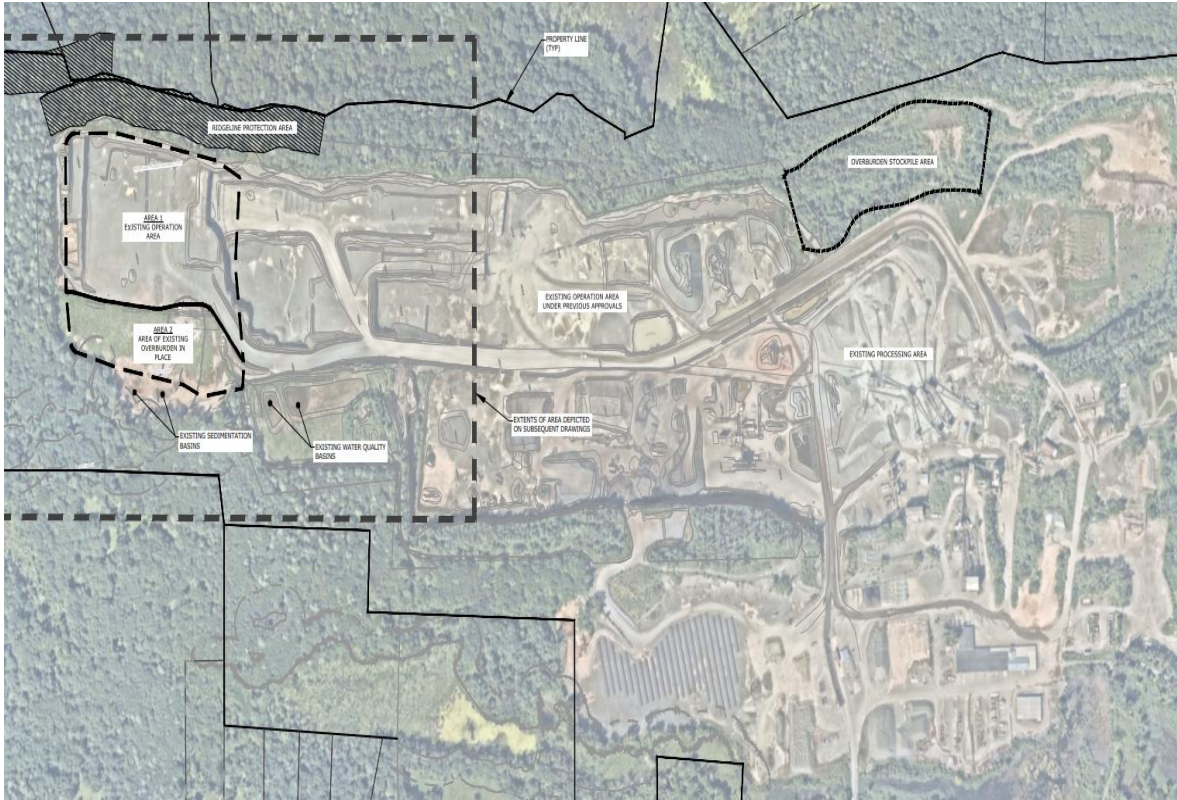
In reviewing the project narrative provided by the applicant they are looking to amend their special permit condition which limited mining to an elevation of 252 of the NGVD 29 datum. Previous to the 2014 expansion plan Galasso was mining to the 210 elevation. The 2014 expansion plan the Commission

limited the elevation to 252 to allow mining and a demonstration that the stormwater management plans, and basin constructed would adequately protect the adjacent wetland areas. This change would be consistent with the remainder of the quarry floor that has already been excavated prior to the 2014 condition and would assist in extending the life of the mine within the existing footprint.

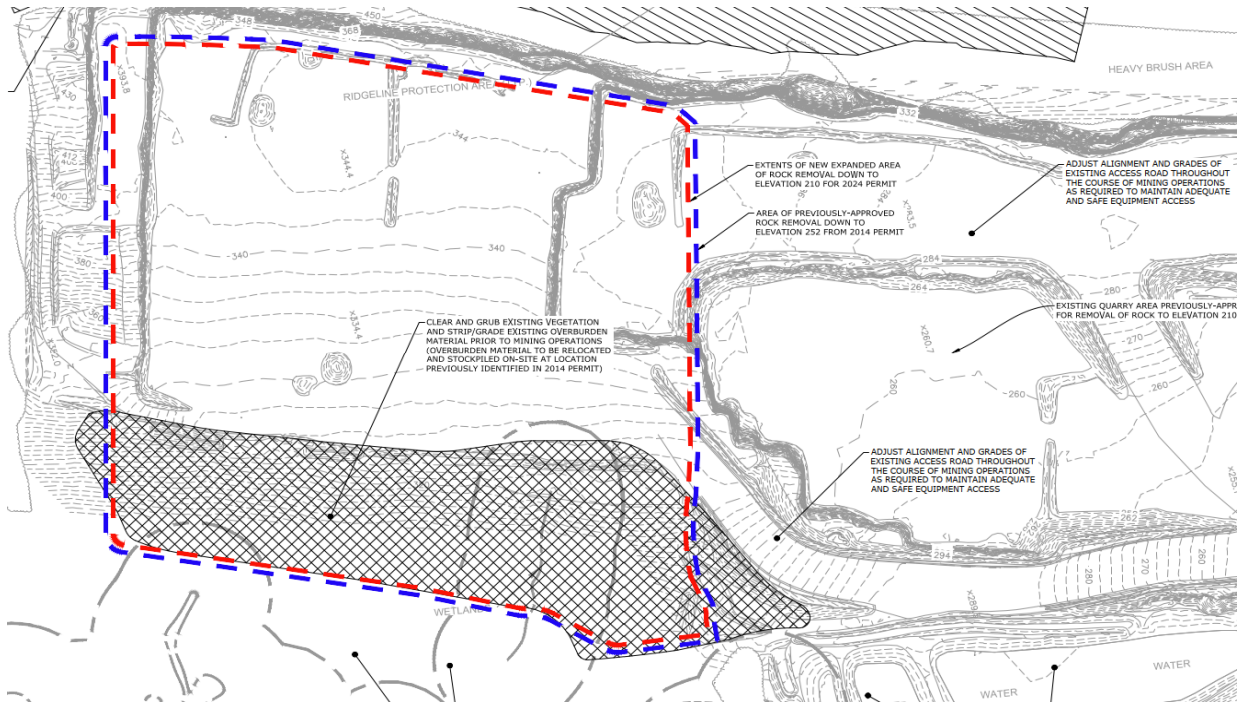
This existing condition plan shows the areas under the current 252 elevation criteria and the previous 210 elevation criteria along with location of existing water quality basins and the areas which will be subject to the 2024 renewal. This is found on Sheet C-2 of the plans.



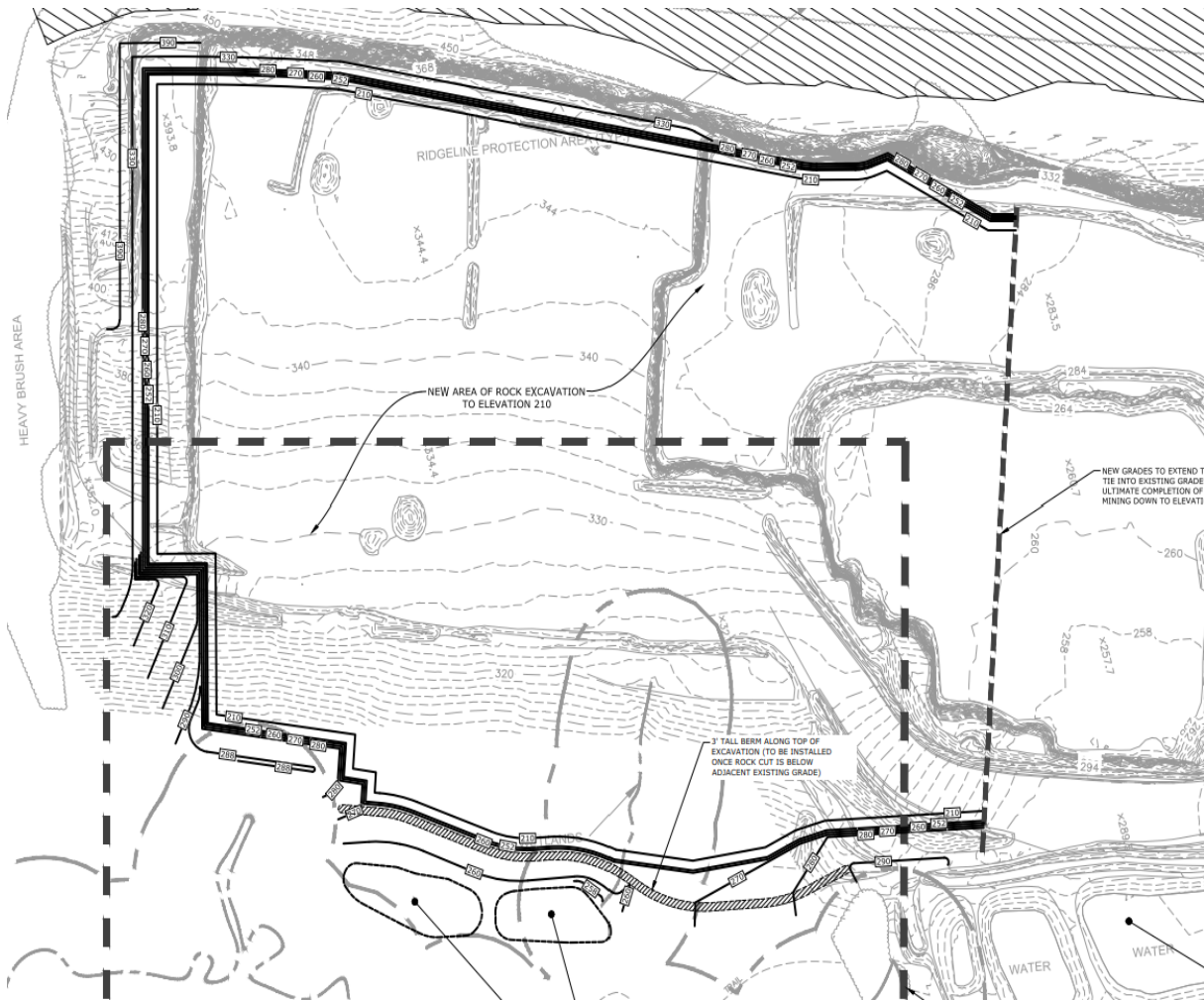
The map on the next page is an overall existing plan superimposed on an aerial view of the site with a photo from Nearmap dates August 22, 2023. This shows the Ridgeline Protection Area, Area 1: Existing operations areas, Area 2: Area of Existing Overburden, Existing Sedimentation Basins, Existing Water Quality Basins, Extent of the area being discussed on the plans in the Black Dashed outline area.



The next illustration is found on Sheet C-3 and show the areas that will be cleared and grubbed before new excavation will be completed along with the area that is already approved looking for the elevation amendment from the 252 elevation to the 210 elevation.



The below overall grading plan shows the existing excavation area being brought down to the 210 elevation and the new area to the east which is currently overburdened coming down to the same 210 elevation. There are two existing sedimentation basins shown along with a 3' tall berm which would be installed when the rock cut is below the existing adjacent grade. This would allow any water and erosion issues to be self-contained within the cut area of the project.



The area shown as wetlands above should have been removed from the plan. This area was filled in as part of a previous permit and a remediation project was completed under a previous approval. There are no wetlands being impacted as part of this application and renewal.

All comments from the Town Engineer have been addressed as of the writing of this memo.

If the Commission wishes to grant a five-year extension with the amendments requested a motion has been prepared in the for their review:

Motion to approve application #24-08, Galasso Materials, LLC-5-year special permit renewal and amendment to excavation area and depth-Quarry Excavation Activities-60 South Main Street, East Granby, CT with the following conditions:

1. A revised plan set showing the approved 2014 restoration plan updated to include the newly approved excavation elevation and amended excavation area.
2. Remove the area of wetlands shown in the area labeled as "current overburden" as it was the subject of a previous wetlands remediation approval and no longer exists.
3. Updated plans with approval letters on cover sheet to be reviewed by staff before the filing of the mylars.
4. Conditions of approval from the Town Engineer are incorporated into this approval.