

EAST GRANBY MEADOWS

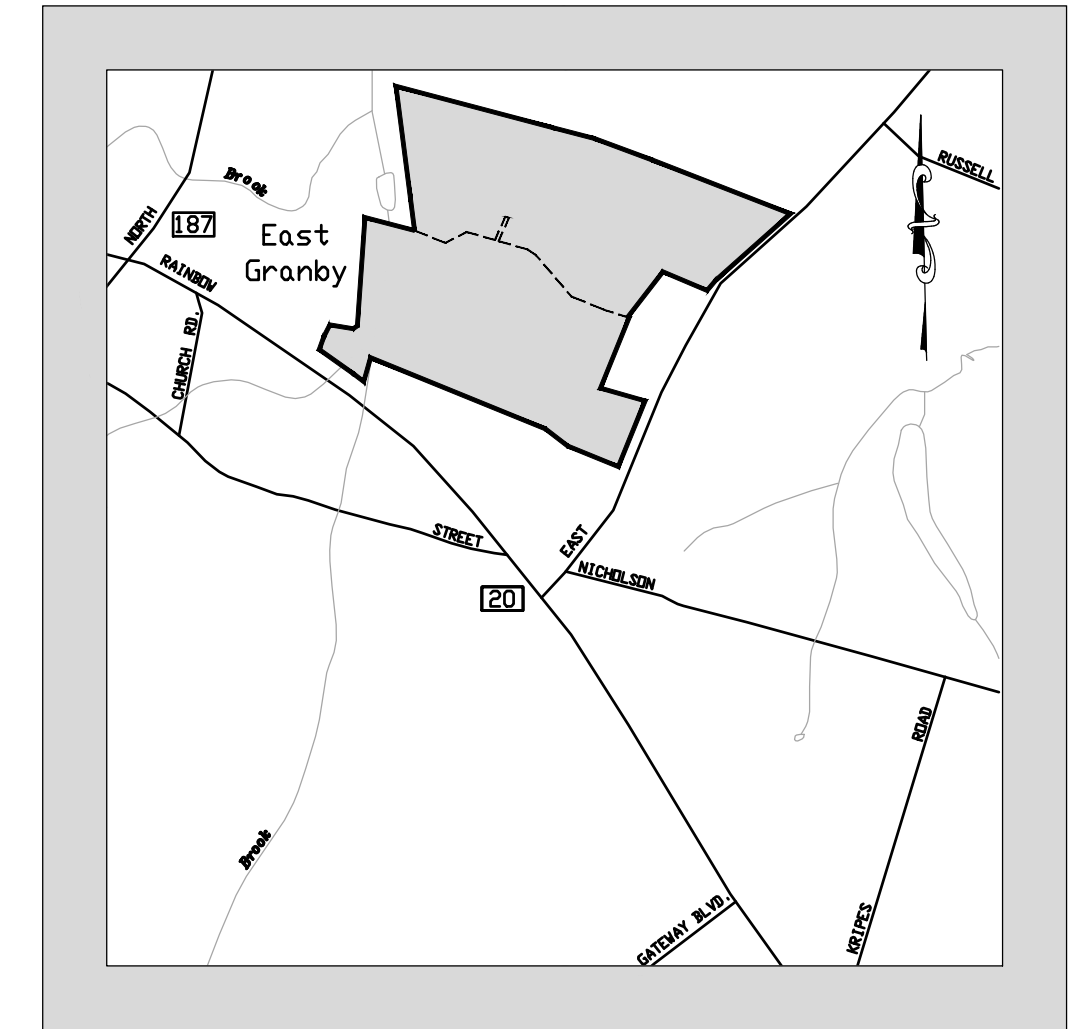
A Multi-Family Development
Old Deerfield Circle and Briarwood Circle
East Granby, Connecticut

Inland Wetland and Watercourses Agency Permit Application

March 22, 2024

Site Plan & Special Permit Application

May 3, 2024



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT TEAM

Owner/Developer	K SFR East Granby Owner, LLC.
Civil and Traffic Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	F. A. Hesketh & Associates, Inc.

LIST OF DRAWINGS

MA-1	Title Sheet
LA-1 & LA-2	Master Plan
LS-1 thru LS-4	Layout Plan
GR-1 & GR-2	Landscape Plan
PP-1 thru PP-3	Grading and Drainage Plan
EC-1 & EC-2	Plan & Profile
UT-1 & UT-2	Soil Erosion and Sediment Control Plan
SD-1 thru SD-5	Utility Plan
NT-1	Details
ELV-1, A-1, A-2	Notes
ELV-2, A-3, A-4	Floor Plans & Elevs. - Colonial
PSTS-1 thru PSTS-5	Floor Plans & Elevs. - Cape
	Property/Topographic Survey

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman

Date Signed

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Received for filing on _____ by _____
Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman

Date signed

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In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Guy A. Hesketh P.E. #19394



F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 · Fax (860) 844-8600
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects



OVERALL DEVELOPMENT DATA

PHASE 1

Bramble Bush Village	
Lot Area	28.65 Acres
Buildable Area	24.22 Acres
Total Units	116 Units

PHASE 2

East Granby Meadows

Lot Area	26.29 Acres
Buildable Area	18.27 Acres
Total Units	48 Units

OVERALL COMBINED DEVELOPMENT

Lot Area	54.94 Acres
Buildable Area	42.49 Acres
Total Units	164 Units
Proposed Density	3.86 Units per Acre

DEVELOPMENT DATA

Zone: MFRD
Section IV.6

Requirement	Required	Proposed
Minimum Parcel Area	10 Acres	54.94 Acres
Minimum Buildable Land		42.49 Acres
Minimum Parcel Frontage	200 Feet	591.41 Feet *
Minimum Front Yard Setback	75 Feet	75.7 Feet
Minimum Side Yard Setback	50 Feet	52 ± Feet
Minimum Rear Yard Setback	50 Feet	121 ± Feet
Minimum Landscaped Front Yard	25 Feet	25.0 Feet
Minimum Landscaped Buffer	25 Feet	25 Feet
Maximum Building Coverage	20 Percent	13.0 Percent
Maximum Lot Coverage	40 Percent	30.1 Percent
Minimum Building Separation	25 Feet	25 Feet
Maximum Building Height	35 Feet	24 ± Feet
Maximum Stories	2.5 Stories	2 Stories
Minimum Open Space	60 Percent	80 ± Percent
Minimum Parking Spaces (2.5 Spaces per Unit)	410 Spaces	468 Spaces

* Longest Frontage along East Street

PARKING TABULATION

Required (Section VII.B.2)

Multiple-family dwelling: 2.5 spaces per dwelling unit

164 Units x 2.5 required spaces per unit = 410 Required Spaces

Proposed

A. Garage Spaces	164 Spaces
B. Driveway Spaces	164 Spaces *
C. Dedicated Reserved (HC Accessible)	5 Spaces **
D. Standard On-Street Spaces	107 Spaces
E. Electric Vehicle Charging Spaces	28 Spaces ***
Total Proposed Spaces	468 Spaces

* One Driveway Space (9'x18') per Unit

** Additional accessible spaces may be delineated in drives of East Granby Meadow Units, to address tenant needs.

*** 28 On-Street Outdoor Electric Vehicle Charging spaces are proposed. Additional E.V. Charging Spaces are also proposed in garages.

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www.fahesketh.com

FAH
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

No.	Date	Description
1.	05-03-2024	PZC Application

Revisions:

MASTER PLAN PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH VILLAGE, OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-22-2024 Drawn by: DFT Job no: 22082
Scale: 1" = 100' Checked by: GAH Sheet no: 1 OF 1
Q:\2022\22082 - Krown Point East Granby Meadows PZC Submittal 2024-05-03\MA-1, May, 02, 2024 - 12:56:40 PM

MA-1

PARKING LEGEND

Symbol	Type
(e)	Electric Vehicle Charging Space
(r)	Reserved (Handicap Accessible) Space
(s)	Standard On-Street Space

Each Unit has one garage space and one driveway space

PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYL	Painted Double Yellow Line
SB	Painted White Stop Bar
PCW	Painted Crosswalk

SIGNAGE AND PAVEMENT MARKING NOTES

- Stop bars (SB) shall be painted with white traffic paint (12 inches wide)
- All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
- Traffic control arrows shall be painted with white traffic paint.
- All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
- Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
- Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
- All on-site traffic paint shall conform to CT DOT Form 818, Article M.07
- All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
- Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", Last Revised 10/12/21. Contractor to confirm sign types prior to installation.
- Install additional fire lane markings and signage as directed by the East Granby Fire Department Officials.

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	0
B		31-0648	0
C		31-0552	3
D		Custom (12" x 18")	2
E		31-1119	0

* SIGN QUANTITIES ARE SPECIFIC TO THE NUMBER OF SIGNS SHOWN PER SHEET.

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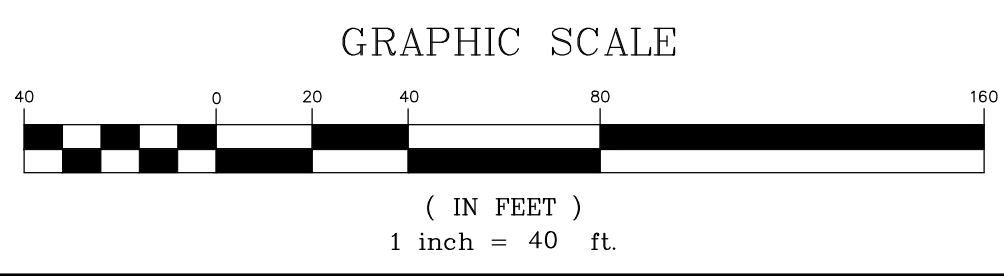
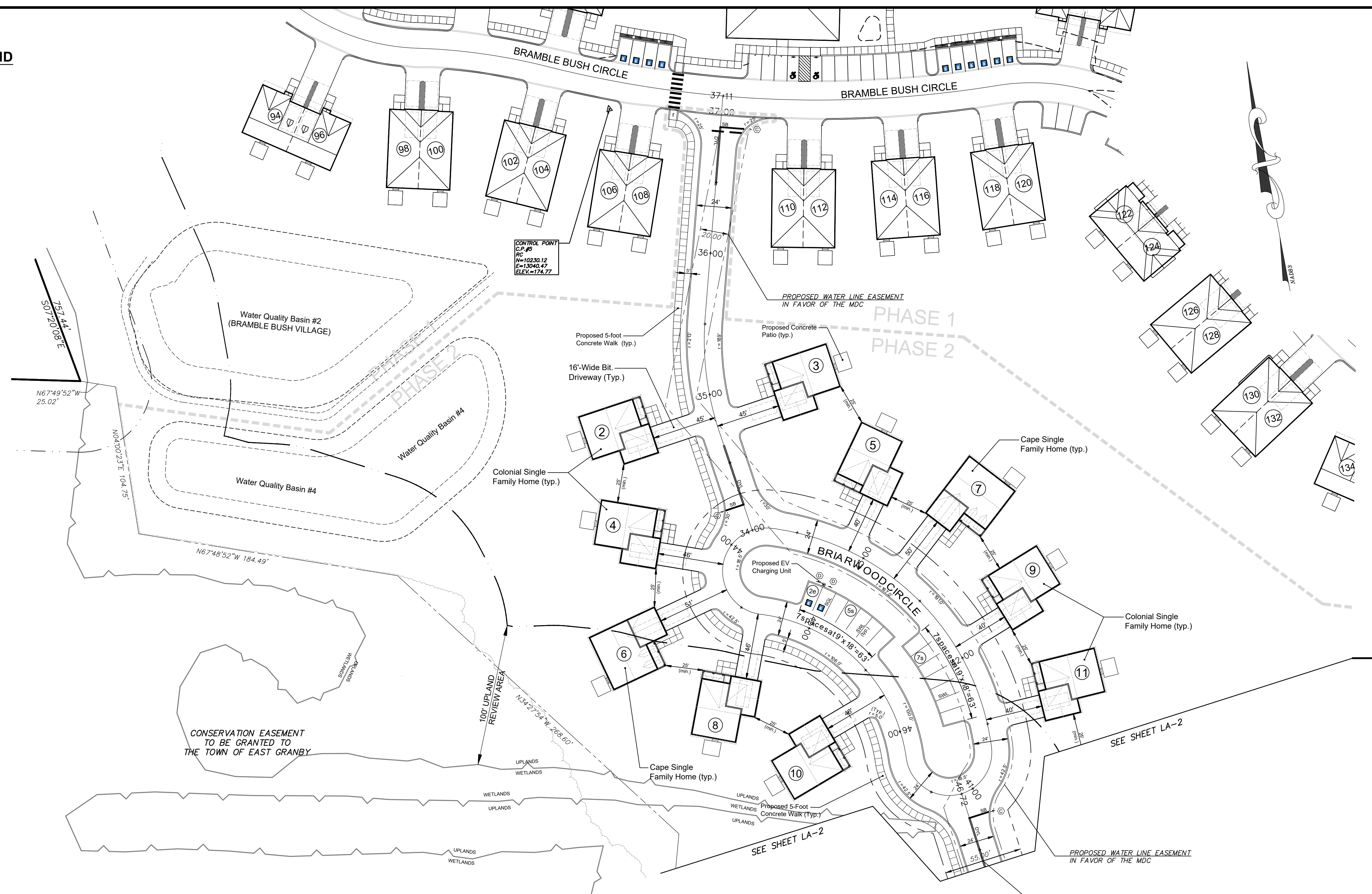
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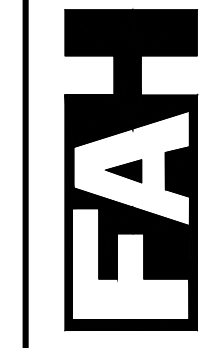


No.	Date	Description
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LAYOUT PLAN
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K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-22-2024 Drawn by: DRT Job no: 22082
 Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 2
 0:\2022\22082 - Krown Plant East Granby\East Granby Meadows P2C Submittal 2024-05-03\LA-1 2024-05-03\LA-1, May 02, 2024 - 8:08:07 AM

LA-1

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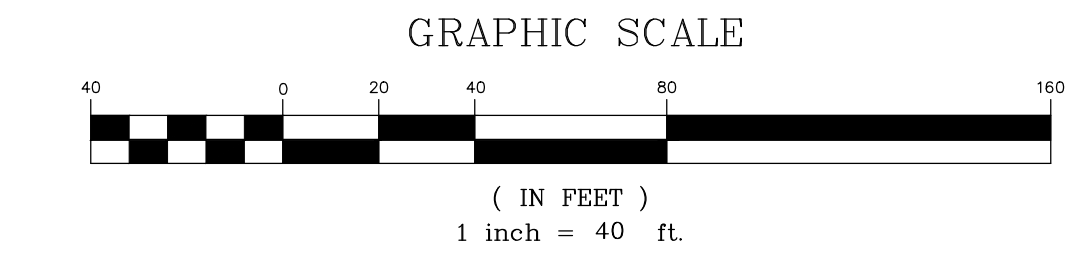
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EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

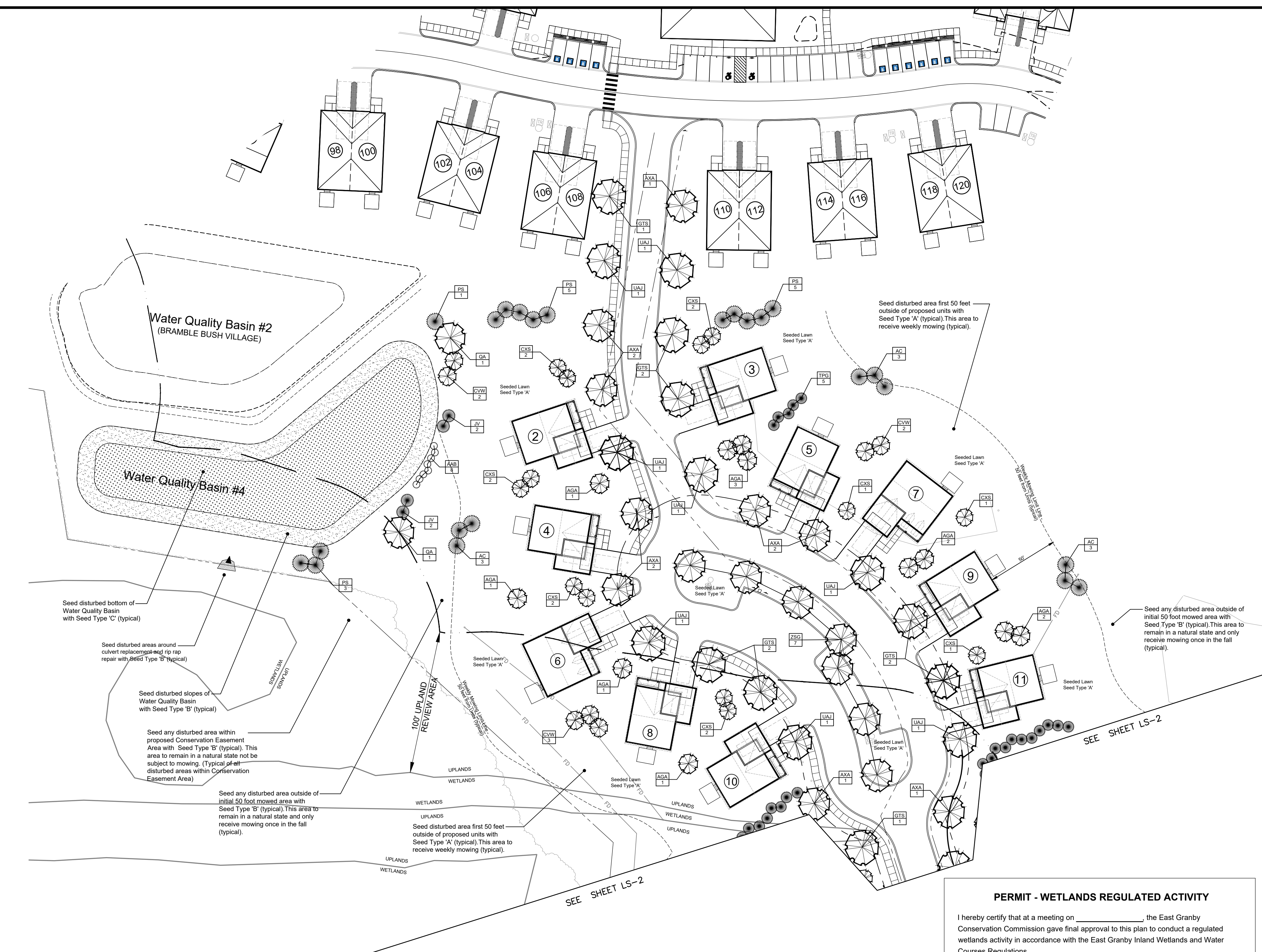
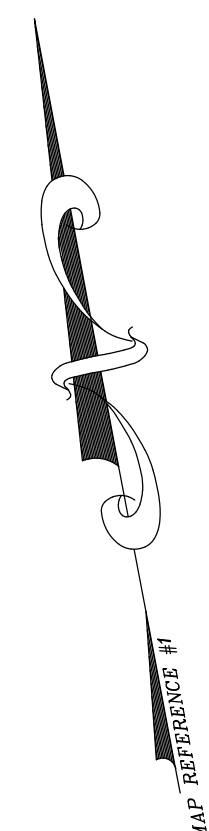
Date: 03-22-2024 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2

Revisions:
No. Date Description
1. 05-03-2024 P2C Application

LA-2

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Seed disturbed bottom of Water Quality Basin with Seed Type 'C' (typical)

Seed disturbed areas around culvert replacement rip rap repair with Seed Type 'B' (typical)

Seed disturbed slopes of Water Quality Basin with Seed Type 'B' (typical)

Seed any disturbed area within proposed Conservation Easement Area with Seed Type 'B' (typical). This area to remain in a natural state not be subject to mowing. (Typical of all disturbed areas within Conservation Easement Area)

Seed any disturbed area outside of initial 50 foot mowed area with Seed Type 'B' (typical). This area to remain in a natural state and only receive mowing once in the fall (typical).

Seed any disturbed area first 50 feet outside of proposed units with Seed Type 'A' (typical). This area to receive weekly mowing (typical).

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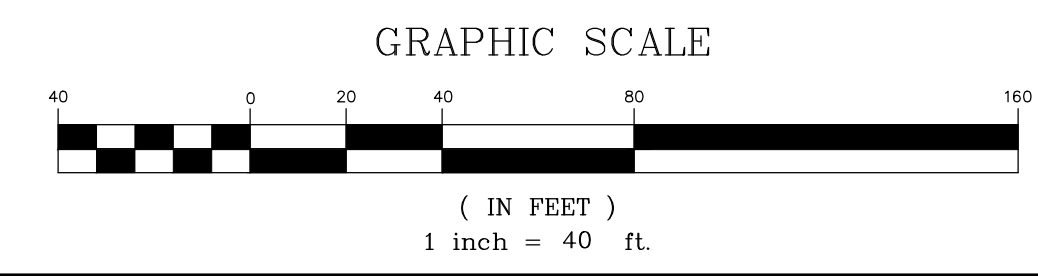
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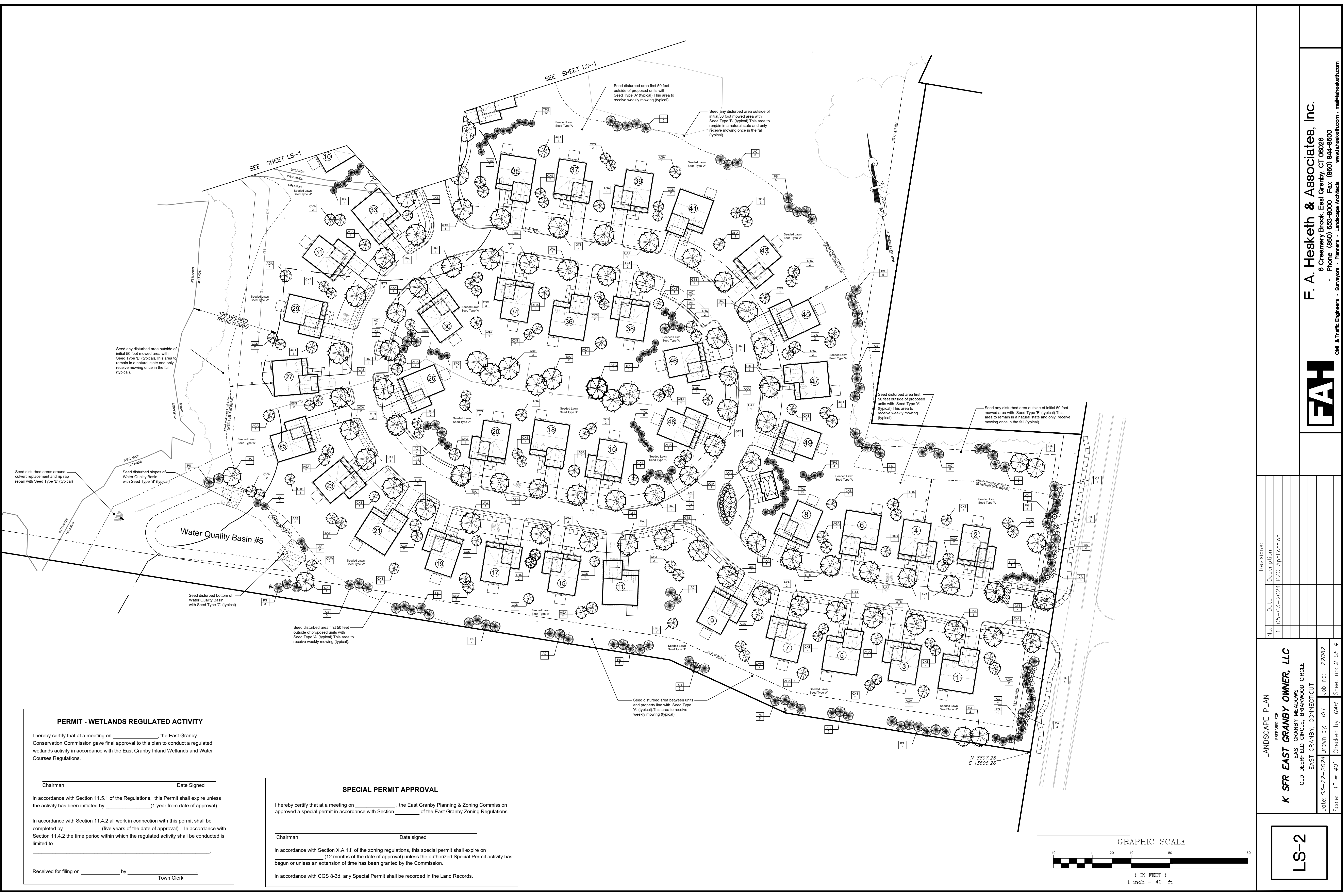
No.	Date	Description
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LANDSCAPE PLAN
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 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-22-2024 Drawn by: KLL Job no: 22062
 Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 4
 03/22/2024 - Krawn Plant East Granby Meadows PZC Submittal 2024-05-03 LS-1 2024-05-03 LS-1, May 02, 2024 - 7:55:09 AM

LS-1

FAH

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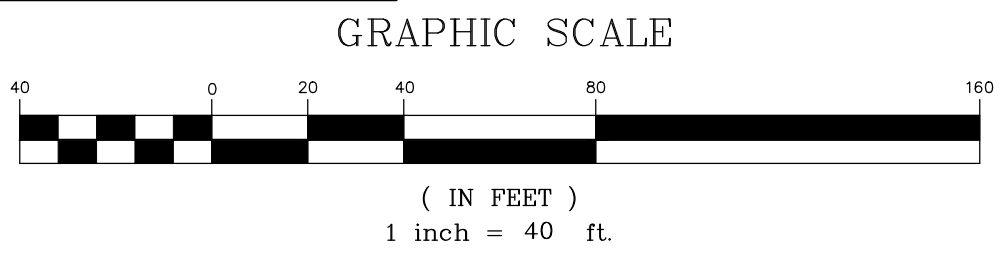
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 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-22-2024 Drawn by: KLL Job no: 22062
 Scale: 1" = 40' Checked by: GAH Sheet no: 2 Of 4
 0:\2022\22062 - Krawm Plant East Granby\East Granby Meadows P2C Submittal 2024-05-03\LS-1 2024-05-03.dwg, LS-2, May, 02, 2024 - 7:55:39 AM

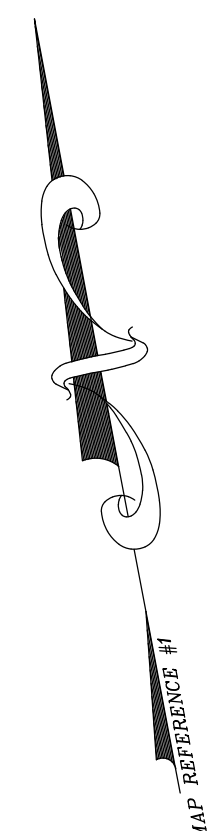
LS-2

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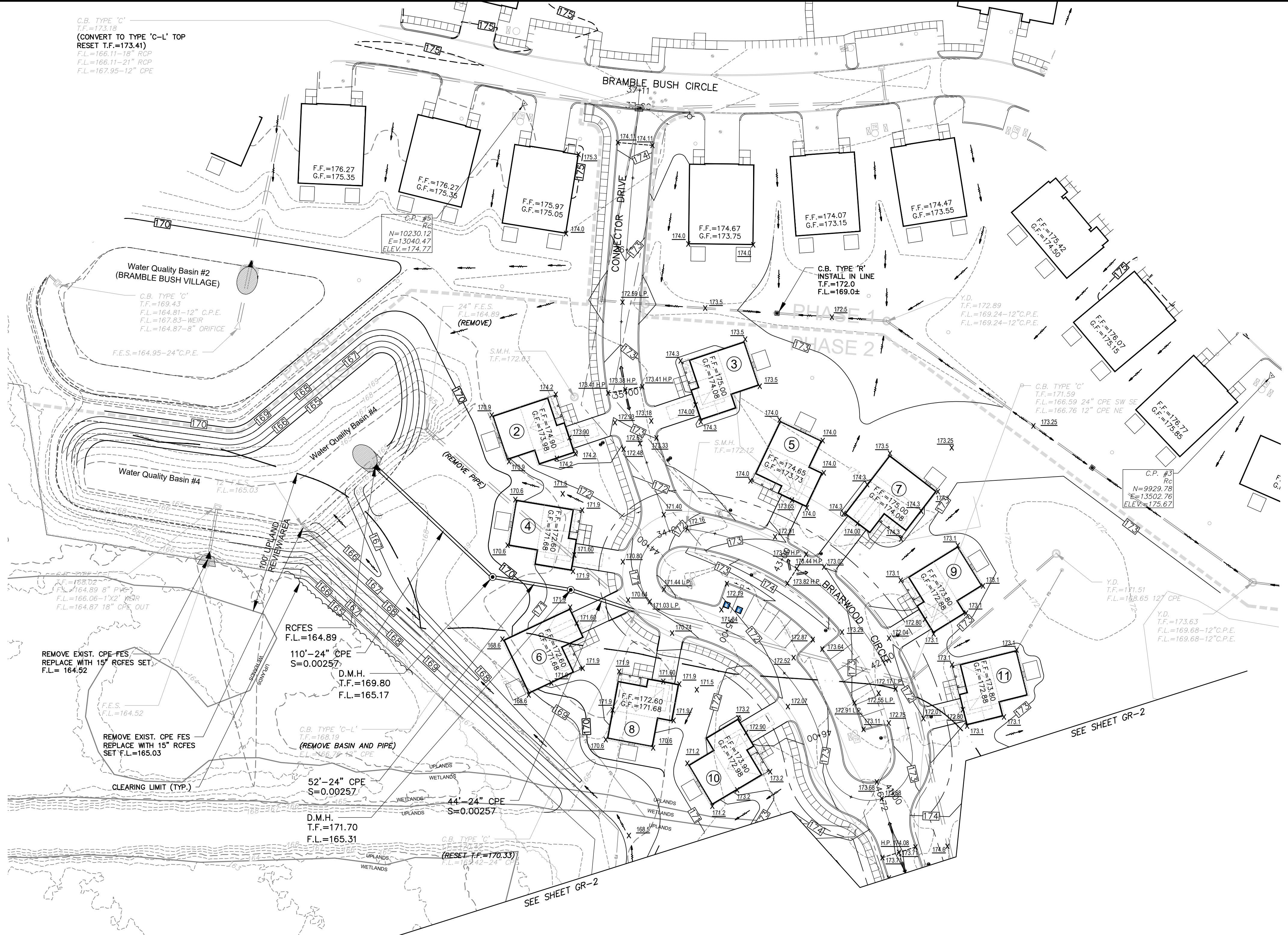
LEGEND
(SYMBOLS NOT TO SCALE)

- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE MANHOLE
- EXISTING WATER MANHOLE
- EXISTING ELECTRIC MANHOLE
- UNKNOWN MANHOLE
- EXISTING YARD DRAIN
- EXISTING FLARED END SECTION
- EXISTING FIRE HYDRANT
- EXISTING HAND HOLE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING POST
- TRAFFIC LIGHT SUPPORT POLE
- EXISTING STREET SIGN
- EXISTING TREE (TYP.)
- EXISTING WATER GATE VALVE
- EXISTING TREE LINE
- DIRECTION OF FLOW
- EXISTING I.P. PROPERTY CORNER
- EXISTING MONUMENT
- FENCE LINE
- PROPOSED CATCH BASIN
- PROPOSED YARD DRAIN (TYPE 'R' C.B.)
- PROPOSED DRAINAGE MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED STORM DRAIN CULVERT
- PROPOSED SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED DRAINAGE DIVIDE



GENERAL GRADING NOTES

1. SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
2. MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. BLEND ALL NEW WORK TO MATCH EXISTING. CONSTRUCT PAVEMENT MATCH DETAIL.
3. GRADE ALL AREAS TO PRECLUDE PONDING.
4. GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW, WHERE APPLICABLE, AND PRECLUDE PONDING.
5. RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM 818, M.08.01-7.
6. PVC: DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM 818, M.08.01-20.
7. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT 818, M.08.01-18 (TYPE S IF NOT SPECIFIED, OR TYPE S-P, AS SPECIFIED).
8. RCFS = REINFORCED CONCRETE FLARED END SECTION CONFORMING TO CT DOT 818, M.08.01-11.
9. CATCH BASINS (C.B.), MANHOLES (D.M.H.), AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM 818 SECTION M.08.02.
10. ALL ROOF GUTTER DOWNSPOUTS SHALL DISCHARGE TO GRADE. PROVIDE A SPLASHBLOCK AT EACH DOWNSPOUT LOCATION.



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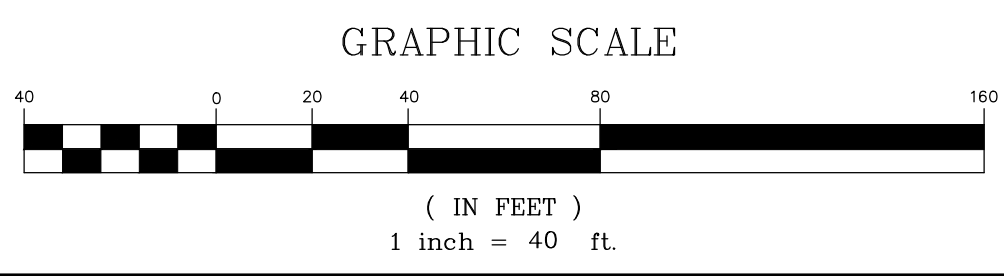
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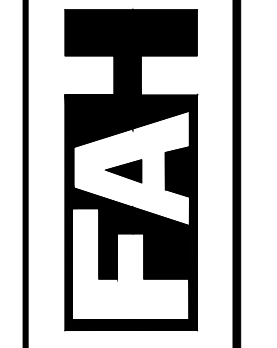


No.	Date	Description
1.	05-03-2024	P2C Application

GRADING AND DRAINAGE PLAN
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 Checked by: GAH Sheet no: 1 OF 2
 Scale: 1" = 40'

GR-1

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O:\2022\22082 - Krown Plant East Granby\East Granby Meadows\22082-05-03\GR-1 2024-05-03.dwg, GR-1, May 02, 2024 - 1:43:56 PM

C.B. TYPE 'C'
T.F.=172.98
(RESET/ADJUST TOP TO MATCH
CURBLINE, MAINTAIN T.F.=172.98)
F.L.=168.58 15" CPE
F.L.=168.58 15" CPE NW NE

C.B. TYPE 'C'
T.F.=173.33
(RESET/ADJUST TOP TO MATCH
CURBLINE, MAINTAIN T.F.=173.33)
F.L.=168.15 18" CPE E
F.L.=168.01 15" CPE W
F.L.=168.00 24" CPE N

S.M.H.
T.F.=173.29
(RESET T.F.=173.40)
N.V.=161.20

C.B. TYPE 'C'
T.F.=173.02
(RESET/ADJUST TOP TO MATCH
CURBLINE, MAINTAIN T.F.=173.02)
F.L.=168.77 15" CPE SE

NEW TYPE 'R' C.B.
T.F.=174.33
F.L.=172.03-12" CPE

S.M.H.
T.F.=175.87
(RESET T.F.=176.20)

S.M.H.
T.F.=174.31
(RESET T.F.=174.53)

C.B. TYPE 'C'
T.F.=174.01
(RESET T.F. TO MATCH PROPOSED
CURB LINE, SET T.F.=174.06)
F.L.=169.43 15" CPE W

C.B. TYPE 'C'
T.F.=174.08
(REPLACE TOP WITH TYPE 'C-L'
TOP, SET T.F.=174.06)
F.L.=169.01 12" CPE
F.L.=169.01 18" CPE

S.M.H.
T.F.=175.54
(RESET T.F.=175.80)

S.M.H.
T.F.=170.15
F.L.=170.15-12" NEW

CONVERT C.B. TO M.H.
SET FRAME AND COVER
BEHIND CURB. T.F.=170.93

S.M.H.
T.F.=171.75
C.B. TYPE 'C-L'
T.F.=170.36
F.L.=167.95-12" CPE SW

S.M.H.
T.F.=173.17
C.B. TYPE 'C'
T.F.=172.46

C.P. #25
Rc
N=9211.37
E=13877.39
ELEV.=173.09

C.B. TYPE 'C'
T.F.=172.31

C.B. TYPE 'C'
T.F.=170.24
F.L.=165.49 SW SE

C.B. TYPE 'C'
T.F.=170.22
F.L.=165.69-15" CPE SW

NEW TYPE 'C-L' C.B. W/
4" SUMP AND TRAP HOOD
T.F.=169.83
F.L.=166.2±

C.B. TYPE 'C'
T.F.=169.87

CONVERT C.B. TO M.H.
SET FRAME BEHIND CURB
T.F.=170.52

C.B. TYPE 'C'
T.F.=170.22
F.L.=165.98-12" CPE NE
F.L.=165.28-15" CPE NW

S.M.H.
T.F.=170.68
(RESET T.F.=170.27)

C.B. TYPE 'C-L'
T.F.=168.09
F.L.=165.48 12" CPE SE
F.L.=166.0± OPENING OF
ARCHED DRIVE

C.B. TYPE 'C' DBL
T.F.=168.62

C.B. TYPE 'C' DBL
T.F.=168.49

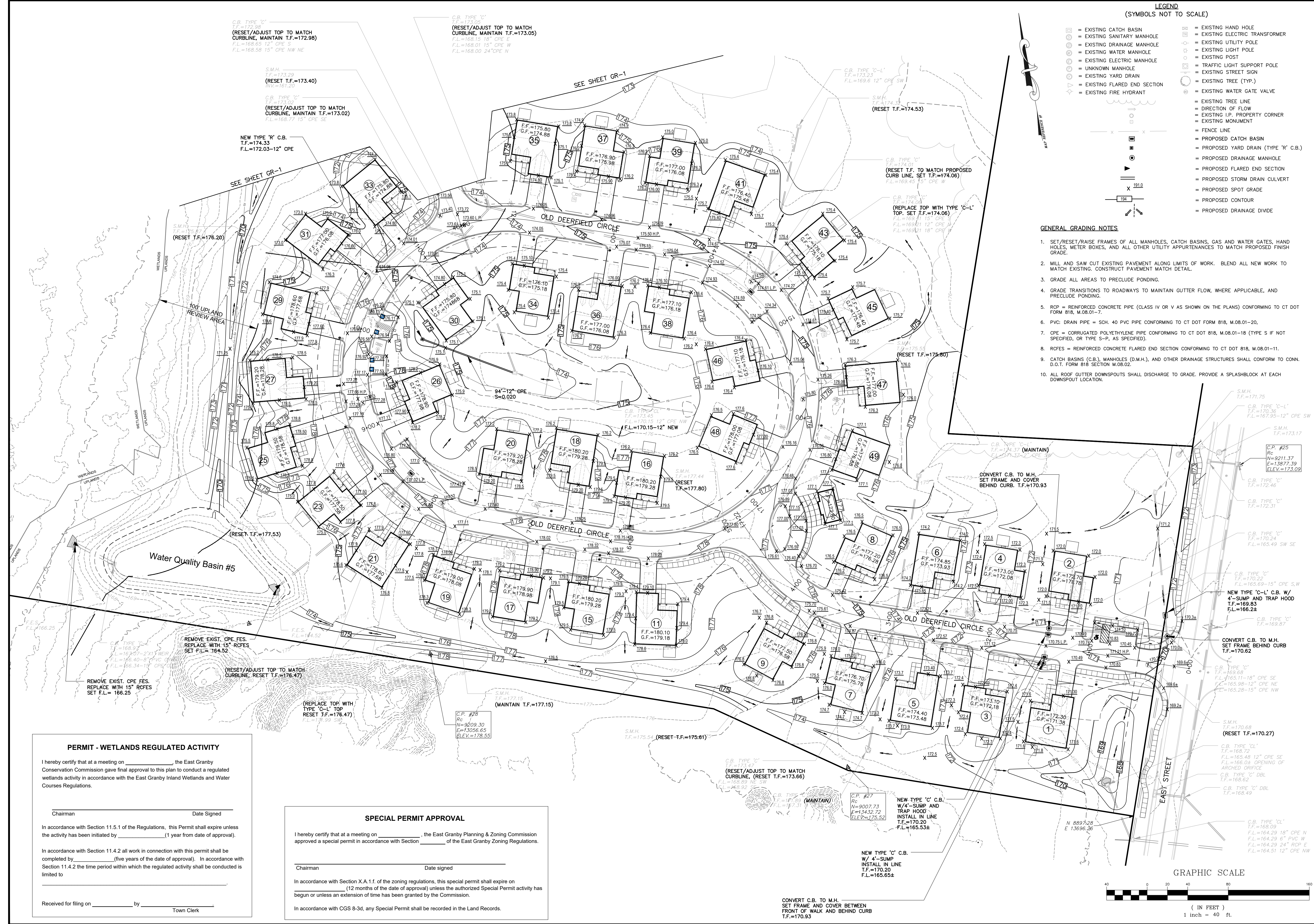
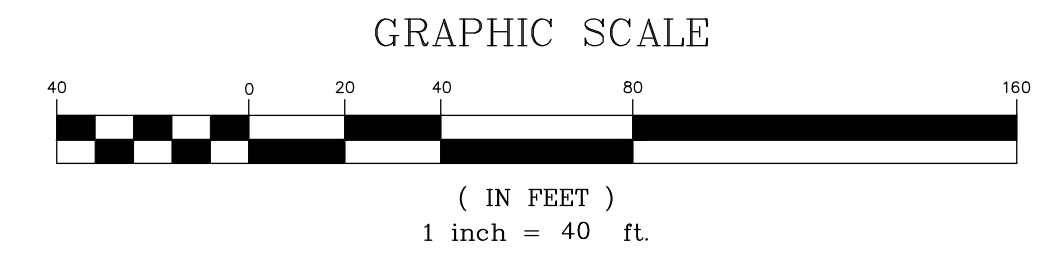
C.B. TYPE 'C-L'
T.F.=164.29 18" CPE N
F.L.=164.29 6" PVC W
F.L.=164.29 24" RCP E
F.L.=164.51 12" CPE NW

LEGEND
(SYMBOLS NOT TO SCALE)

- ⊖ = EXISTING CATCH BASIN
- ⊖ = EXISTING SANITARY MANHOLE
- ⊖ = EXISTING DRAINAGE MANHOLE
- ⊖ = EXISTING WATER MANHOLE
- ⊖ = EXISTING ELECTRIC MANHOLE
- ⊖ = UNKNOWN MANHOLE
- ⊖ = EXISTING YARD DRAIN
- ⊖ = EXISTING FLARED END SECTION
- ⊖ = EXISTING FIRE HYDRANT
- ⊖ = EXISTING HAND HOLE
- ⊖ = EXISTING ELECTRIC TRANSFORMER
- ⊖ = EXISTING UTILITY POLE
- ⊖ = EXISTING LIGHT POLE
- ⊖ = EXISTING POST
- ⊖ = TRAFFIC LIGHT SUPPORT POLE
- ⊖ = EXISTING STREET SIGN
- ⊖ = EXISTING TREE (TYP.)
- ⊖ = EXISTING WATER GATE VALVE
- ⊖ = EXISTING TREE LINE
- ⊖ = DIRECTION OF FLOW
- ⊖ = EXISTING I.P. PROPERTY CORNER
- ⊖ = EXISTING MONUMENT
- ⊖ = FENCE LINE
- ⊖ = PROPOSED CATCH BASIN
- ⊖ = PROPOSED YARD DRAIN (TYPE 'R' C.B.)
- ⊖ = PROPOSED DRAINAGE MANHOLE
- ⊖ = PROPOSED FLARED END SECTION
- ⊖ = PROPOSED STORM DRAIN CULVERT
- ⊖ = PROPOSED SPOT GRADE
- ⊖ = PROPOSED CONTOUR
- ⊖ = PROPOSED DRAINAGE DIVIDE

GENERAL GRADING NOTES

1. SET/RESET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
2. MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. BLEND ALL NEW WORK TO MATCH EXISTING. CONSTRUCT PAVEMENT MATCH DETAIL.
3. GRADE ALL AREAS TO PRECLUDE PONDING.
4. GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW, WHERE APPLICABLE, AND PRECLUDE PONDING.
5. RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM 818, M.08.01-7.
6. PVC: DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM 818, M.08.01-20.
7. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT 818, M.08.01-18 (TYPE S IF NOT SPECIFIED, OR TYPE S-P, AS SPECIFIED).
8. RCFS = REINFORCED CONCRETE FLARED END SECTION CONFORMING TO CT DOT 818, M.08.01-11.
9. CATCH BASINS (C.B.), MANHOLES (D.M.H.), AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM 818 SECTION M.08.02.
10. ALL ROOF GUTTER DOWNSPOUTS SHALL DISCHARGE TO GRADE. PROVIDE A SPLASHBLOCK AT EACH DOWNSPOUT LOCATION.



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____
In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____
In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

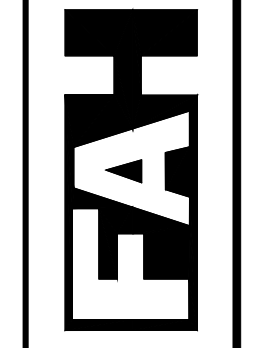
In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

No.	Date	Description
1.	05-03-2024	P2C Application

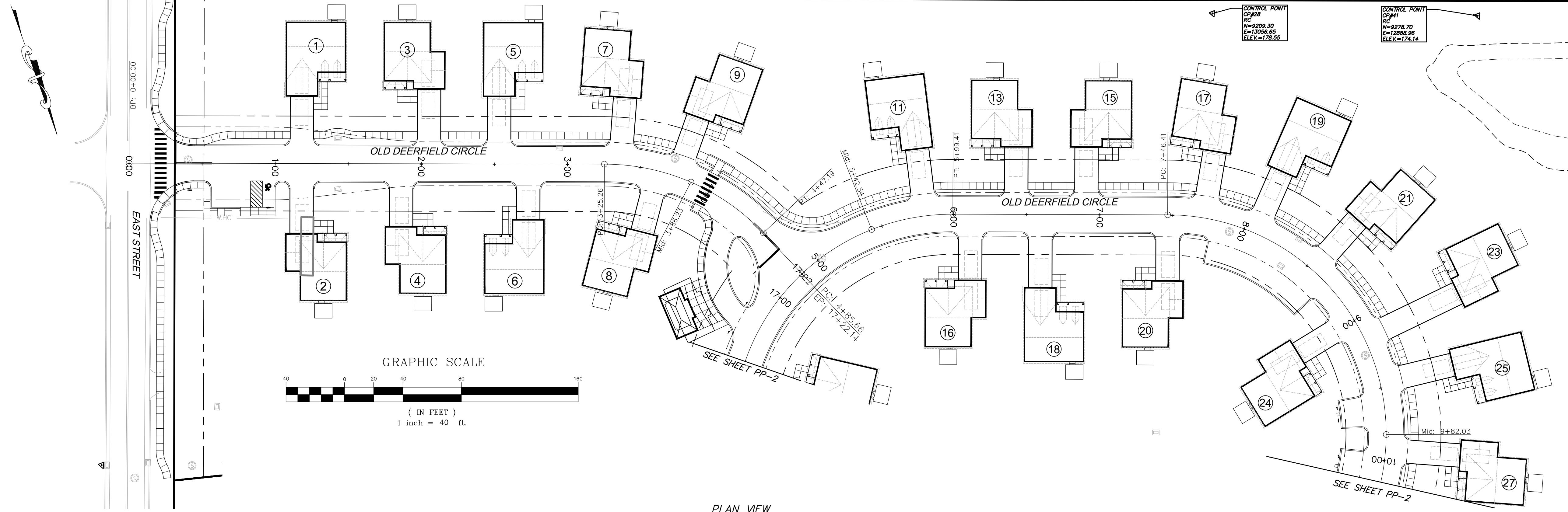
GRADING AND DRAINAGE PLAN
FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT
Date: 05-22-2024 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2
C:\2022\22082 - Kram Plant East Granby\East Granby Meadows P2C Submittal 2024-05-03\GR-1 2024-05-03.dwg, GR-2, May, 02, 2024 - 2:10:48 PM

GR-2

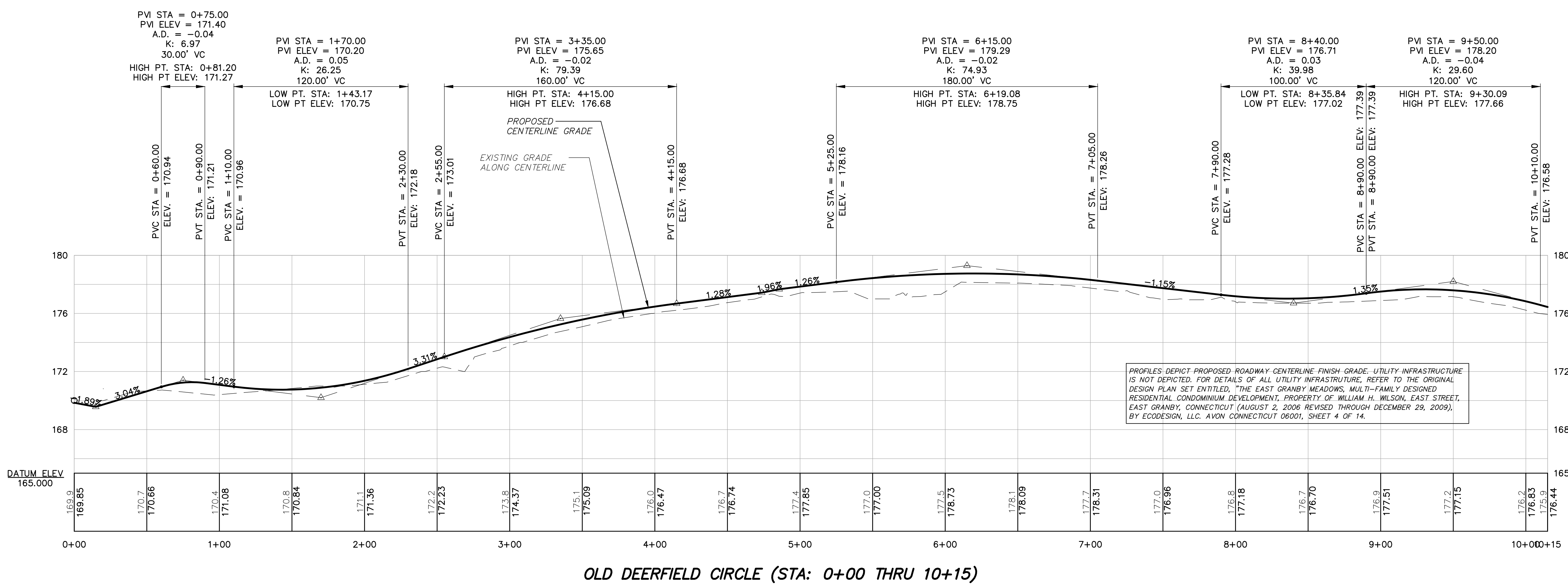
F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
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PLAN VIEW



OLD DEERFIELD CIRCLE (STA: 0+00 THRU 10+15)

PROFILE VIEW

SCALE:
1"=40' HORIZ.
1"=4' VERT.

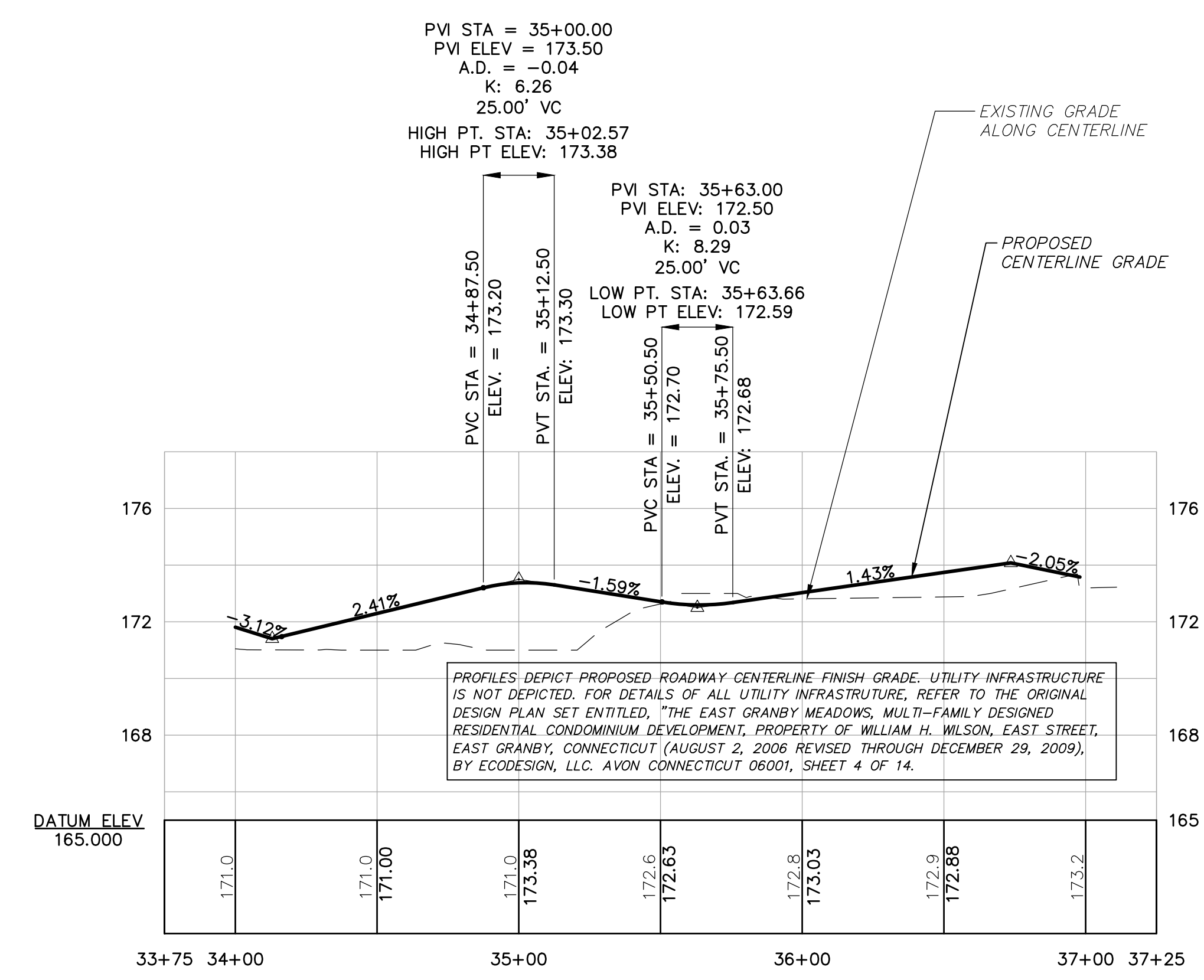
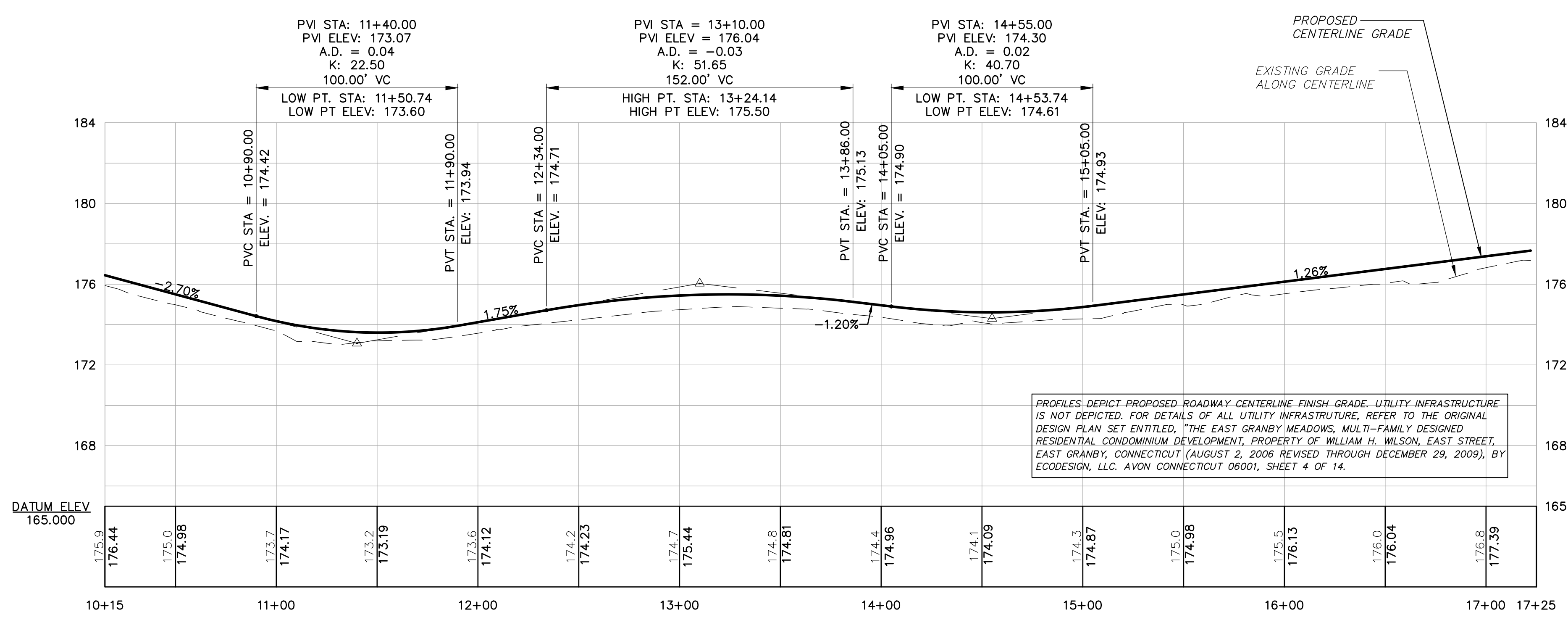
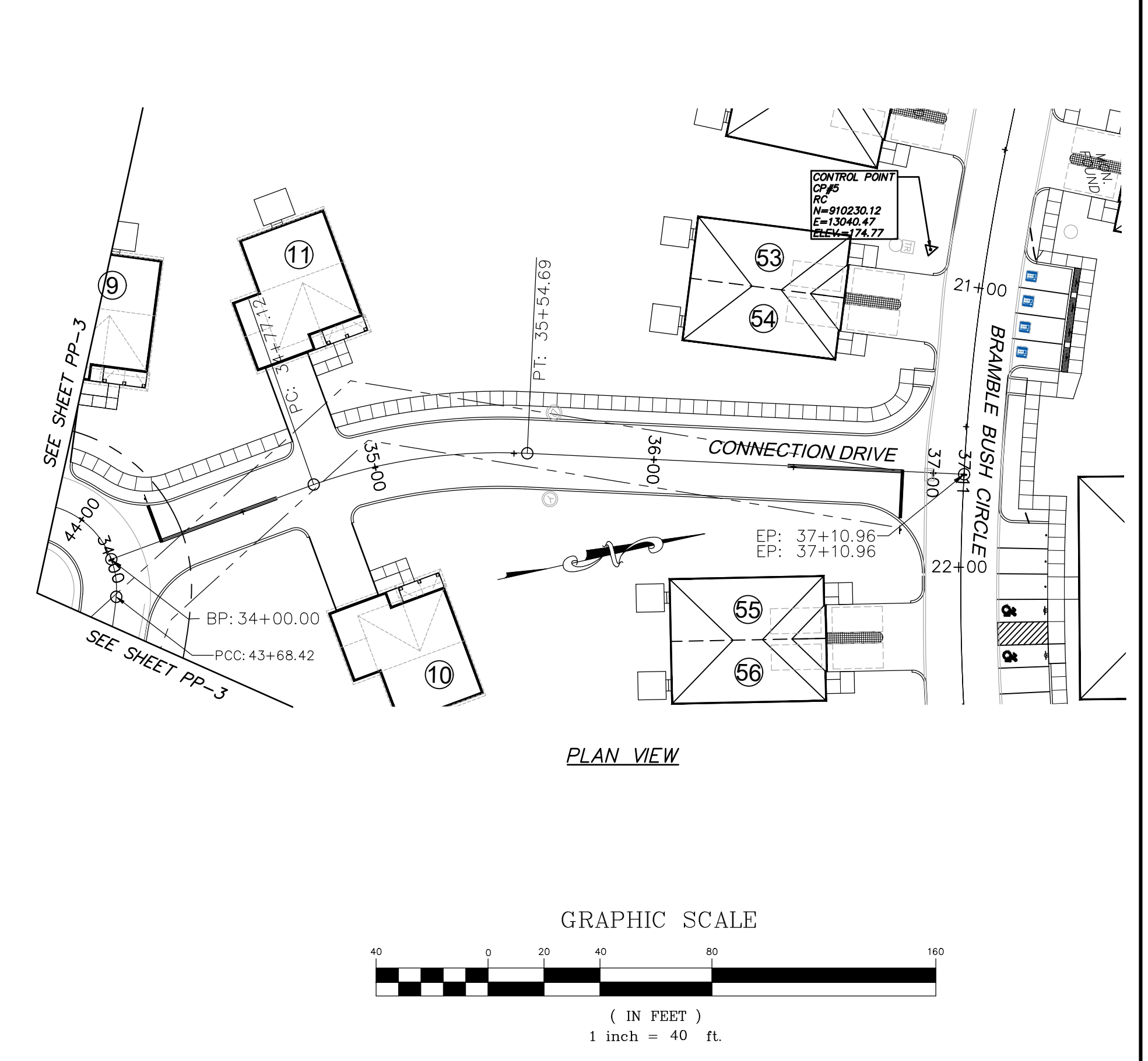
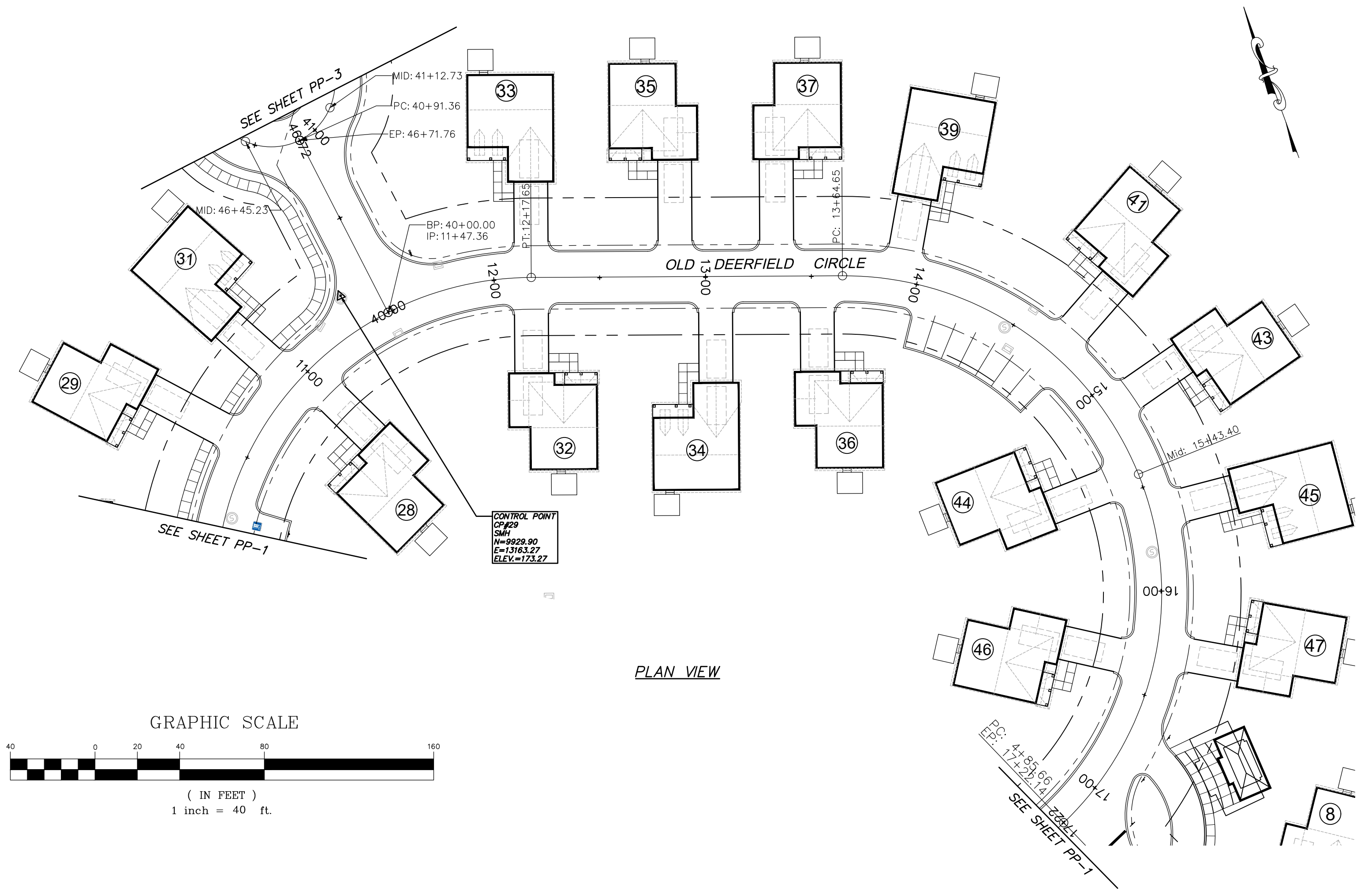
PROFILES DEPICT PROPOSED ROADWAY CENTERLINE FINISH GRADE. UTILITY INFRASTRUCTURE IS NOT DEPICTED. FOR DETAILS OF ALL UTILITY INFRASTRUCTURE, REFER TO THE ORIGINAL DESIGN PLAN SET ENTITLED, "THE EAST GRANBY MEADOWS, MULTI-FAMILY DESIGNED, RESIDENTIAL CONDOMINIUM DEVELOPMENT, PROPERTY OF WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT (AUGUST 2, 2006 REVISED THROUGH DECEMBER 29, 2009), BY ECODESIGN, LLC, AVON CONNECTICUT 06001, SHEET 4 OF 14.

PLAN & PROFILE		
No.	Date	Description
1.	05-03-2024	P2C Application
PREPARED FOR K SFR EAST GRANBY OWNER, LLC EAST GRANBY MEADOWS OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE EAST GRANBY, CONNECTICUT Date: 05-22-2024 Drawn by: DFT Job no: 22062 Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 3 0:\2022\22062 - Kramm Plant East Granby\East Granby Meadows P2C Submittal 2024-05-03\PP-1 2024-05-03.dwg, PP-1, Apr. 29, 2024 - 1:41:56 PM		

PP-1

FAH

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 www.fahsketh.com - maffishsketh.com
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OLD DEERFIELD CIRCLE (STA: 10+15 THRU 17+25)

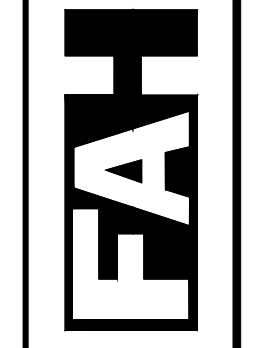
CONNECTOR DRIVE

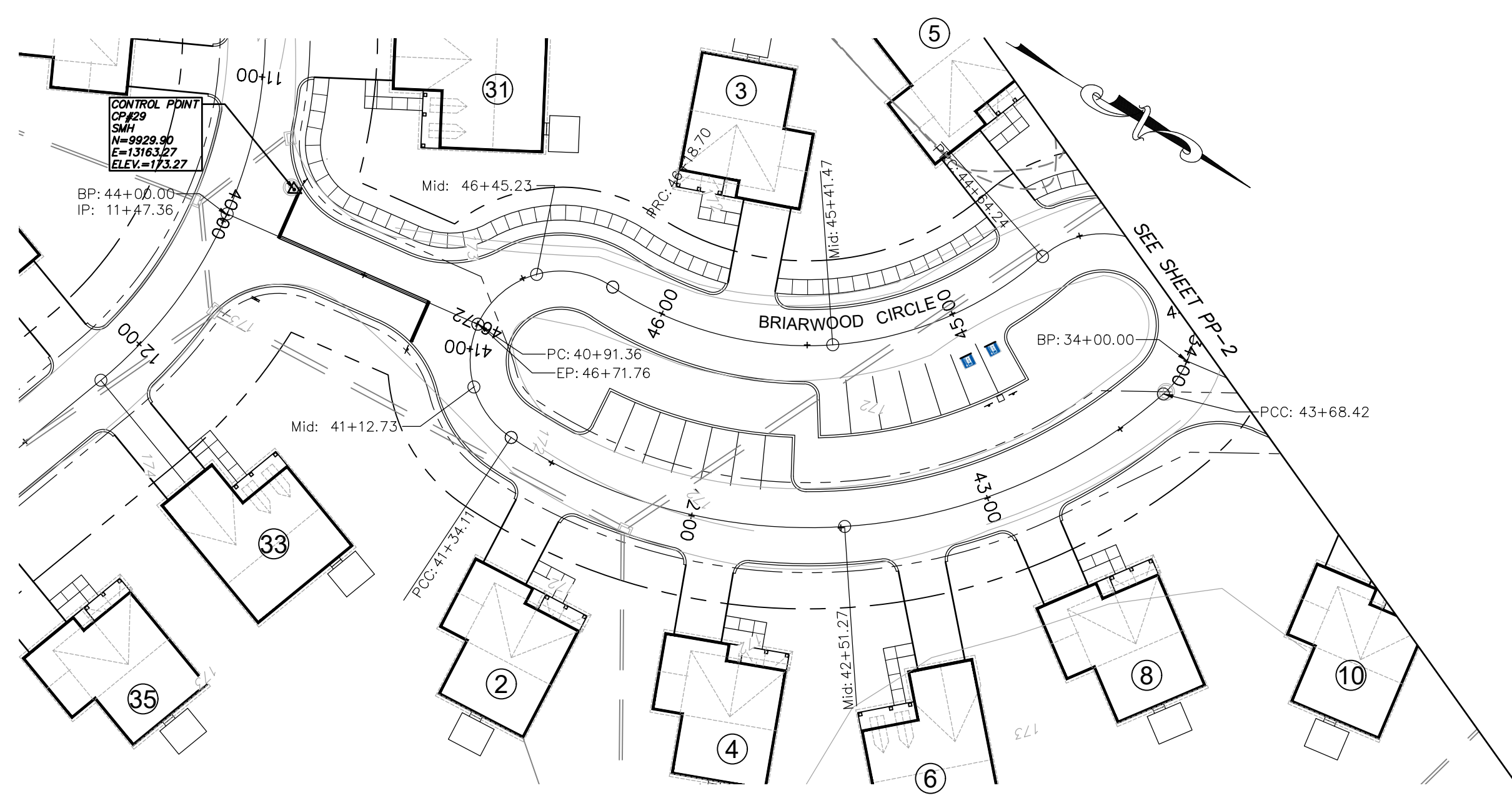
No.	Date	Description
1.	05-03-2024	P2C Application

PLAN & PROFILE
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-22-2024 Drawn by: DFT Job no: 22082
 Checked by: GAH Sheet no: 2 OF 3
 Scale: 1" = 40'

PP-2

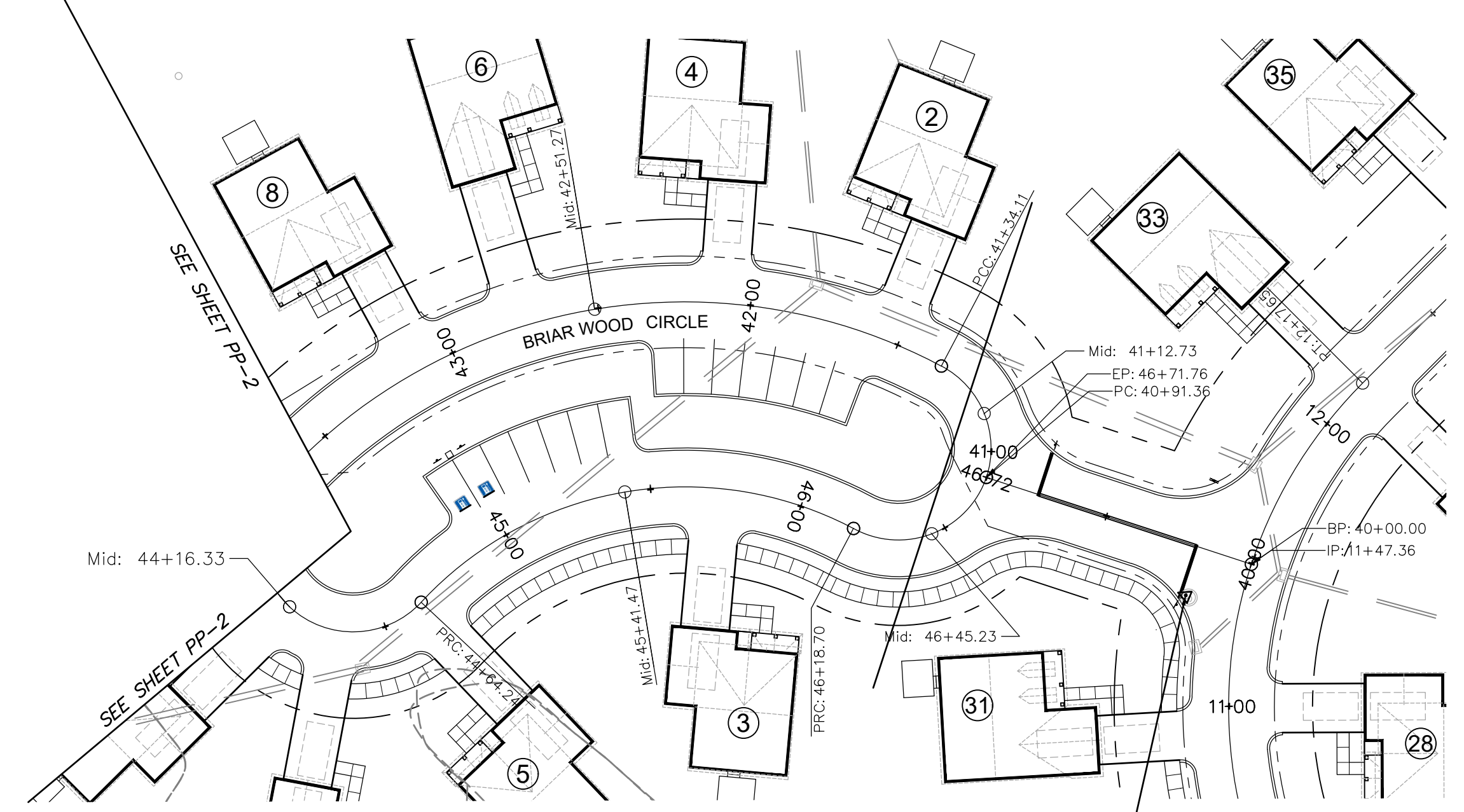
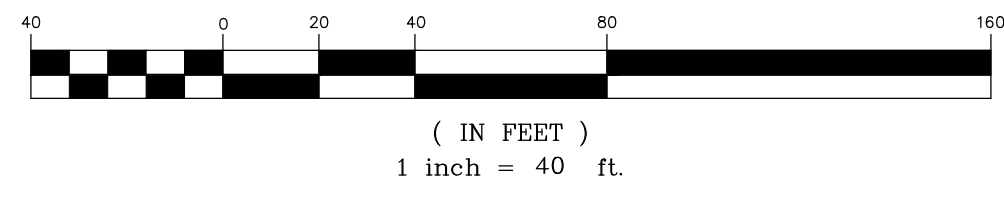
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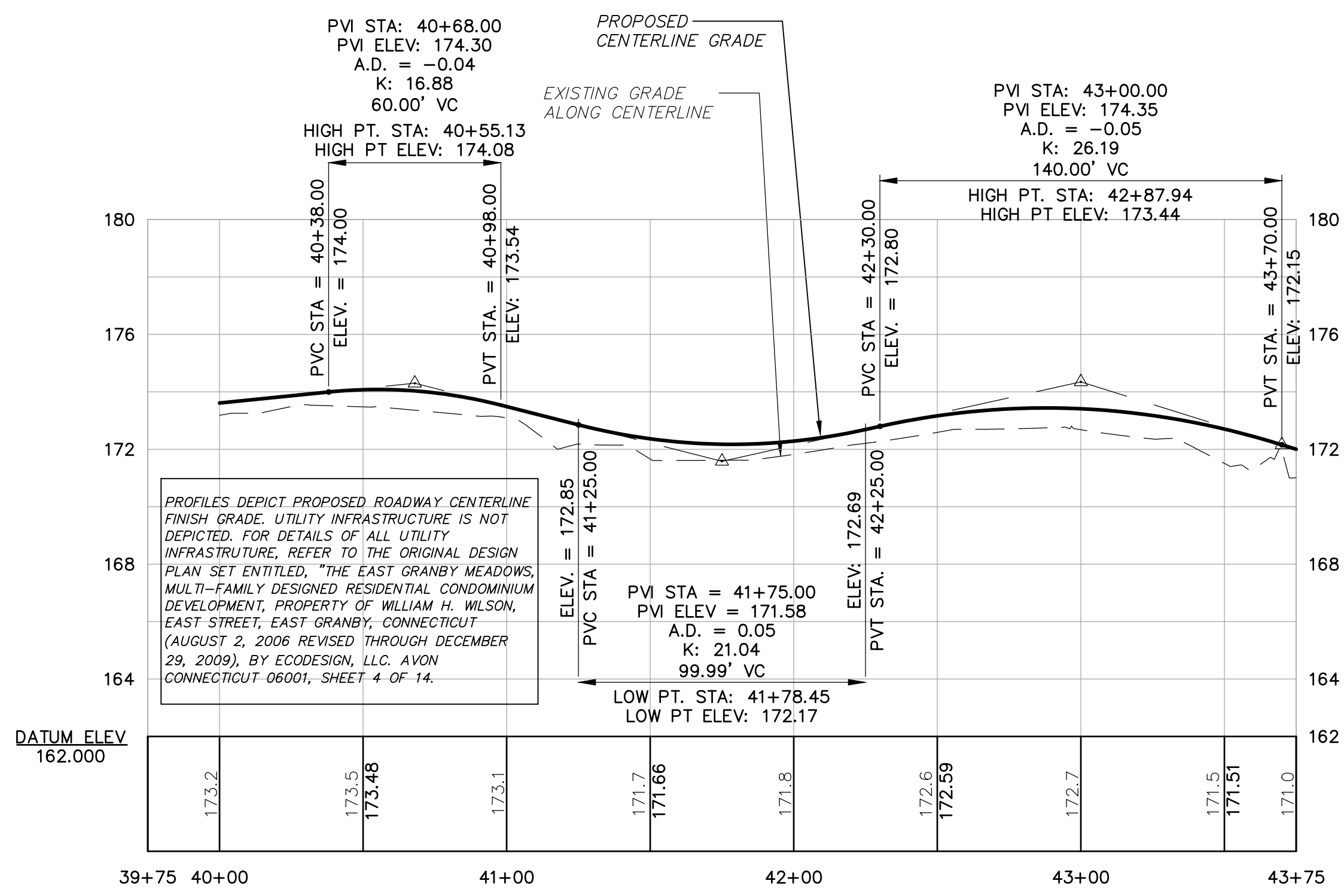
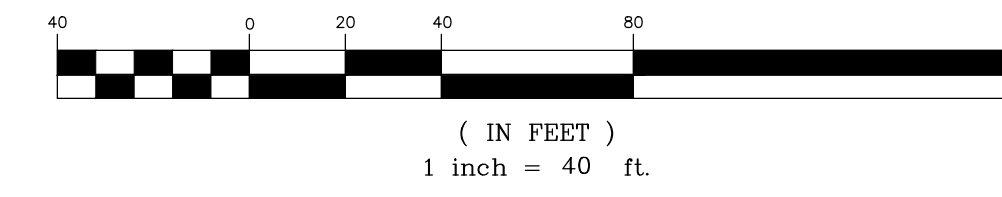
PLAN VIEW

GRAPHIC SCALE



PLAN VIEW

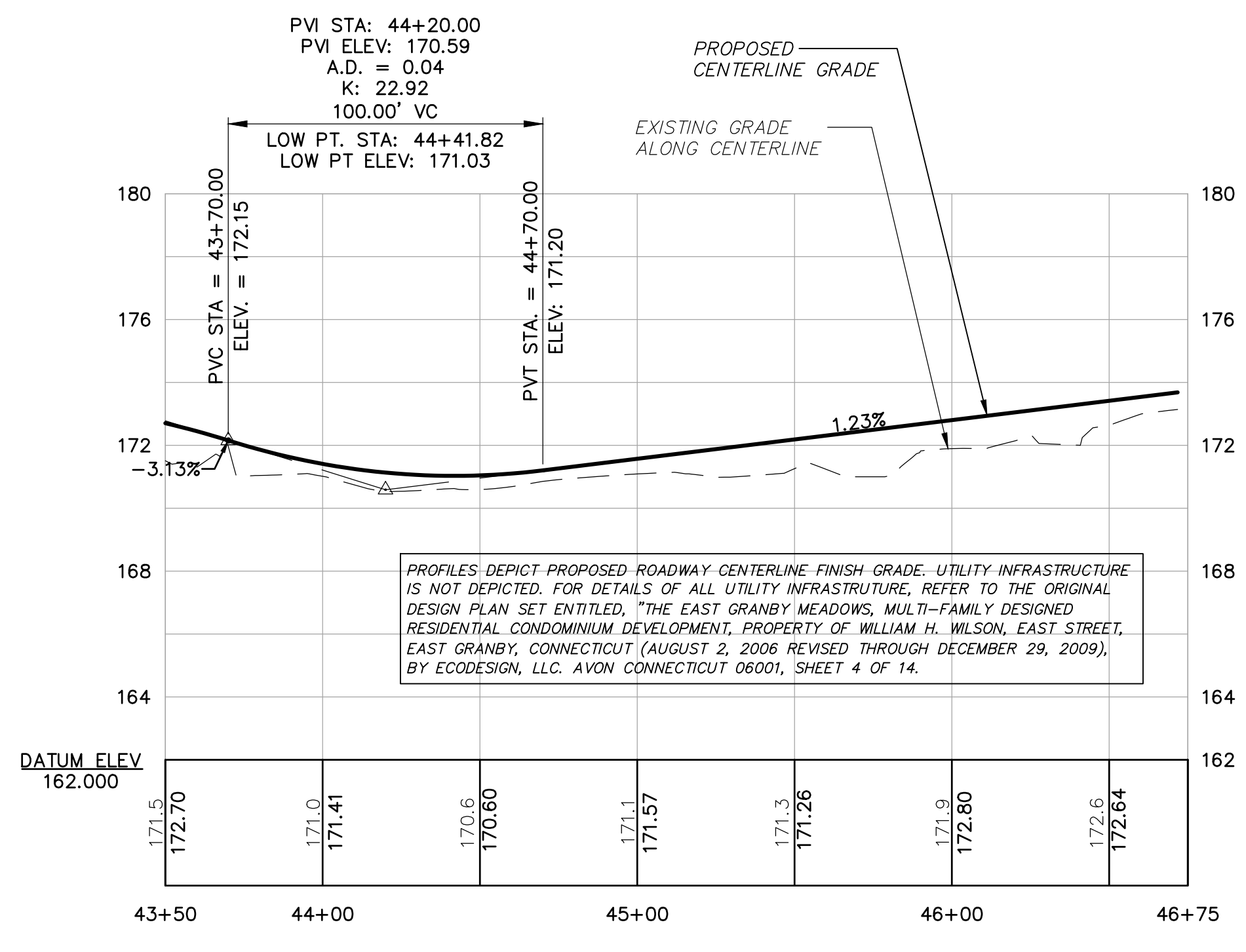
GRAPHIC SCALE



BRIARWOOD CIRCLE

PROFILE VIEW

SCALE:
1"=40' HORIZ.
1"=40' VERT.



BRIARWOOD CIRCLE

PROFILE VIEW

SCALE:
1"=40' HORIZ.
1"=40' VERT.

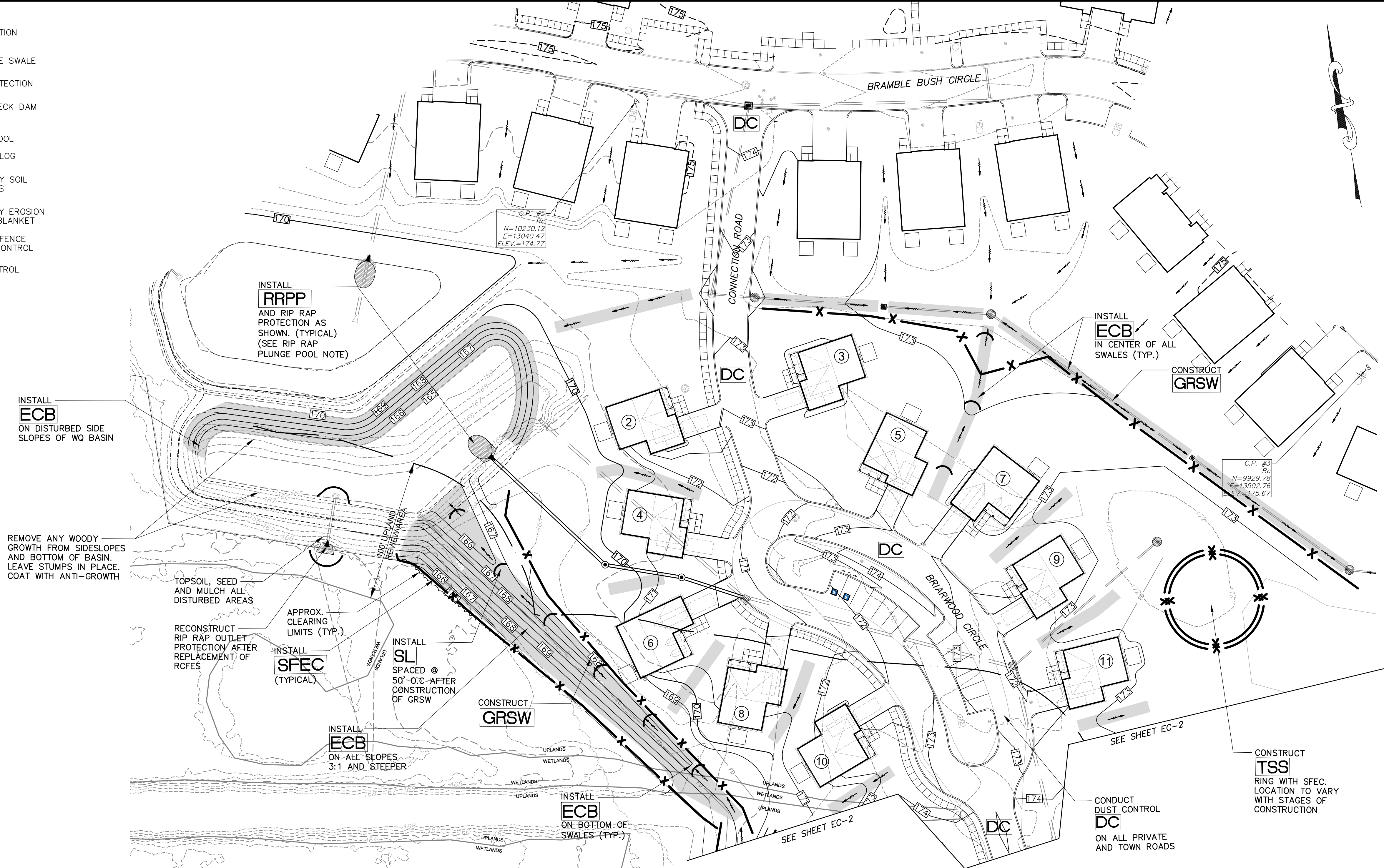
No.	Date	Description
1.	05-03-2024	P2C Application

PLAN & PROFILE
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-22-2024 Drawn by: DRT Job no: 22082
 Scale: 1" = 40'
 Checked by: GAH Sheet no: 3 OF 3
 0:\2022\22082 - Kram Point East Granby\East Granby Meadows\22082-05-03-PP-1 2024-05-03.dwg, PP-3, Apr. 29, 2024 - 2:09:08 PM

PP-3

FAH
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 www.fahhsketh.com
 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

- LEGEND**
- [Symbol] = PROPOSED CATCH BASIN
 - [Symbol] = PROPOSED SANITARY MANHOLE
 - [Symbol] = PROPOSED DRAINAGE MANHOLE
 - [Symbol] = PROPOSED FLARED END SECTION
 - [Symbol] = PROPOSED STORM DRAIN CULVERT
 - [Symbol] = PROPOSED SPOT GRADE
 - [Symbol] = PROPOSED CONTOUR
 - [Symbol] = PROPOSED CONSTRUCTION EXIT (CE)
 - [Symbol] = PROPOSED CATCH BASIN INLET PROTECTION (IP)
 - [Symbol] = PROPOSED RIPRAP PLUNGE POOL (RRPP)
 - [Symbol] = PROPOSED SEDIMENT FENCE EROSION CONTROL (SFEC)
 - [Symbol] = PROPOSED SEDIMENT LOG (SL)
 - [Symbol] = PROPOSED STONE CHECK DAM (SCD)
 - [Symbol] = PROPOSED RIPRAP LEVEL SPREADER (RRLS)
 - [Symbol] = PROPOSED EROSION CONTROL BLANKET (ECB)
- CE** = CONSTRUCTION ENTRANCE
 - GRSW** = VEGETATIVE SWALE
 - IP** = INLET PROTECTION
 - SCD** = STONE CHECK DAM
 - RRPP** = RIP RAP PLUNGE POOL
 - SL** = SEDIMENT LOG
 - TSS** = TEMPORARY SOIL STOCKPILES
 - ECB** = TEMPORARY EROSION CONTROL BLANKET
 - SFEC** = SEDIMENT FENCE EROSION CONTROL
 - DC** = DUST CONTROL



INSTALL ECB ON DISTURBED SIDE SLOPES OF WQ BASIN

REMOVE ANY WOODY GROWTH FROM SIDESLOPES AND BOTTOM OF BASIN. LEAVE STUMPS IN PLACE. COAT WITH ANTI-GROWTH

TOPSOIL, SEED AND MULCH ALL DISTURBED AREAS

RECONSTRUCT RIP RAP OUTLET PROTECTION AFTER REPLACEMENT OF RCFS

APPROX. CLEARING LIMITS (TYP.)

INSTALL SFEC (TYPICAL)

INSTALL SL SPACED @ 50' O.C. AFTER CONSTRUCTION OF GRSW

CONSTRUCT GRSW

INSTALL ECB ON ALL SLOPES 3:1 AND STEEPER

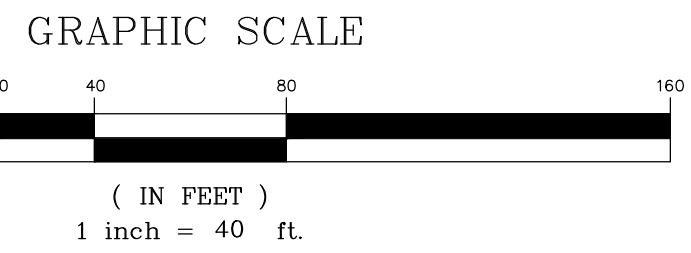
INSTALL ECB ON BOTTOM OF SWALES (TYP.)

INSTALL ECB IN CENTER OF ALL SWALES (TYP.)

CONSTRUCT GRSW

CONSTRUCT TSS RING WITH SFEC. LOCATION TO VARY WITH STAGES OF CONSTRUCTION

CONDUCT DUST CONTROL DC ON ALL PRIVATE AND TOWN ROADS



RIP RAP PLUNGE POOL NOTE.
 AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

CONTINGENCY PROVISIONS FOR EROSION & SEDIMENT CONTROL FAILURES AND EMERGENCIES:

- THE CONTRACTOR SHALL SCHEDULE WORK SO THAT NO EARTHWORK THAT IS POTENTIALLY EXPOSED TO EROSION IS CONDUCTED DURING SEVERE WEATHER EVENTS, OR WHEN SEVERE WEATHER IS FORECAST, WITHOUT IMPLEMENTATION OF PROPER EROSION CONTROL MEASURES.
- THE CONTRACTOR SHALL STABILIZE OR OTHERWISE SECURE DISTURBED AREAS AT THE END OF EACH WORK DAY AND WORK WEEK TO MINIMIZE IMPACTS OF EROSION. SUCH MEASURES SHALL INCLUDE TEMPORARY DIVERSIONS, INSTALLATION OF STABILIZATION STRUCTURES, ETC.
- THE CONTRACTOR SHALL KEEP, ON-SITE, EXTRAS HAY BALES, SILT FENCE, STRAW WATTLES, RIP RAP, AND EROSION CONTROL FABRIC FOR USE IN CASE OF AN EROSION CONTROL EMERGENCY.
- IN THE EVENT THAT AN EROSION CONTROL EMERGENCY, THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO STABILIZE THE IMPACT AREAS, PREVENT FURTHER EROSION AND TRANSPORT OF SEDIMENTS, ETC. IN THE EVENT THAT SEDIMENTS ARE TRANSPORTED OFF THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER, AND THE PROJECT ENGINEER. IN THE EVENT THAT SEDIMENTS ENTER ANY STORM DRAIN SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE TOWN PUBLIC WORKS DEPARTMENT, OR THE CT DOT, AS APPROPRIATE AND TAKE IMMEDIATELY IMPLEMENT REMEDIAL MEASURES.

ADDITIONAL TOWN NOTES:

- IF REQUIRED DURING THE CONSTRUCTION PROCESS, ADD ADDITIONAL SEDIMENT TRAPS IN AREAS WHERE RUNOFF DOES NOT FLOW TO THE TEMPORARY SEDIMENT BASINS.
- ALL WATER QUALITY BASINS SHALL BE UTILIZED AS TEMPORARY SEDIMENT BASINS AND SHALL BE CLEANED OF ALL SEDIMENT ONCE THE SITE IS STABILIZED AND TURF IS ESTABLISHED AT 70% OR MORE.
- ALL GRASS LINED SWALES SHALL BE CLEANED OF ALL SEDIMENT/DEBRIS PRIOR TO LOAMING AND SEEDING.
- A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN OF EAST GRANBY STAFF AND THE TOWN ENGINEER.
- THE TOWN ENGINEER AND/OR THE TOWN OF EAST GRANBY STAFF SHALL MAKE INSPECTIONS OF THE SITE AT CONSTRUCTION MILESTONES AS DETERMINED AT THE PRE-CONSTRUCTION MEETING. ADDITIONAL INSPECTIONS WILL BE MADE THROUGHOUT THE CONSTRUCTION PROCESS, UNTIL THE SITE IS STABILIZED WITH A PERMANENT VEGETATIVE COVER, AS DETERMINED BY THE TOWN OF EAST GRANBY STAFF AND/OR THE TOWN ENGINEER.
- DURING THE CONSTRUCTION PROCESS, THE OWNER/DEVELOPER/GENERAL CONTRACTOR SHALL ADD EROSION AND SEDIMENTATION CONTROL MEASURES AS DEEMED NECESSARY BY THE TOWN ENGINEER.
- INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED DAILY, PRIOR TO IMPENDING INCLEMENT WEATHER, AND AFTER EVERY RAIN STORM EVENT OF 0.5 INCHES OF RAINFALL OR GREATER. THE REQUIRED REPAIRS AND/OR MAINTENANCE OF ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED BY THE GENERAL AND/OR SITE CONTRACTOR IMMEDIATELY AFTER THE INSPECTION(S) AND UNTIL A PERMANENT VEGETATED COVER IS ESTABLISHED (70% TURF ESTABLISHMENT).
- THE DESIGN ENGINEER OR A CERTIFIED EROSION & SEDIMENTATION CONTROL SPECIALIST SHALL INSPECT THE SITE ONCE PER MONTH AND/OR AFTER EVERY RAIN EVENT WHICH YIELDS 0.5 INCHES OR MORE OF RAINFALL. A DETAILED REPORT, TO INCLUDE PHOTOGRAPHS, SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW.
- ALL DISTURBED AREAS SHALL BE LOAMED, SEEDED AND MULCHED.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk _____

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Revisions:

No.	Date	Description
1.	05-03-2024	P2C Application

SOIL EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT

Date: 05-22-2024 Drawn by: DRT Job no: 22082
 Checked by: GAH Sheet no: 1 OF 2
 Scale: 1" = 40'

EC-1

FAH

F. A. Hesketh & Associates, Inc.
 6 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com - matri@fahsketh.com
 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

RIP RAP PLUNGE POOL NOTE.

AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

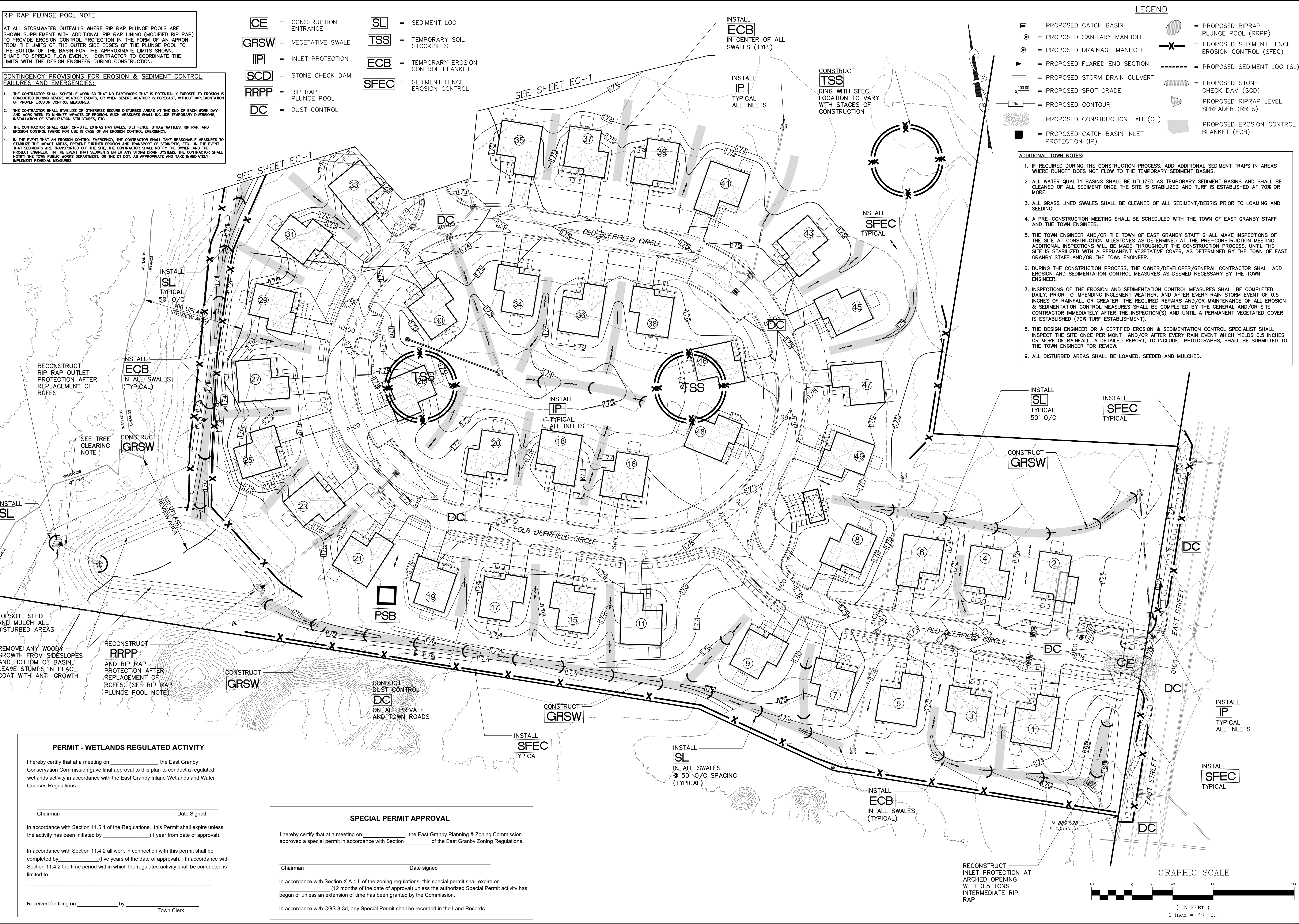
CONTINGENCY PROVISIONS FOR EROSION & SEDIMENT CONTROL FAILURES AND EMERGENCIES:

1. THE CONTRACTOR SHALL SCHEDULE WORK SO THAT NO EARTHWORK THAT IS POTENTIALLY EXPOSED TO EROSION IS CONDUCTED DURING SEVERE WEATHER EVENTS, OR WHEN SEVERE WEATHER IS FORECAST, WITHOUT IMPLEMENTATION OF PROPER EROSION CONTROL MEASURES.
2. THE CONTRACTOR SHALL STABILIZE OR OTHERWISE SECURE DISTURBED AREAS AT THE END OF EACH WORK DAY AND WORK WEEK TO MINIMIZE IMPACTS OF EROSION. SUCH MEASURES SHALL INCLUDE TEMPORARY DIVERSIONS, INSTALLATION OF STABILIZATION STRUCTURES, ETC.
3. THE CONTRACTOR SHALL KEEP ON-SITE, EXTRAS MAY BE NEEDED, SILT FENCE, STRAW BATTLES, RIP RAP, AND EROSION CONTROL FABRIC FOR USE IN CASE OF AN EROSION CONTROL EMERGENCY.
4. IN THE EVENT THAT AN EROSION CONTROL EMERGENCY, THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO STABILIZE THE IMPACT AREAS, PREVENT FURTHER EROSION AND TRANSPORT OF SEDIMENTS, ETC. IN THE EVENT THAT SEDIMENTS ARE TRANSPORTED OFF THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER, AND THE PROJECT ENGINEER. IN THE EVENT THAT SEDIMENTS ENTER ANY STORM DRAIN SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE TOWN PUBLIC WORKS DEPARTMENT, OR THE CT DOT, AS APPROPRIATE AND TAKE IMMEDIATELY IMPLEMENT REMEDIAL MEASURES.

- CE** = CONSTRUCTION ENTRANCE
- GRSW** = VEGETATIVE SWALE
- IP** = INLET PROTECTION
- SCD** = STONE CHECK DAM
- RRPP** = RIP RAP PLUNGE POOL
- DC** = DUST CONTROL
- SL** = SEDIMENT LOG
- TSS** = TEMPORARY SOIL STOCKPILES
- ECB** = TEMPORARY EROSION CONTROL BLANKET
- SFEC** = SEDIMENT FENCE EROSION CONTROL

- LEGEND**
- [Symbol] = PROPOSED CATCH BASIN
 - [Symbol] = PROPOSED SANITARY MANHOLE
 - [Symbol] = PROPOSED DRAINAGE MANHOLE
 - [Symbol] = PROPOSED FLARED END SECTION
 - [Symbol] = PROPOSED STORM DRAIN CULVERT
 - [Symbol] = PROPOSED SPOT GRADE
 - [Symbol] = PROPOSED CONTOUR
 - [Symbol] = PROPOSED CONSTRUCTION EXIT (CE)
 - [Symbol] = PROPOSED CATCH BASIN INLET PROTECTION (IP)
 - [Symbol] = PROPOSED RIPRAP PLUNGE POOL (RRPP)
 - [Symbol] = PROPOSED SEDIMENT FENCE EROSION CONTROL (SFE)
 - [Symbol] = PROPOSED SEDIMENT LOG (SL)
 - [Symbol] = PROPOSED STONE CHECK DAM (SCD)
 - [Symbol] = PROPOSED RIPRAP LEVEL SPREADER (RRLS)
 - [Symbol] = PROPOSED EROSION CONTROL BLANKET (ECB)

- ADDITIONAL TOWN NOTES:**
1. IF REQUIRED DURING THE CONSTRUCTION PROCESS, ADD ADDITIONAL SEDIMENT TRAPS IN AREAS WHERE RUNOFF DOES NOT FLOW TO THE TEMPORARY SEDIMENT BASIN.
 2. ALL WATER QUALITY BASINS SHALL BE UTILIZED AS TEMPORARY SEDIMENT BASINS AND SHALL BE CLEANED OF ALL SEDIMENT ONCE THE SITE IS STABILIZED AND TURF IS ESTABLISHED AT 70% OR MORE.
 3. ALL GRASS LINED SWALES SHALL BE CLEANED OF ALL SEDIMENT/DEBRIS PRIOR TO LOAMING AND SEEDING.
 4. A PRE-CONSTRUCTION MEETING SHALL BE SCHEDULED WITH THE TOWN OF EAST GRANBY STAFF AND THE TOWN ENGINEER.
 5. THE TOWN ENGINEER AND/OR THE TOWN OF EAST GRANBY STAFF SHALL MAKE INSPECTIONS OF THE SITE AT CONSTRUCTION MILESTONES AS DETERMINED AT THE PRE-CONSTRUCTION MEETING. ADDITIONAL INSPECTIONS WILL BE MADE THROUGHOUT THE CONSTRUCTION PROCESS, UNTIL THE SITE IS STABILIZED WITH A PERMANENT VEGETATIVE COVER, AS DETERMINED BY THE TOWN OF EAST GRANBY STAFF AND/OR THE TOWN ENGINEER.
 6. DURING THE CONSTRUCTION PROCESS, THE OWNER/DEVELOPER/GENERAL CONTRACTOR SHALL ADD EROSION AND SEDIMENTATION CONTROL MEASURES AS DEEMED NECESSARY BY THE TOWN ENGINEER.
 7. INSPECTIONS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED DAILY PRIOR TO IMPENDING INCLEMENT WEATHER, AND AFTER EVERY RAIN STORM EVENT OF 0.5 INCHES OF RAINFALL OR GREATER. THE REQUIRED REPAIRS AND/OR MAINTENANCE OF ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE COMPLETED BY THE GENERAL AND/OR SITE CONTRACTOR IMMEDIATELY AFTER THE INSPECTION(S) AND UNTIL A PERMANENT VEGETATED COVER IS ESTABLISHED (70% TURF ESTABLISHMENT).
 8. THE DESIGN ENGINEER OR A CERTIFIED EROSION & SEDIMENTATION CONTROL SPECIALIST SHALL INSPECT THE SITE ONCE PER MONTH AND/OR AFTER EVERY RAIN EVENT WHICH YIELDS 0.5 INCHES OR MORE OF RAINFALL. A DETAILED REPORT, TO INCLUDE PHOTOGRAPHS, SHALL BE SUBMITTED TO THE TOWN ENGINEER FOR REVIEW.
 9. ALL DISTURBED AREAS SHALL BE LOAMED, SEEDING AND MULCHED.



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk _____

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

F. A. Hesketh & Associates, Inc.
 6 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com mail@fahsketh.com

FAH

No.	Date	Description
1.	05-03-2024	P2C Application

Revisions:

SOIL EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT

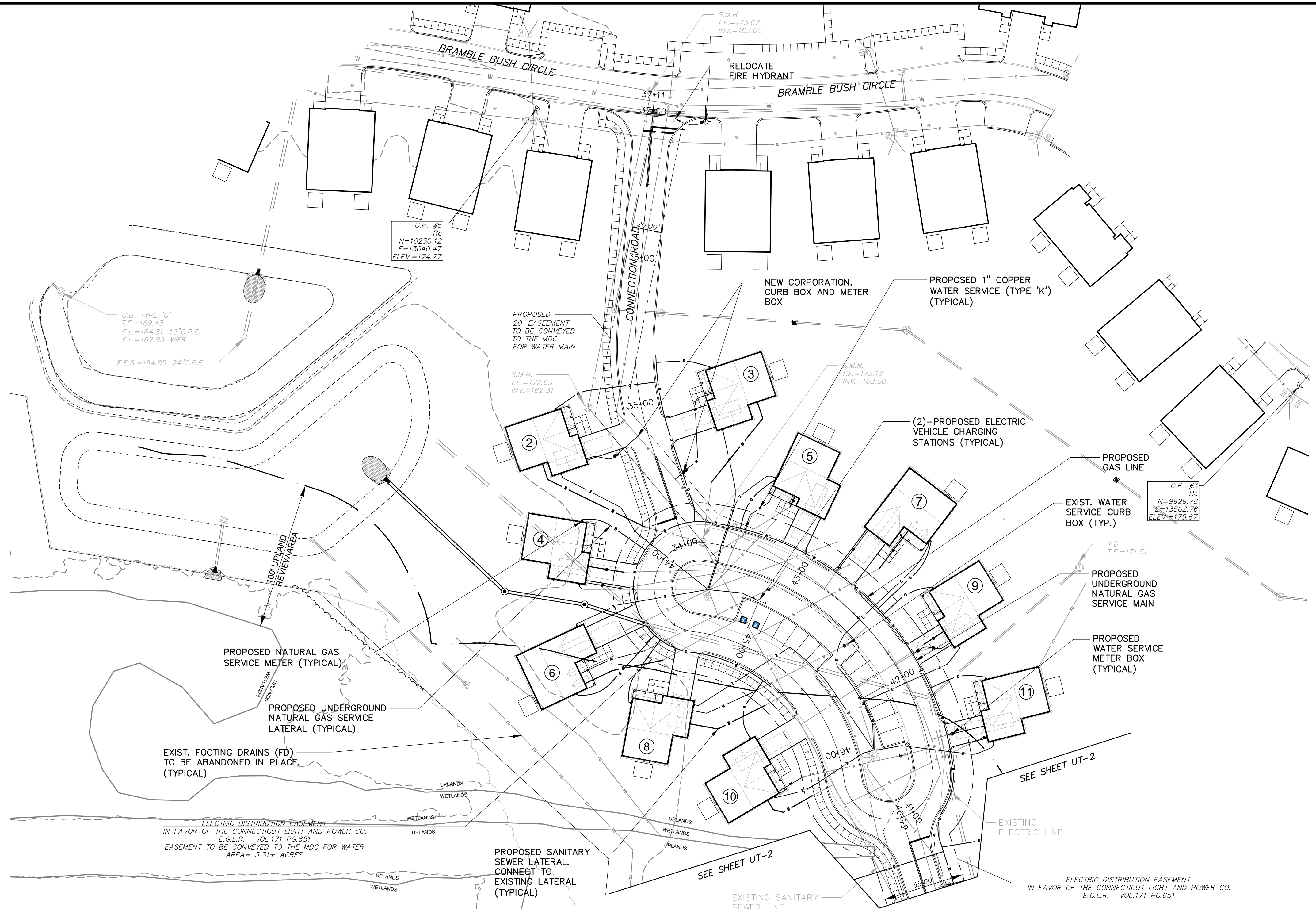
Date: 03-22-2024 Drawn by: DRT Job no: 22082
 Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2
 0:1202212082 - Krawm Plant East Granby\East Granby Meadows P2C Submittal 2024-05-03.ec-1 2024-05-03.dwg, Ec-2, May 02, 2024 - 10:01:19 AM

EC-2

- LEGEND**
(SYMBOLS NOT TO SCALE)
- EXISTING CATCH BASIN
 - EXISTING SANITARY MANHOLE
 - EXISTING DRAINAGE MANHOLE
 - EXISTING WATER MANHOLE
 - EXISTING ELECTRIC MANHOLE
 - UNKNOWN MANHOLE
 - EXISTING YARD DRAIN
 - CABLE MANHOLE
 - EXISTING FLARED END SECTION
 - EXISTING FIRE HYDRANT
 - EXISTING WATER GATE VALVE
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 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE
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 - FENCE LINE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING ELECTRIC LINE
 - OVERHEAD WIRES
 - PROPOSED CATCH BASIN
 - PROPOSED FLARED END SECTION
 - PROPOSED EXISTING WATER LINE
 - PROPOSED ELECTRIC LINE
 - PROPOSED WATER METER PIT
 - PROPOSED STORM DRAINAGE
 - PROPOSED GAS LINE
 - PROPOSED ELECTRICAL PEDESTAL
 - PROPOSED ELECTRICAL MANHOLE

UTILITY NOTES

- UNDERGROUND UTILITIES DEPICTED ON THIS DRAWING ARE A COMPILATION OF FIELD SURVEY DATA, RECORD UTILITY PLANS, AS-BUILT FIELD SURVEY, AND RECORD DESIGN PLANS. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. PRIOR TO THE START OF CONSTRUCTION OF THE UTILITIES, THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AT ALL UTILITY CROSSINGS AND POINTS OF CONNECTION WITH EXISTING UTILITIES TO IDENTIFY POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND ARCHITECT OF SUCH CONFLICTS.
- CONTACT "CALL BEFORE YOU DIG" BY CALLING 811 OR 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE ALL UTILITY SERVICES DEMARCATED IN THE FIELD. CONDUCT, AS REQUIRED, TEST PITS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES.
- ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST GRANBY STANDARDS AND SPECIFICATIONS, CT DOT FORM 818, AND/OR CUSTODIAL UTILITY COMPANY AND MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS, AS APPROPRIATE.
- ALL UTILITIES TAKEN OUT OF SERVICE SHALL BE ABANDONED IN ACCORDANCE WITH REQUIREMENT OF THE CUSTODIAL UTILITY COMPANY SPECIFICATIONS, THE TOWN OF EAST GRANBY WATER POLLUTION CONTROL AUTHORITY STANDARDS, OR STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION (CT DOT) AS APPLICABLE.
- ACTUAL ROUTING OF UTILITY SERVICES MAY BE SUBJECT TO REVISION BY THE CUSTODIAL UTILITY COMPANY. CONTRACTOR SHALL COORDINATE ROUTING OF UTILITIES WITH THE CUSTODIAL UTILITY COMPANY.
- THE EXISTING SANITARY SEWER SYSTEM AND LATERALS CONNECTION LOCATIONS DEPICTED ON THESE PLANS ARE TAKEN FROM RECORD PLANS FROM TOWN OF EAST GRANBY ARCHIVES, RECORD AS-BUILT PLANS, AND FIELD SURVEY DATA. THE PLANS INCLUDE THE LOCATION OF WITNESS MARKERS PURPORTED TO IDENTIFY THE LOCATION OF THE EXISTING SANITARY SEWER LATERALS. THE CONTRACTOR SHALL CONDUCT A TEST PIT AT THE PROPOSED LOCATION OF SANITARY SEWER CONNECTION AND VERIFY LOCATION AND INVERT OF SANITARY SEWER BEFORE CONSTRUCTION OF SEWER TO VERIFY IF INVERT ELEVATIONS SHOWN ON THIS PLAN WILL WORK AS DESIGNED. NOTIFY DESIGN ENGINEER AND ARCHITECT OF CONFLICTS PRIOR TO START OF CONSTRUCTION OF NEW SEWER LATERAL CONNECTIONS.
- ALL NEW UTILITY SERVICES AND CONNECTIONS SHALL BE UNDERGROUND.
- SEE GRADING AND DRAINAGE PLAN FOR STORM DRAIN DESIGN AND RELATED NOTES.
- ALL MATERIALS AND CONSTRUCTION OF SANITARY SEWERS SHALL BE IN COMPLIANCE WITH THE EAST GRANBY WATER POLLUTION CONTROL AUTHORITY AND THE MDC STANDARDS AND SPECIFICATIONS.
- PVC SEWER PIPE = SDR 35 PVC PIPE W/ PUSH-ON GASKETED JOINTS IN CONFORMANCE WITH THE MDC AND TOWN OF EAST GRANBY WATER POLLUTION CONTROL AUTHORITY SPECIFICATIONS.
- EACH UNIT WILL DISCHARGE SEWAGE VIA A SANITARY LATERAL CONNECTION TO THE CLOSEST EXISTING SANITARY SEWER LATERAL. LOCATIONS OF EXISTING SANITARY SEWER LATERALS ARE DEPICTED ON THE PLAN ARE FIELD-LOCATED WITNESS, PURPORTED TO BE THE LOCATION OF THE TERMINUS OF THE LATERAL CONSTRUCTED CIRCA 2009. A SINGLE LATERAL SERVICE WILL EXIT EACH UNIT.
- INVERT ELEVATIONS OF ALL SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND ARCHITECT OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
- ALL MATERIALS AND CONSTRUCTION FOR DOMESTIC WATER AND FIRE SERVICE SHALL BE IN COMPLIANCE WITH MDC STANDARDS AND SPECIFICATIONS.
- EACH UNIT WILL BE SERVED VIA A 1-INCH DIAMETER WATER SERVICE LATERAL (TYPE 'K' COPPER TUBING). THE LOCATION OF EXISTING WATER SERVICE CURB BOXES, WHERE THEY EXIST, ARE DEPICTED ON THE PLAN. A WATER METER BOX IS REQUIRED AFTER THE SERVICE CURB BOX. WHERE SERVICE CURB BOXES ARE LOCATED IN PAVED AREAS, THE PLUG COVER FOR CONCRETE PAVED AREAS SHALL BE USED. WHERE CURB BOXES ARE LOCATED IN NON-PAVED AREAS, THE TWO-HOLE COVER FOR USE IN NON-PAVED AREAS SHALL BE USED. IT MAY BE NECESSARY TO CHANGE THE COVERS ON EXISTING SERVICE CURB BOXES TO PROVIDE THE PROPER COVER TYPE.
- CONTRACTOR SHALL COORDINATE ELECTRIC SERVICE WITH EVERSOURCE. IT IS ANTICIPATED THAT THE EXISTING ELECTRICAL INFRASTRUCTURE WILL BE USED. ADDITIONAL SECONDARY SERVICE ROADWAY CROSSINGS AND ELECTRICAL SERVICE MANHOLES MAY BE REQUIRED.
- CONTRACTOR SHALL COORDINATE NATURAL GAS SERVICE WITH EVERSOURCE.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ELECTRIC VEHICLE CHARGING STATION METER AND BREAKER PEDESTALS AND RELATED HANDHOLES FOR SECONDARY SERVICE, ETC. COORDINATE INSTALLATION WITH EVERSOURCE UTILITY SERVICES.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF SITE LIGHTING FOUNDATIONS, STANDARDS, FIXTURES AND ELECTRICAL CONDUITS AND WIRING. THIS INCLUDES PARKING AREA PERIMETER LIGHTING AND MISCELLANEOUS SITE LIGHTING. COORDINATE INSTALLATION WITH ARCHITECT'S ELECTRICAL DRAWINGS.
- SAW CUT FOR ALL TRENCHES IN TOWN RIGHT-OF-WAY. CONSTRUCT BACKFILLING AND PAVEMENT REPAIR DETAIL PER TOWN OF EAST GRANBY DEPARTMENT OF PUBLIC WORKS STANDARDS.
- WORK WITHIN THE TOWN ROAD RIGHT OF WAY WILL REQUIRE A PERMIT FROM THE EAST GRANBY DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL OBTAIN SAID PERMIT PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. ALL WORK WITHIN THE TOWN HIGHWAY RIGHT OF WAY SHALL CONFORM TO CONDITIONS OF THE TOWN OF EAST GRANBY DPW PERMIT.

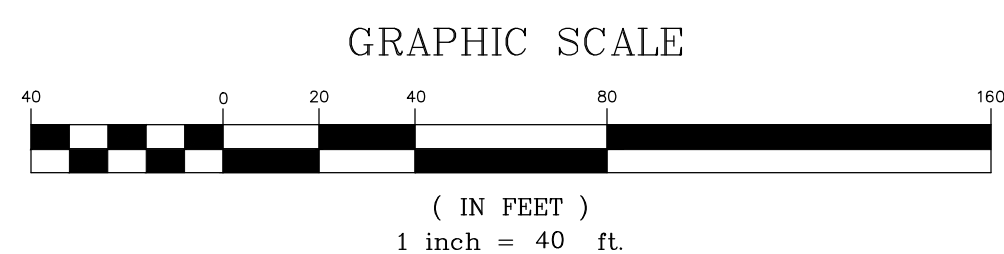


N/F
K SFR EAST GRANBY OWNER, LLC
E.G.L.R. VOL.235 PG.906
THE EAST GRANBY MEADOWS

TOTAL AREA
1,145,023±

"EAST GRANBY MEADOWS"
AREA TO BE DEEDED
TO TOWN OF EAST
GRANBY (PER MAP
ENCLOSURE #4) TO BE
EXTINGUISHED
IF IT EXISTS

SEE SHEET GR-1 FOR DESIGN
OF STORM DRAINAGE SYSTEMS.



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

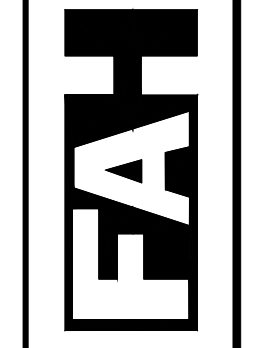
No.	Date	Description
1.	05-03-2024	PZC Application

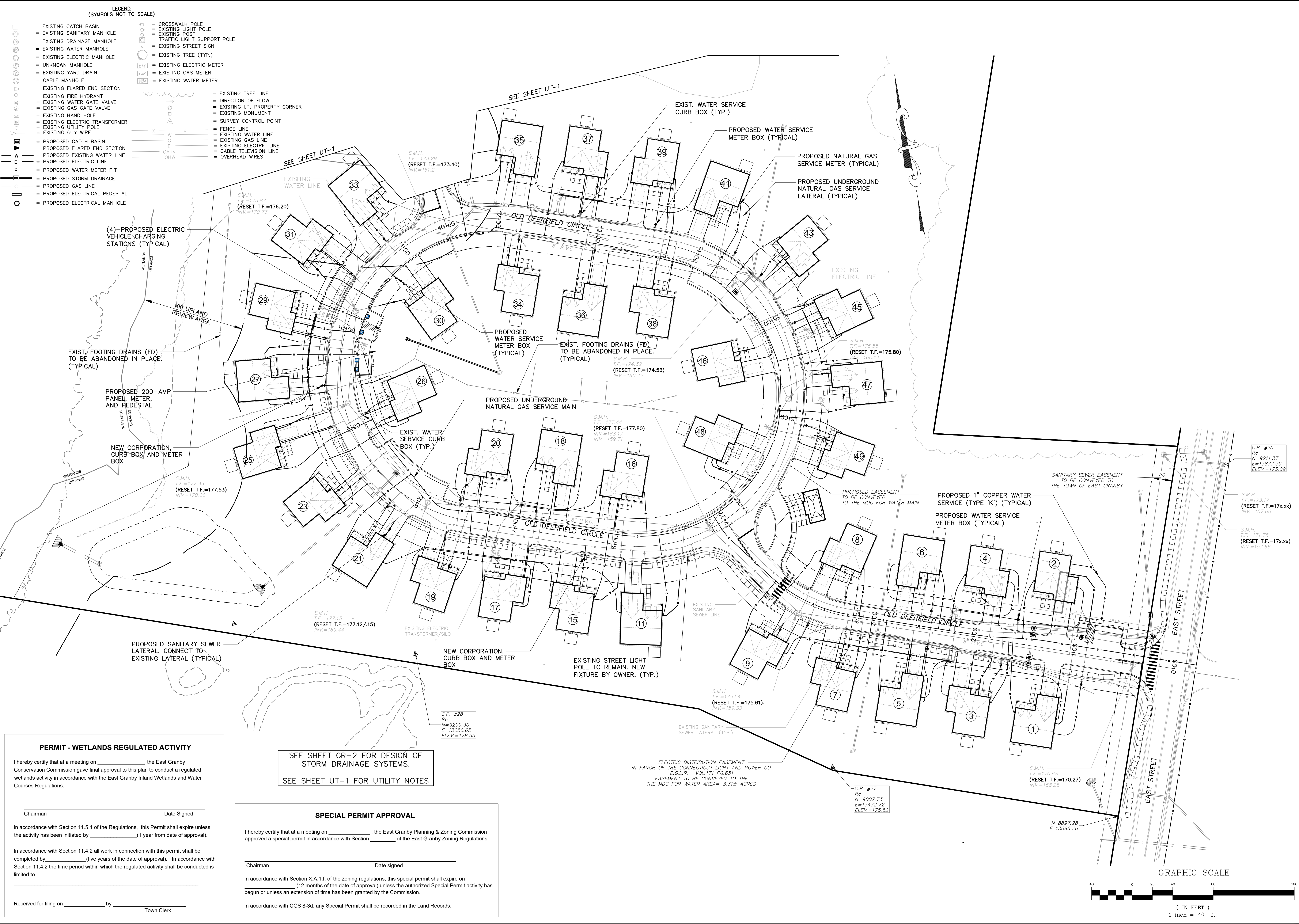
UTILITY PLAN
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

Date: 05-22-2024 Drawn by: DRT Job no: 22082
Checked by: GAH Sheet no: 1 OF 2
Scale: 1" = 40'

UT-1

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com · malfrisketh.com





LEGEND
(SYMBOLS NOT TO SCALE)

- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE MANHOLE
- EXISTING WATER MANHOLE
- EXISTING ELECTRIC MANHOLE
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Received for filing on _____ by _____ Town Clerk

SEE SHEET GR-2 FOR DESIGN OF STORM DRAINAGE SYSTEMS.

SEE SHEET UT-1 FOR UTILITY NOTES

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Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

UT-2

UTILITY PLAN

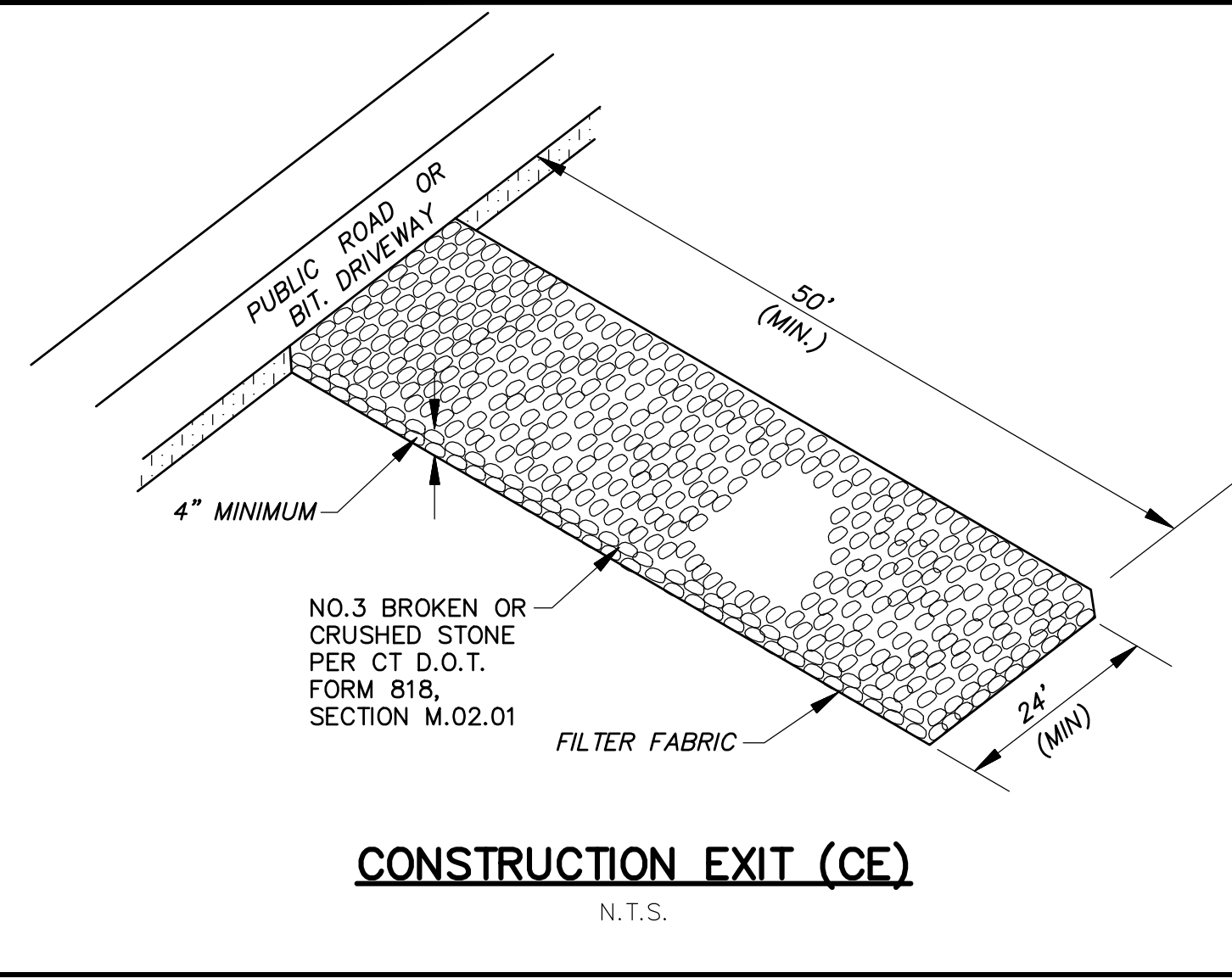
K SFR EAST GRANBY OWNER, LLC
 PREPARED FOR
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT

Date: 03-22-2024 Drawn by: DRT Job no: 22082
 Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2

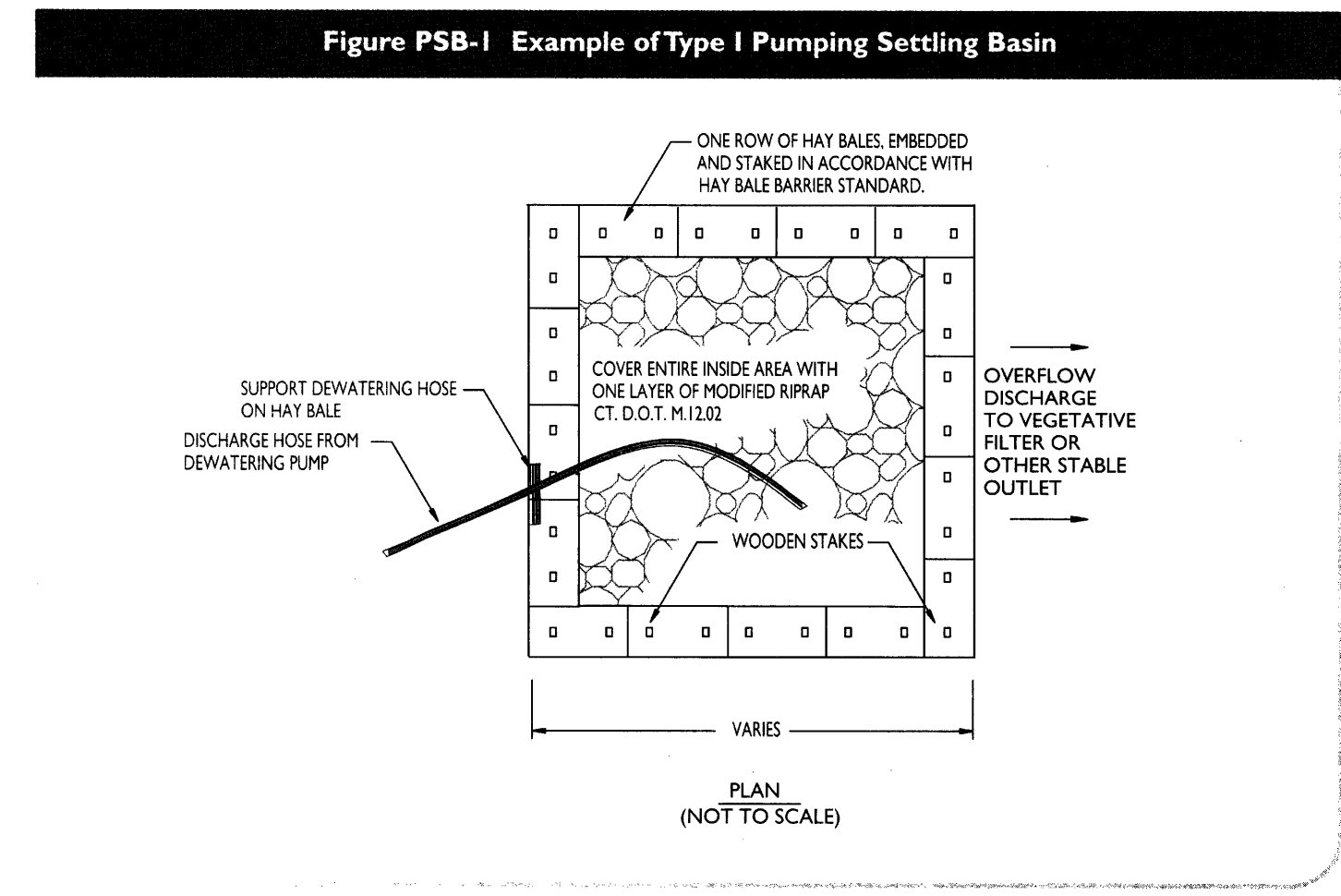
11.05-03-2024 P2C Application

Revisions:
 No. Date Description
 1. 05-03-2024 P2C Application

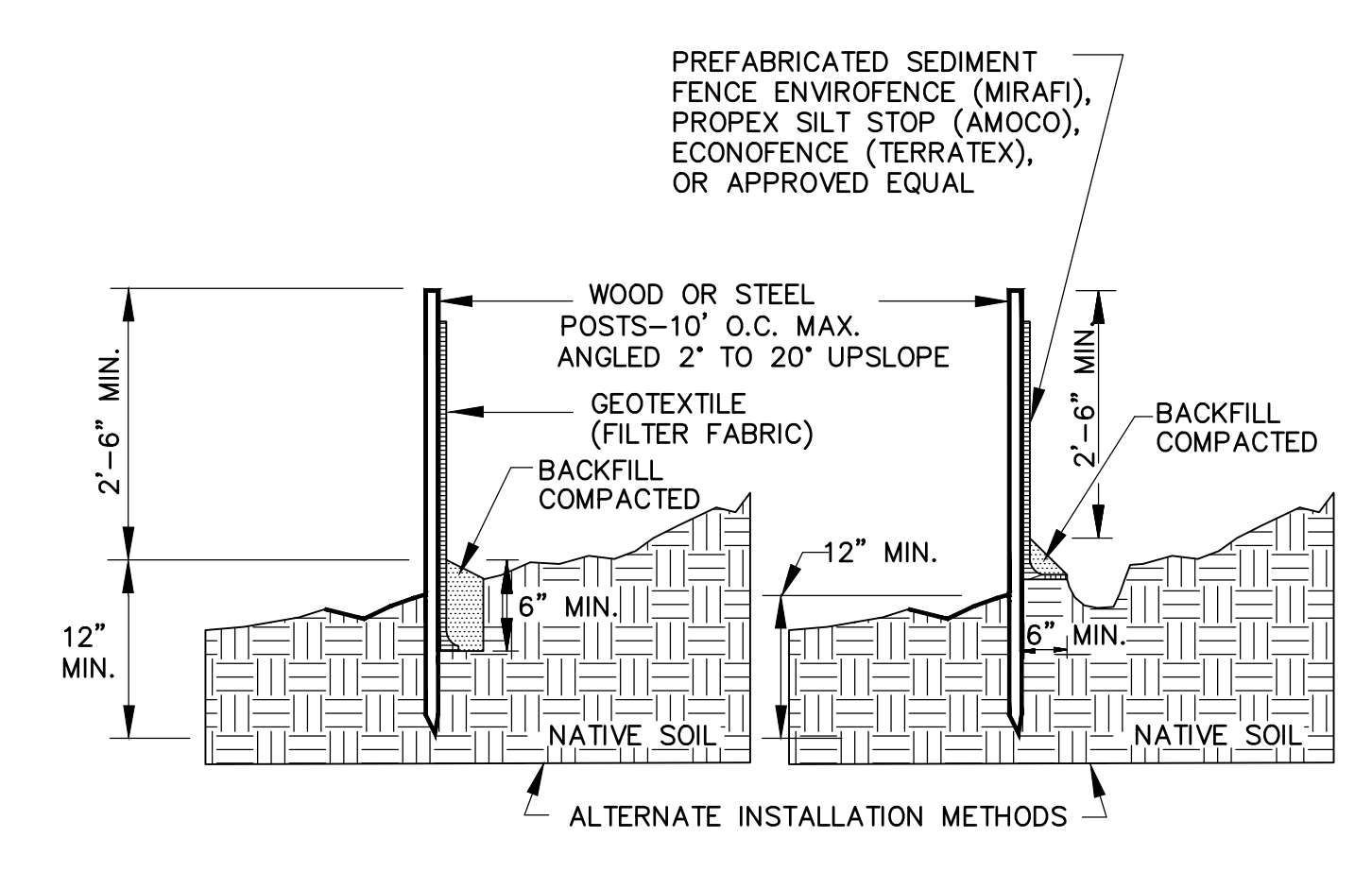
F.A.H.
F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
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 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



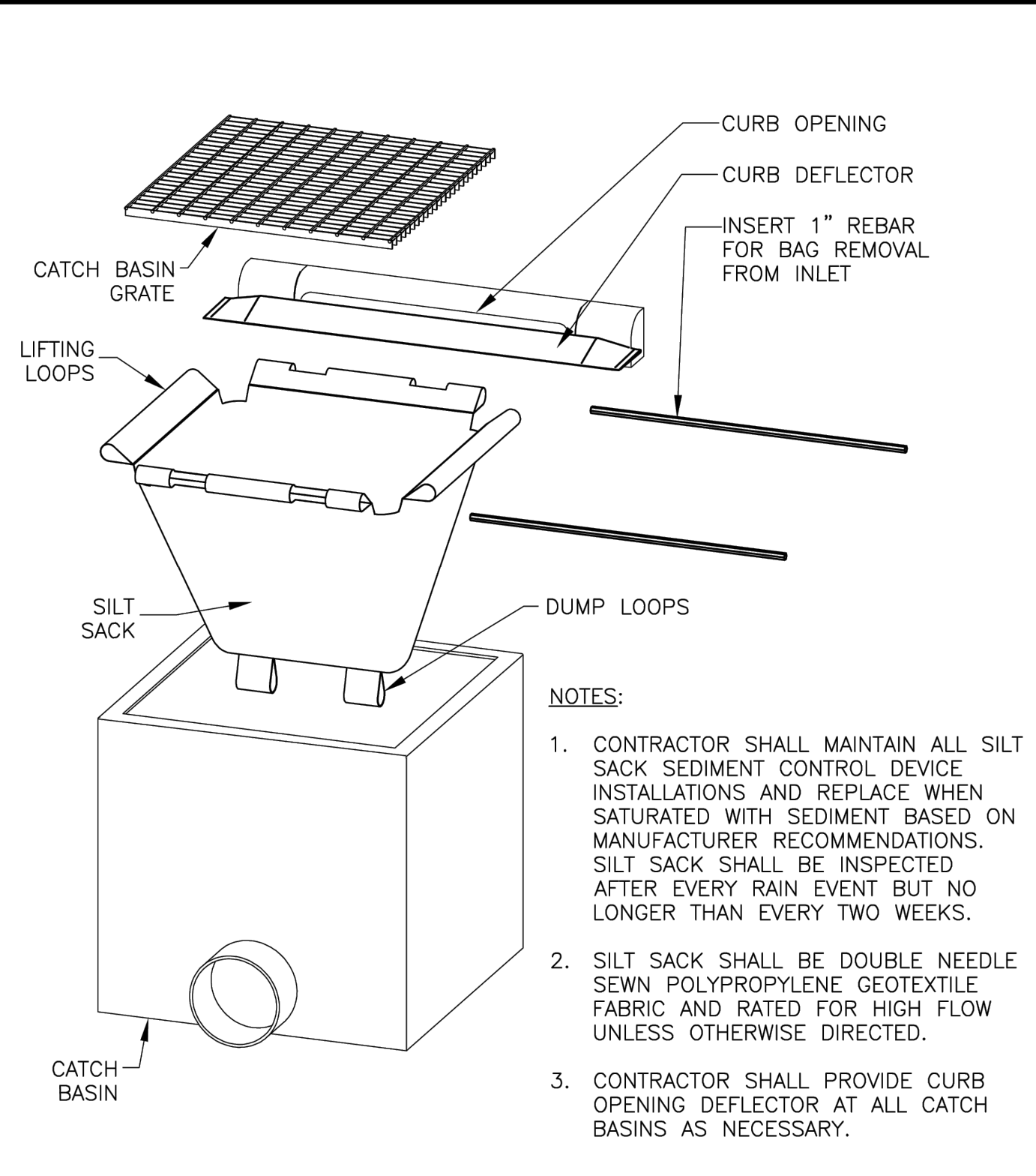
CONSTRUCTION EXIT (CE)
N.T.S.



DEWATERING DISCHARGE BASIN (PSB)
N.T.S.

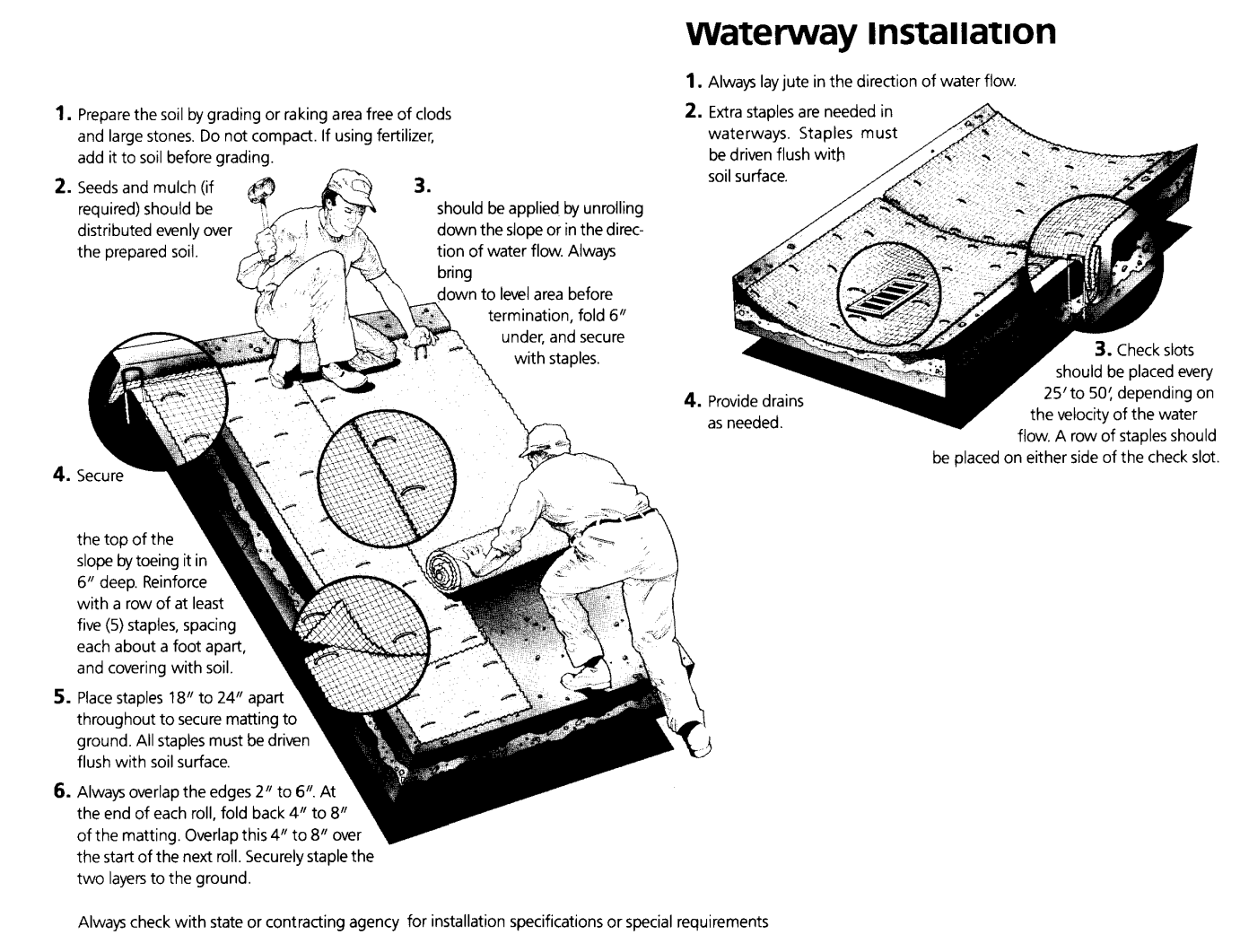


SEDIMENT FENCE EROSION CONTROL (SFEC)
N.T.S.



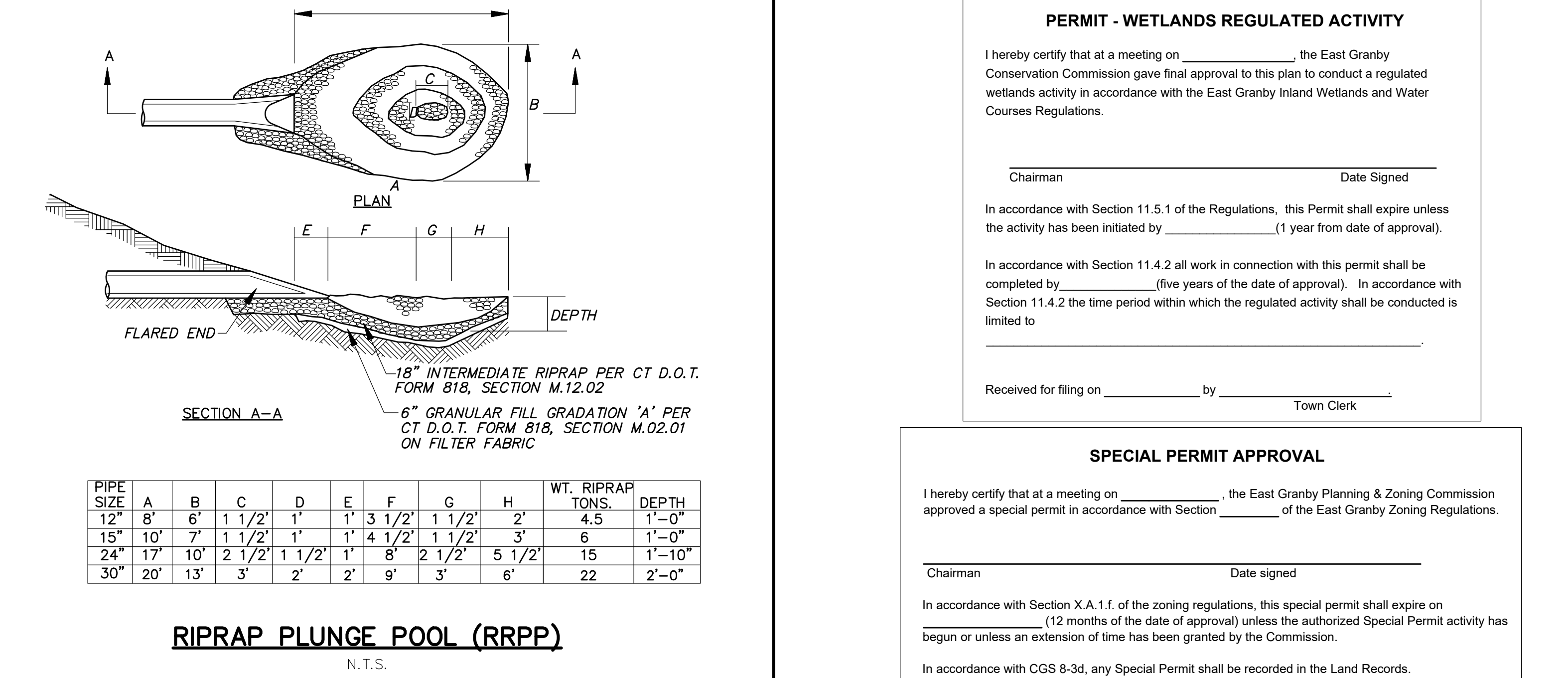
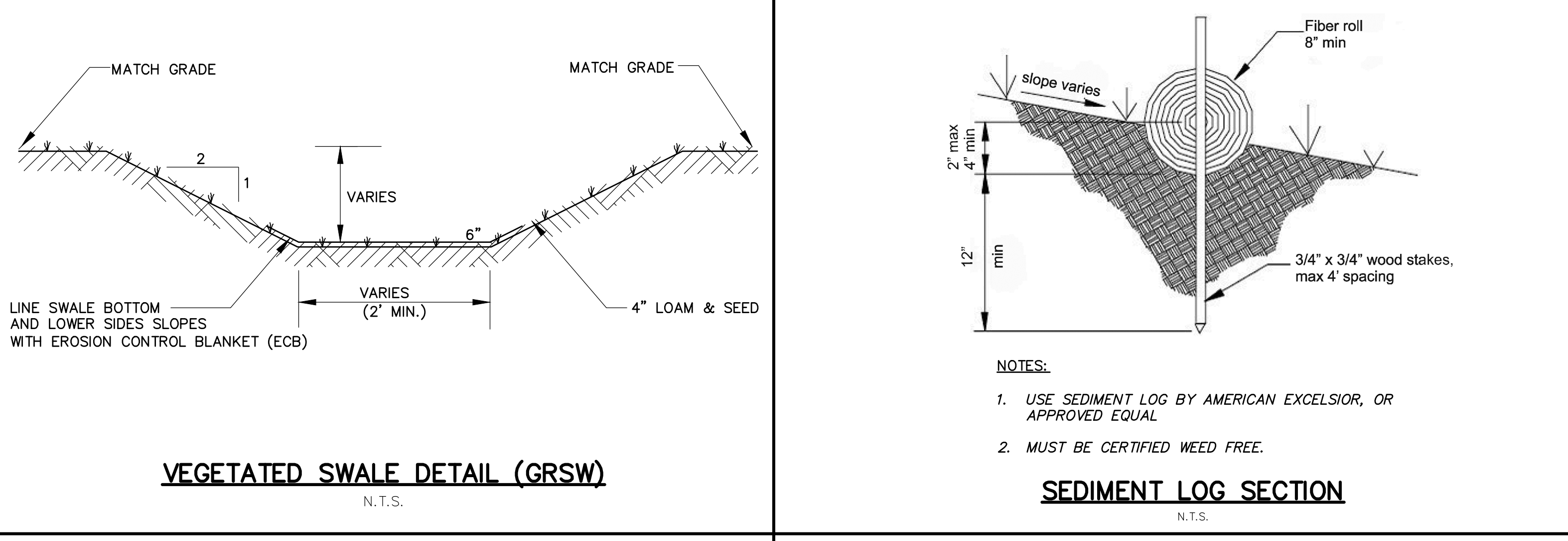
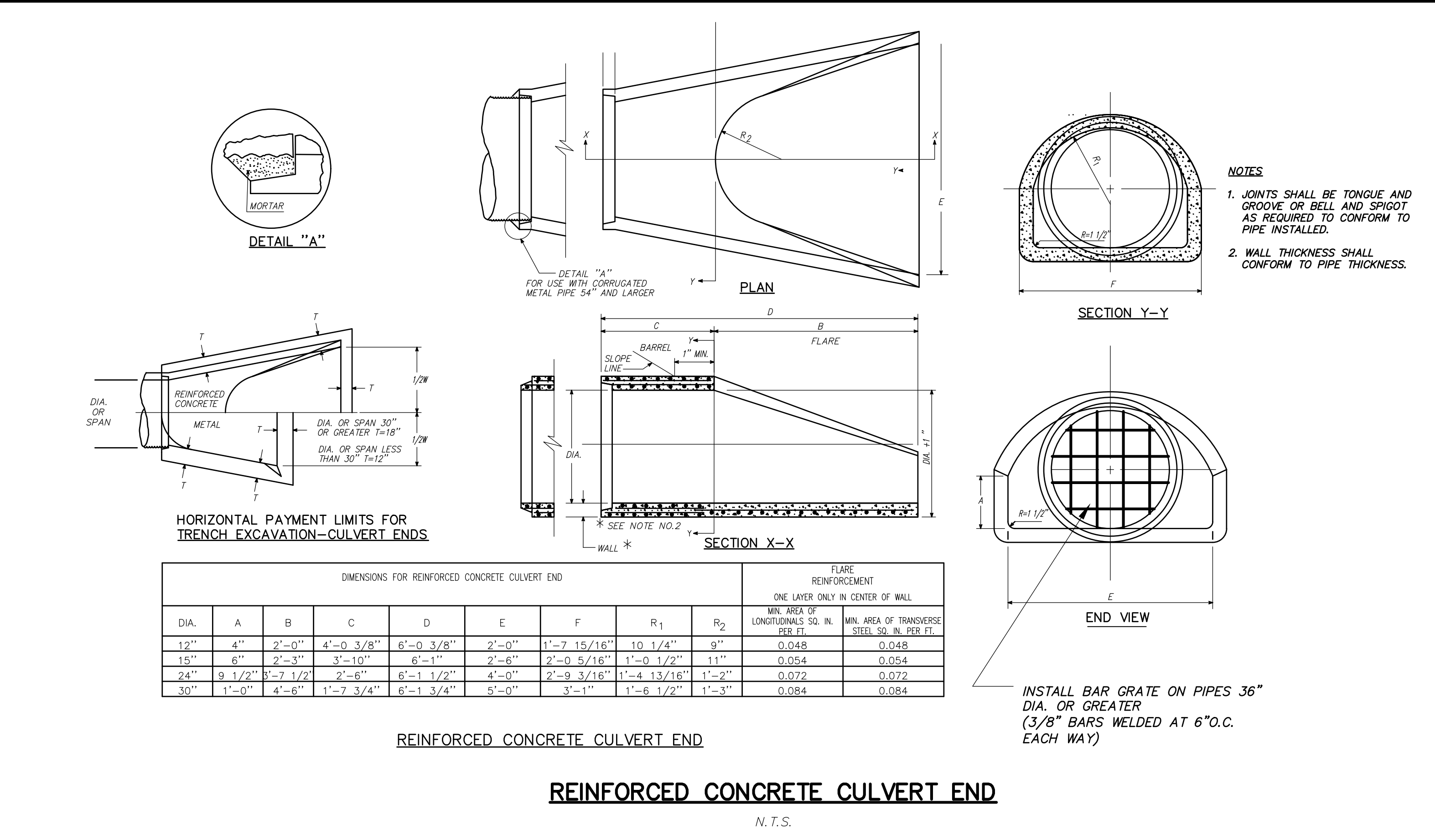
- NOTES:**
- CONTRACTOR SHALL MAINTAIN ALL SILT SACK SEDIMENT CONTROL DEVICE INSTALLATIONS AND REPLACE WHEN SATURATED WITH SEDIMENT BASED ON MANUFACTURER RECOMMENDATIONS. SILT SACK SHALL BE INSPECTED AFTER EVERY RAIN EVENT BUT NO LONGER THAN EVERY TWO WEEKS.
 - SILT SACK SHALL BE DOUBLE NEEDLE SEWN POLYPROPYLENE GEOTEXTILE FABRIC AND RATED FOR HIGH FLOW UNLESS OTHERWISE DIRECTED.
 - CONTRACTOR SHALL PROVIDE CURB OPENING DEFLECTOR AT ALL CATCH BASINS AS NECESSARY.

INLET PROTECTION (IP) [SILT SACK INSERT]



Specifications		Staples		Type	
Property	Results	11 gauge 6"	8 gauge 6"	8 gauge 8"	
Fabric structure	Woven				
Yarn	Jute, undyed and unbleached				
Fabric width	48"				
Weight	92 lbs./yd ²				
Yarn count/warp	75 per width, minimum				
Warp	42 per linear yard, minimum				
Water Absorption	>450% of fabric weight				
Open Area	60-65%				
Durability	1-2 years				
Coverage	approximately 50 rolls per acre (using 100 yd ² rolls)				
	*Smolder treatment adds approximately .05 lb./yd ²				

- NOTES:**
- MUST BE CERTIFIED WEED FREE.
- EROSION CONTROL BLANKET (ECB)**
N.T.S.



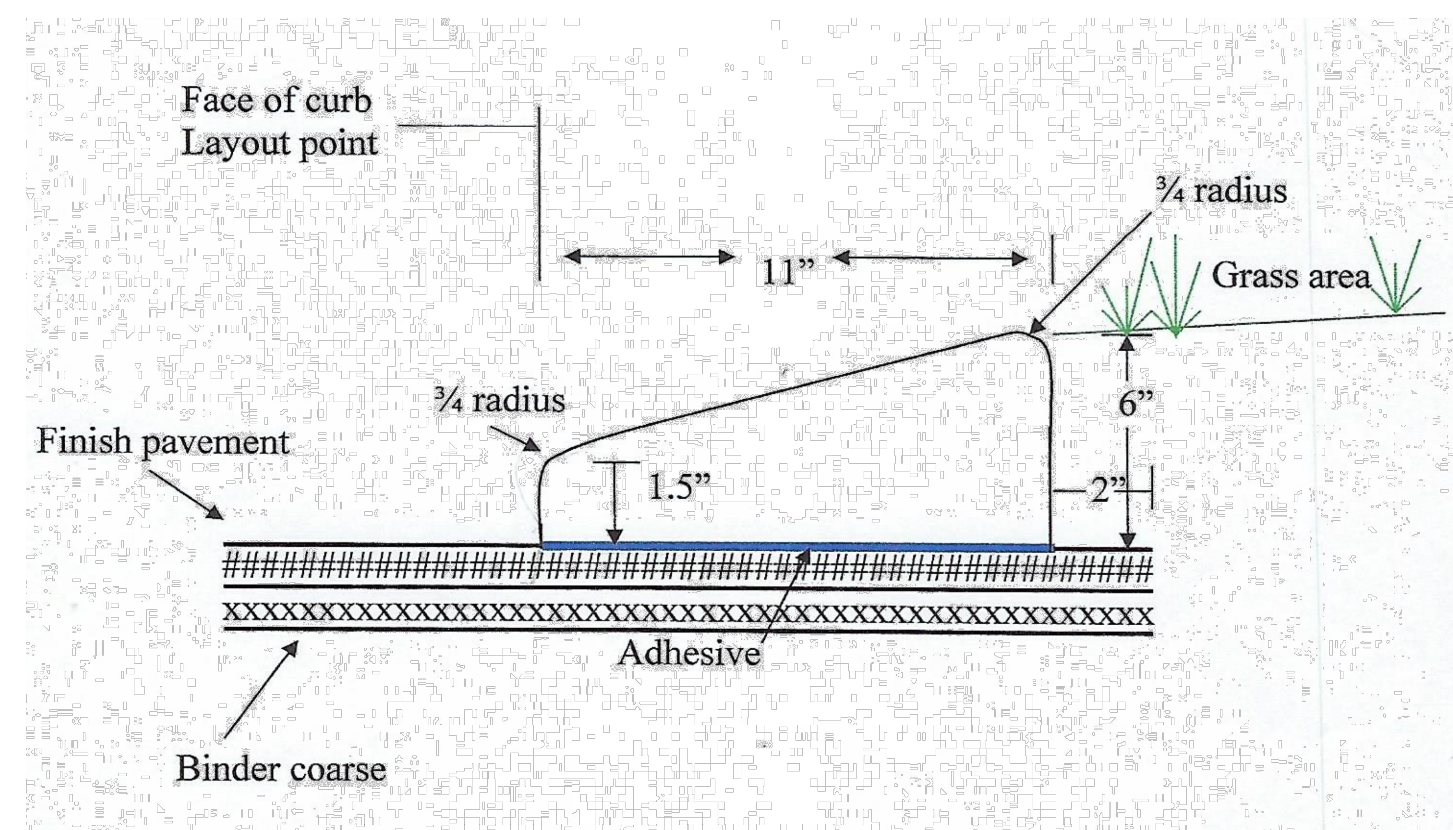
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FAH

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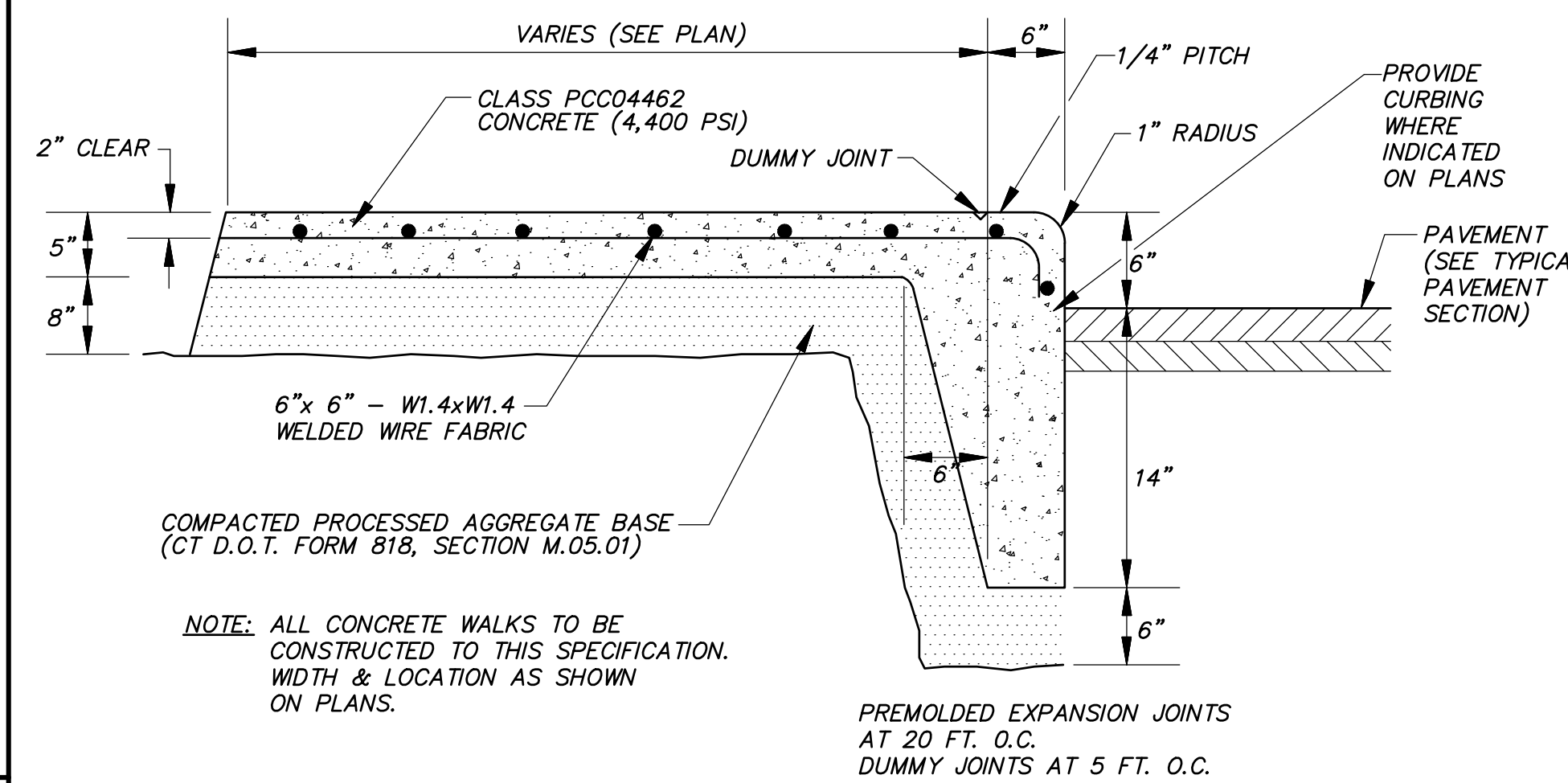
SITE DETAILS
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-22-2024 Drawn by: DRT Job no: 22062
Scale: AS NOTED Checked by: GAH Sheet no: 1 OF 5
C:\2022\22062 - Krown Point East Granby Meadows P2C Submittal 2024-05-03\SD-1.May.02.2024 - 11:27:01 AM

SD-1



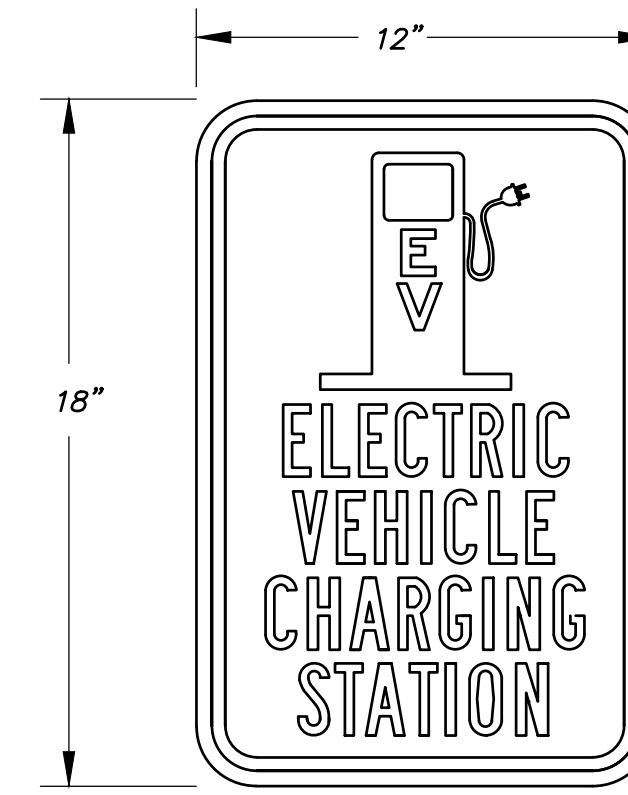
EXTRUDED CONCRETE CURB MOUNTABLE STYLE (ECC)

N.T.S.



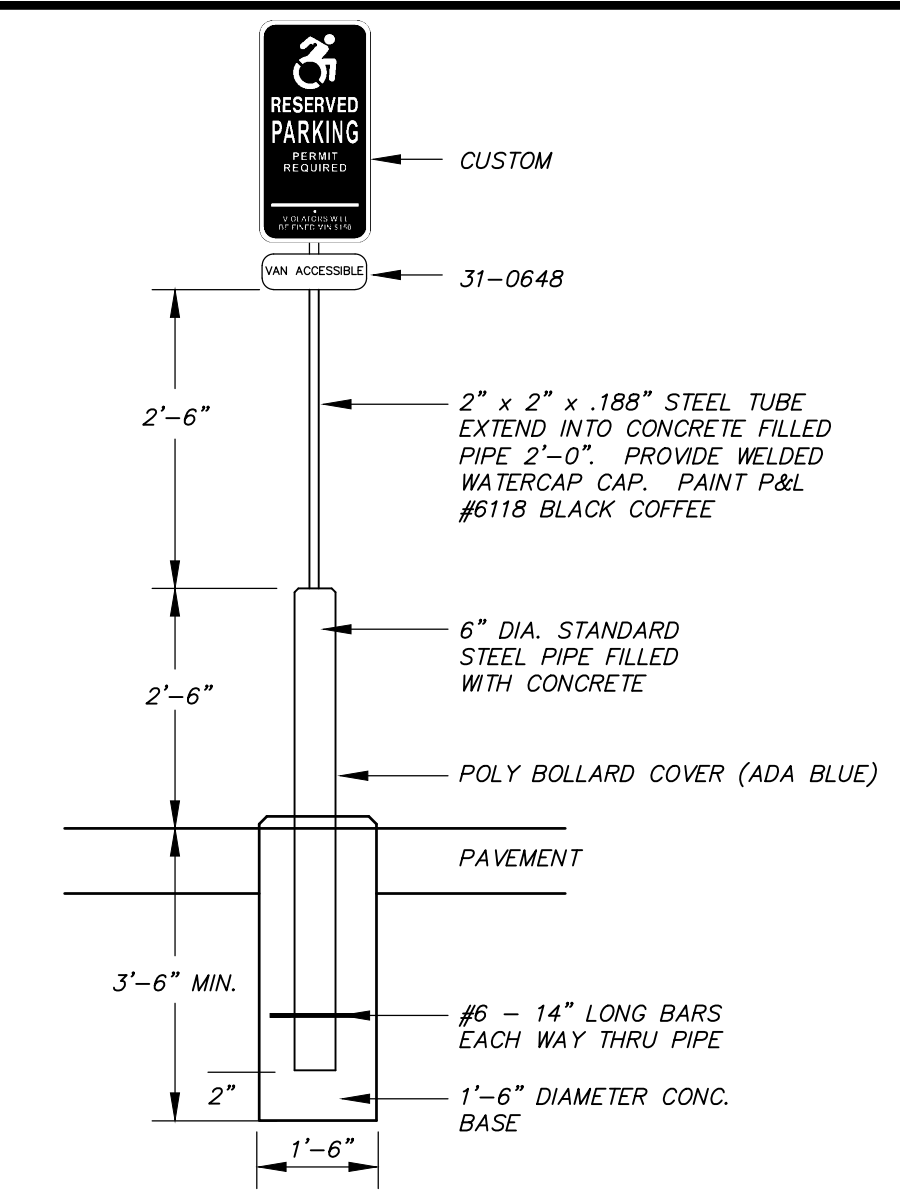
CONCRETE SIDEWALK & CURB

N.T.S.



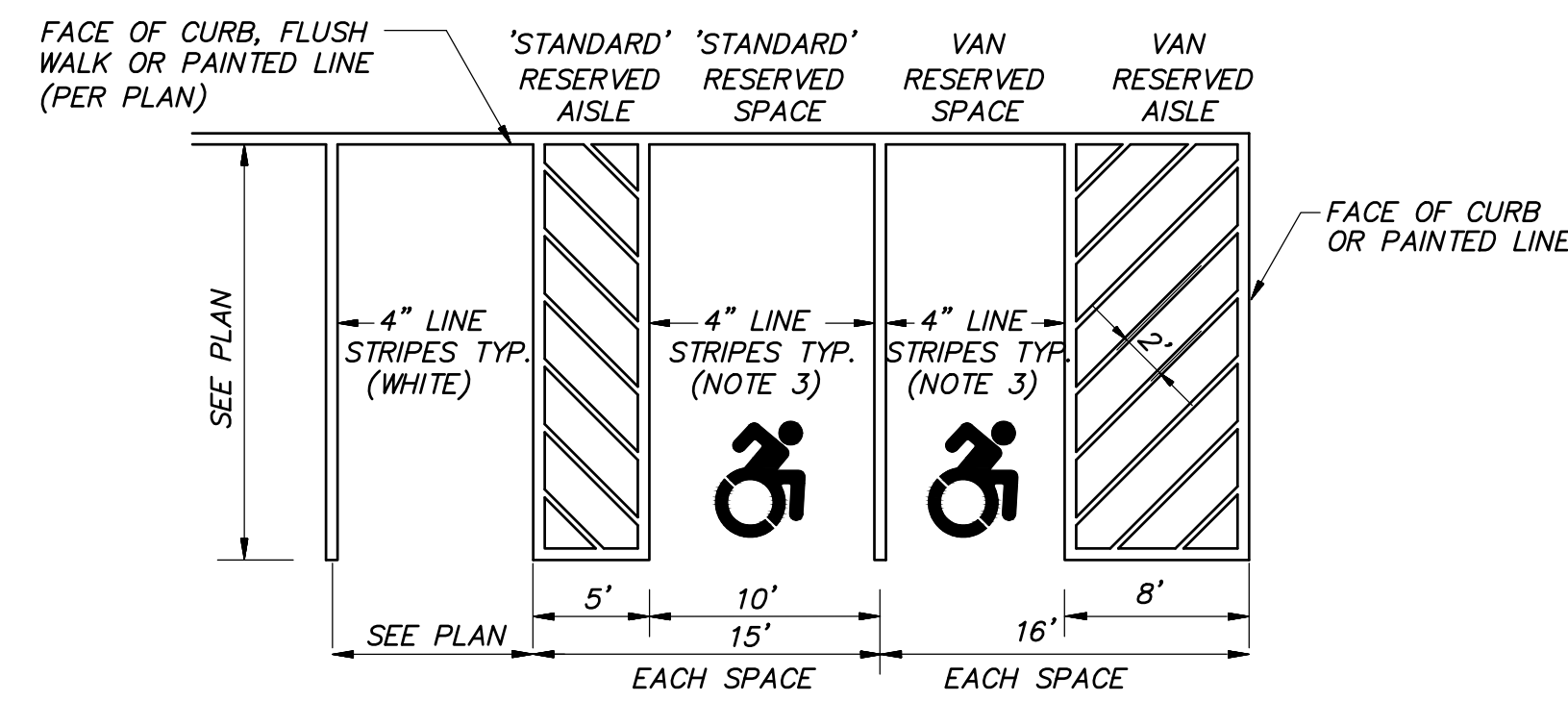
EV PARKING SPACE SIGN

N.T.S.



ACCESSIBLE SPACE SIGN POST/BASE

N.T.S.

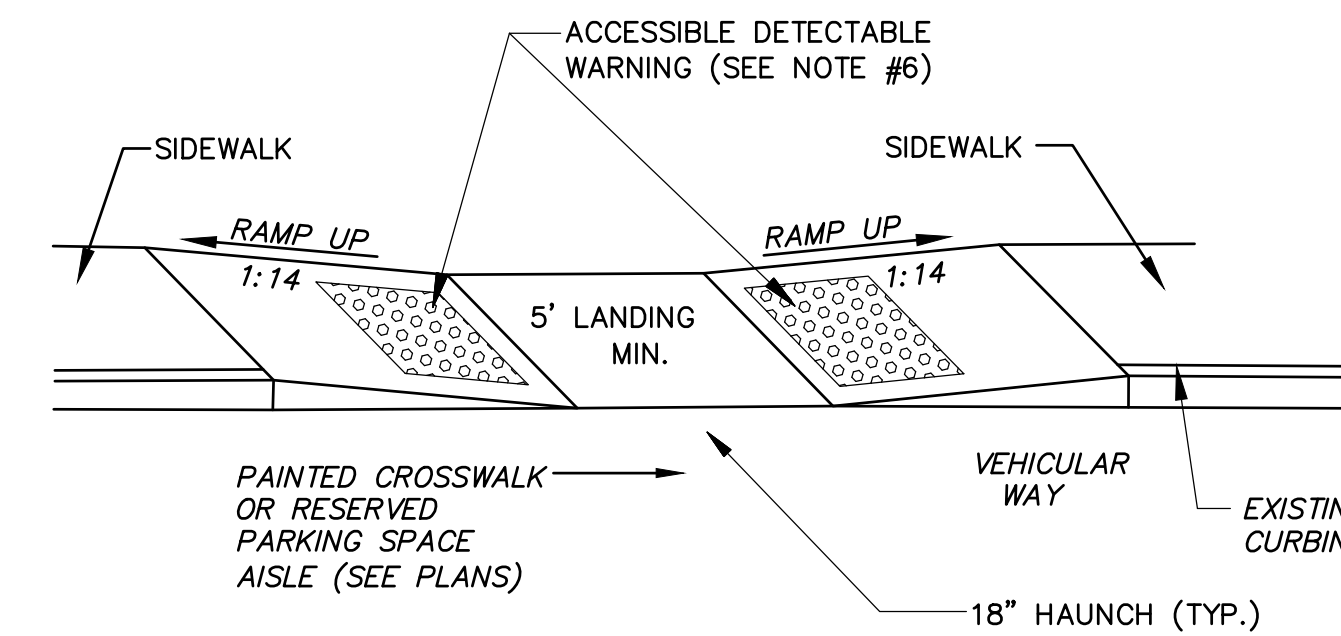


RESERVED PARKING SPACE LAYOUT

N.T.S.

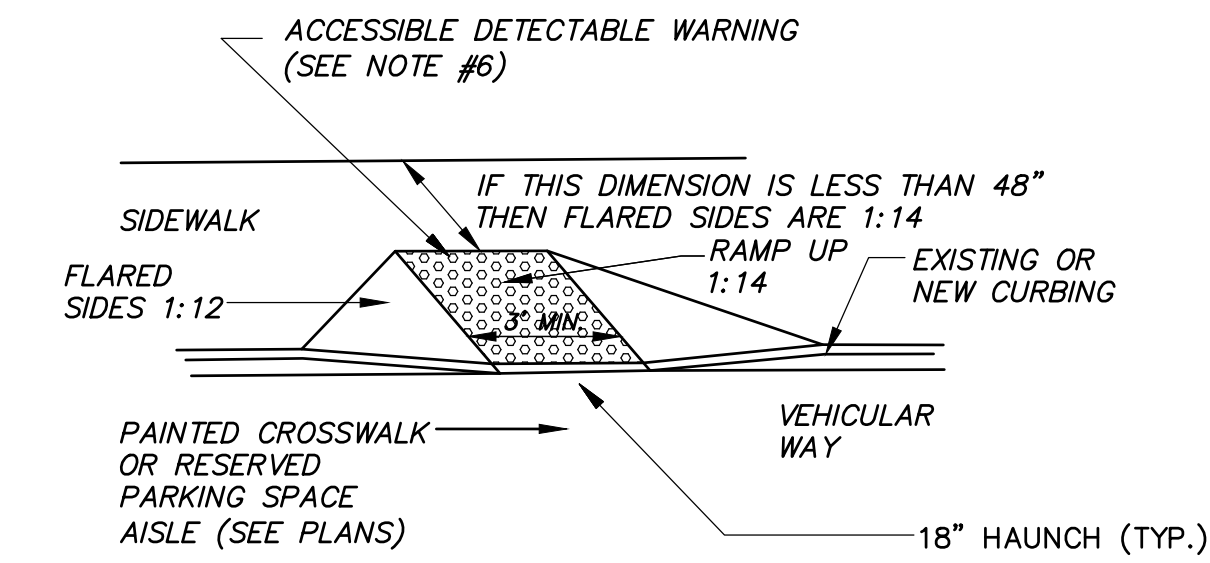
- NOTES:
1. AISLE CONFIGURATION PER PLAN.
 2. SIGN/BOLLARD LOCATION PER PLAN.
 3. LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH ENFIELD BUILDING INSPECTOR BEFORE INSTALLATION
 4. ADJACENT 'STANDARD' RESERVED PARKING SPACES MAY SHARE COMMON AISLE. ADJACENT 'VAN' RESERVED PARKING SPACES MAY SHARE A COMMON AISLE.

- NOTES:
1. PORTLAND CEMENT CONCRETE: PCC04462 (4,400 PSI).
 2. ALL ACCESSIBLE RAMPS TO RECEIVE BROOM FINISH 90° TO THE SLOPE OF THE RAMP.
 3. IF CURRENT BUILDING CODE REQUIRES ALTERNATE DESIGN, CONSTRUCT RAMP TO MEET CURRENT CODE REQUIREMENTS.
 4. INTEGRATE TRUNCATED DOME TACTILE STRIPS IN ACCORDANCE WITH THE LATEST ADA STANDARDS.
 5. CONSTRUCT 18-INCH HAUNCH AT ALL POINTS WHERE RAMP ABUTS PAVEMENT
 6. ACCESSIBLE DETECTABLE WARNINGS TO BE INSTALLED AS REQUIRED BY CONTRACT DOCUMENTS



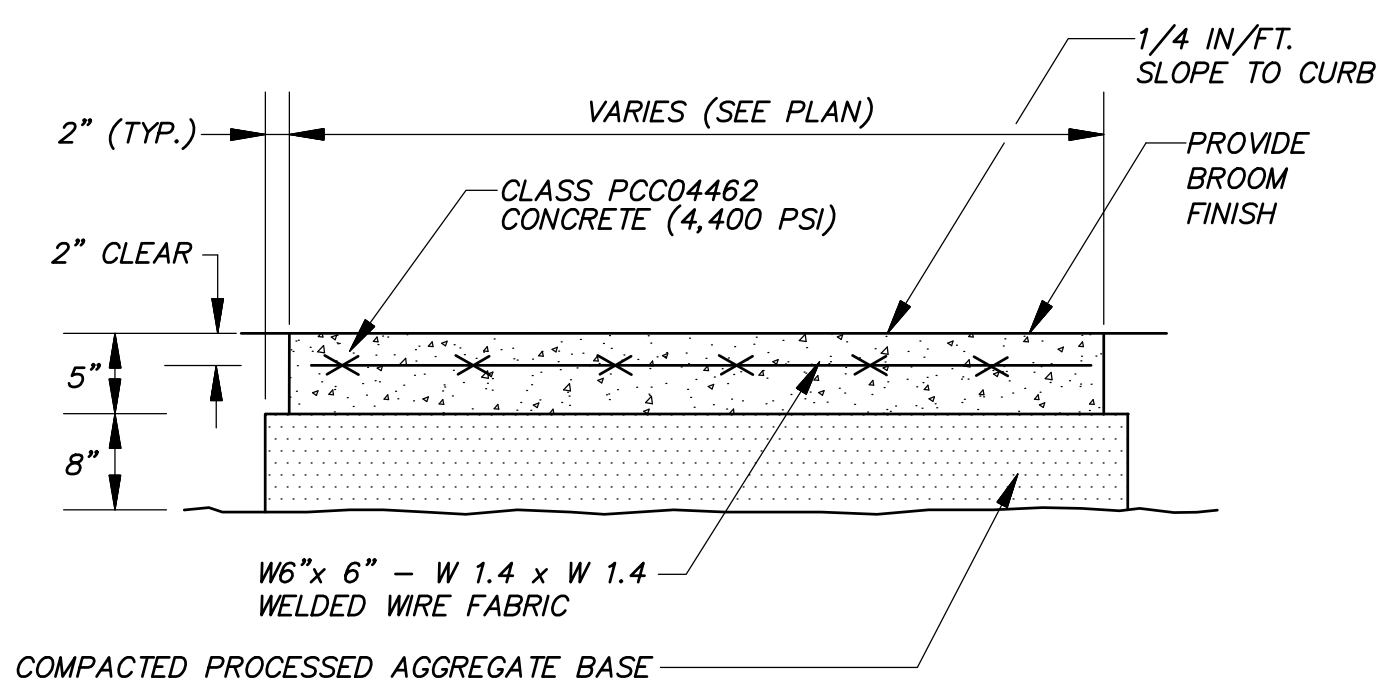
ACCESSIBLE RAMPS

N.T.S.



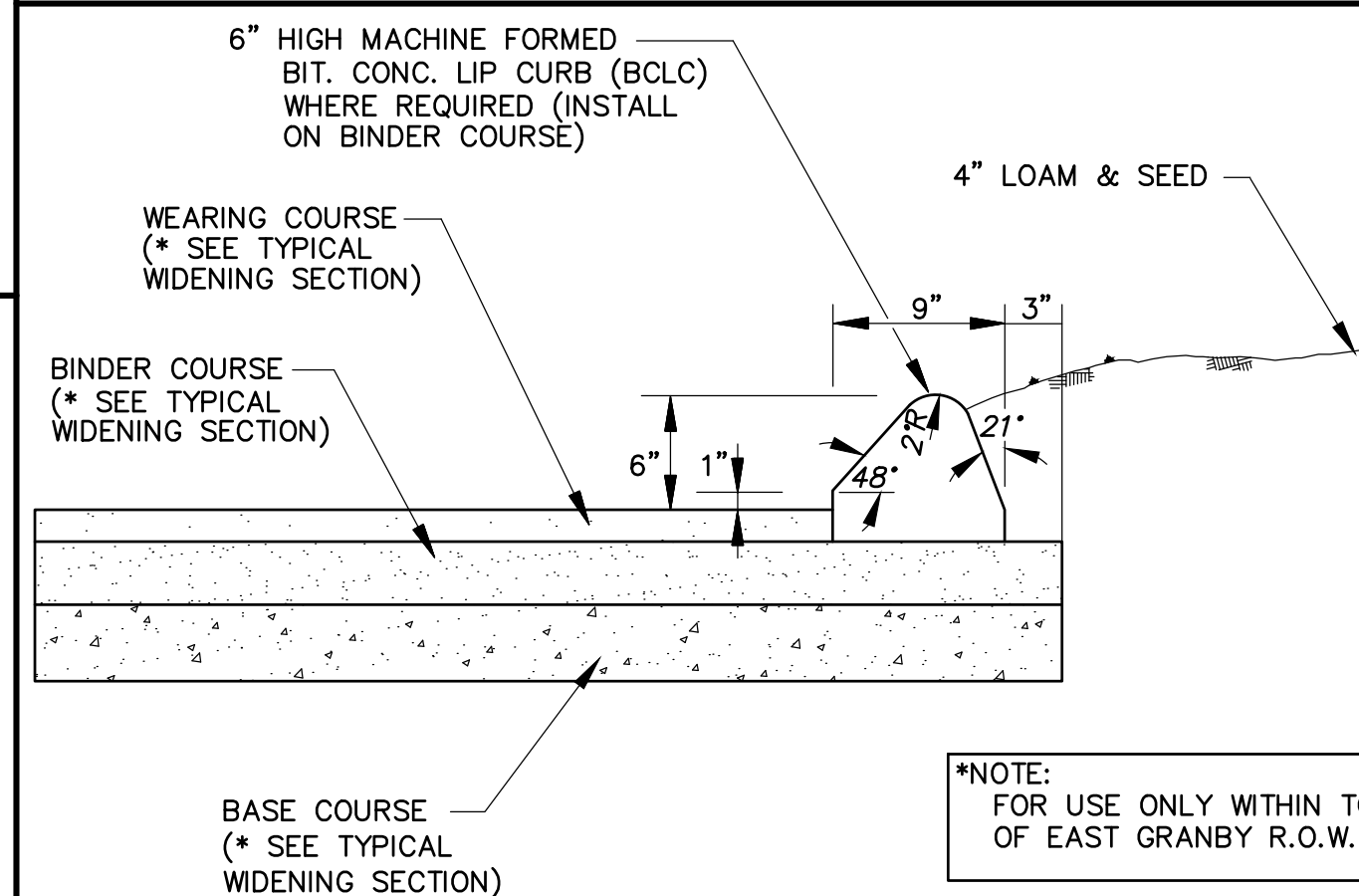
TYPICAL PAVEMENT MARKINGS AT STOP BAR

N.T.S.



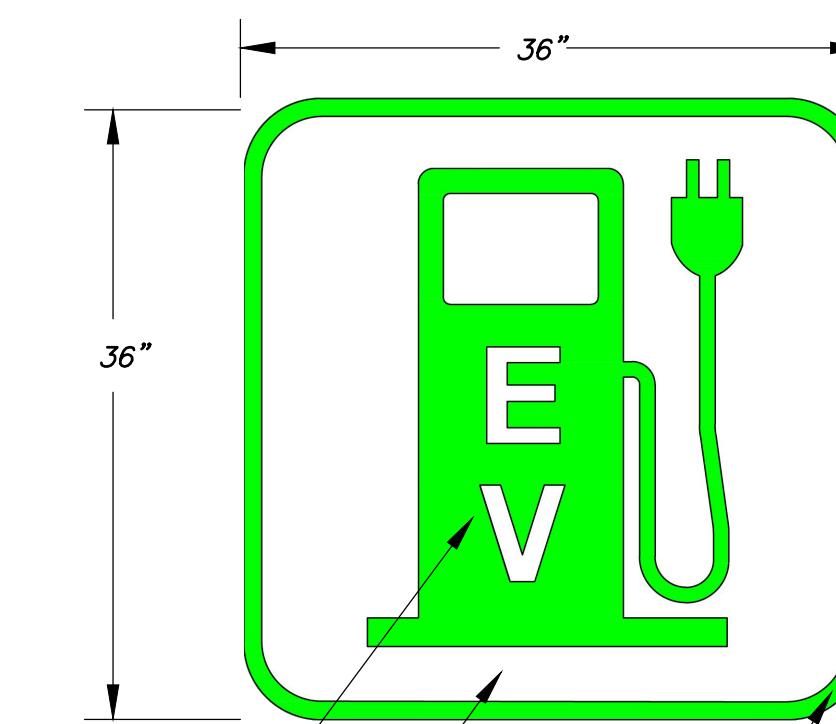
CONCRETE SIDEWALK / PATIO SECTION

N.T.S.



BITUMINOUS CONCRETE LIP CURBING (BCLC)

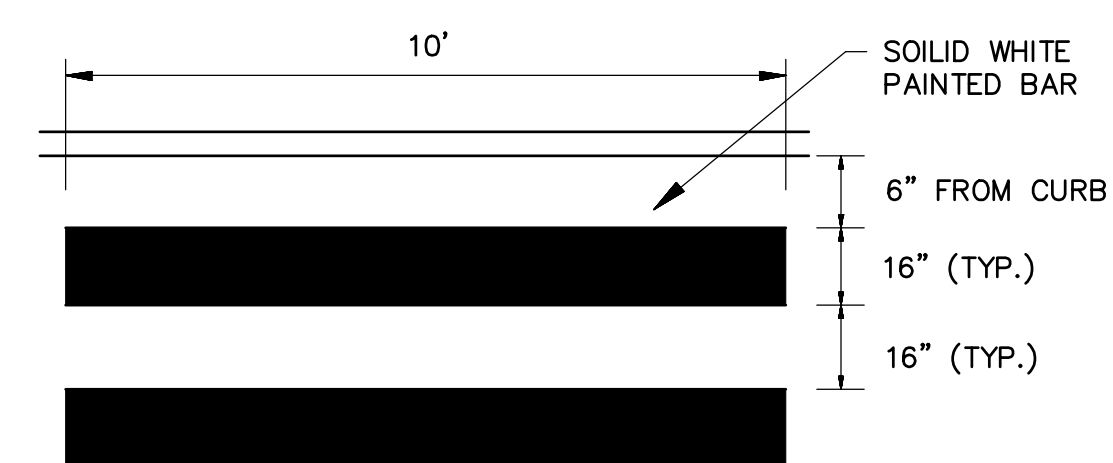
N.T.S.



EV PARKING SPACE GRAPHIC

N.T.S.

- NOTES:
1. GREEN = "KELLY GREEN" TRAFFIC PAINT
 2. COORDINATE INSTALLATION OF LINE STRIPING AND E.V. LOGO WITH OWNER.



PAINTED PEDESTRIAN CROSSWALK

N.T.S.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

No.	Date	Description
1.	05-03-2024	PZC Application

SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT

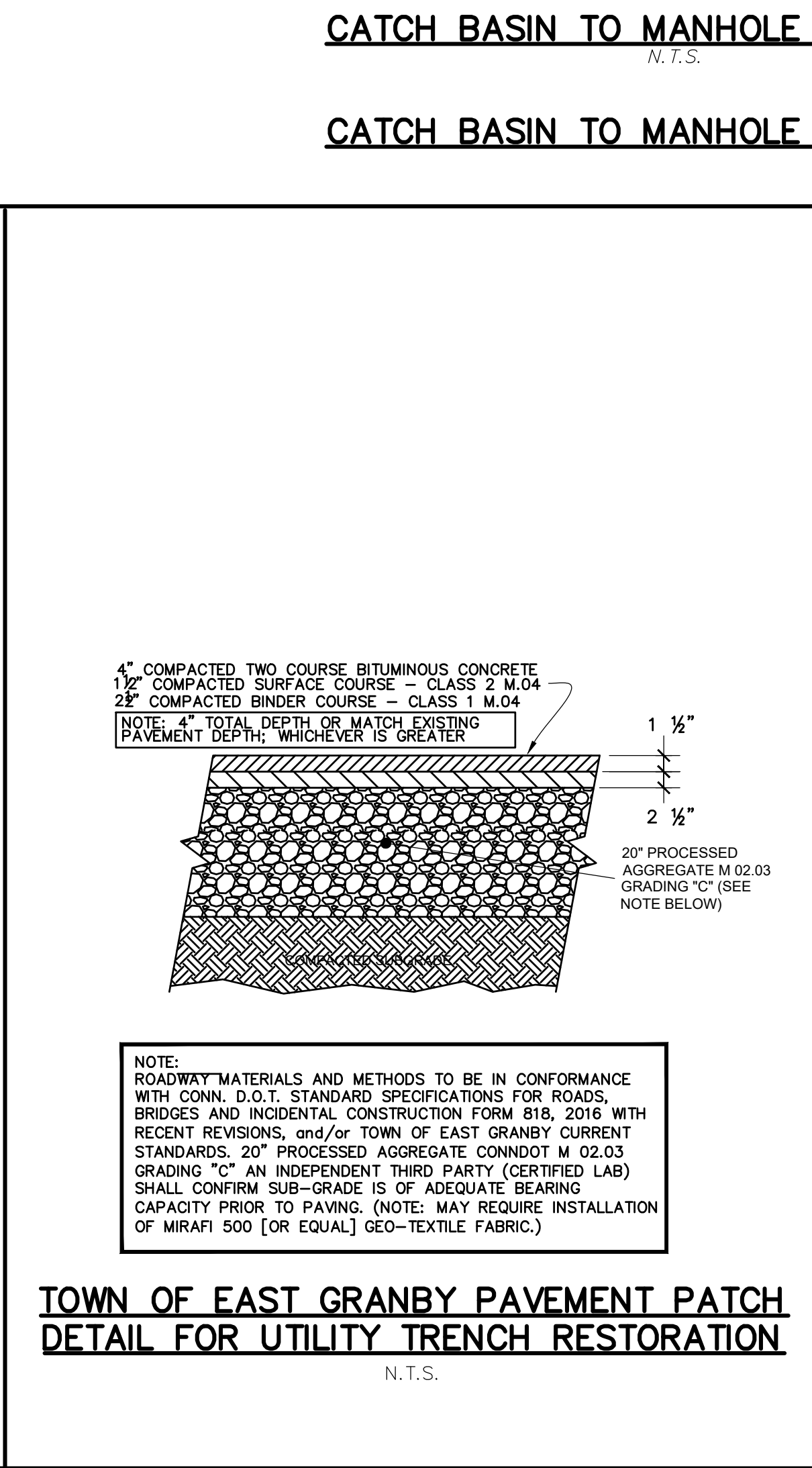
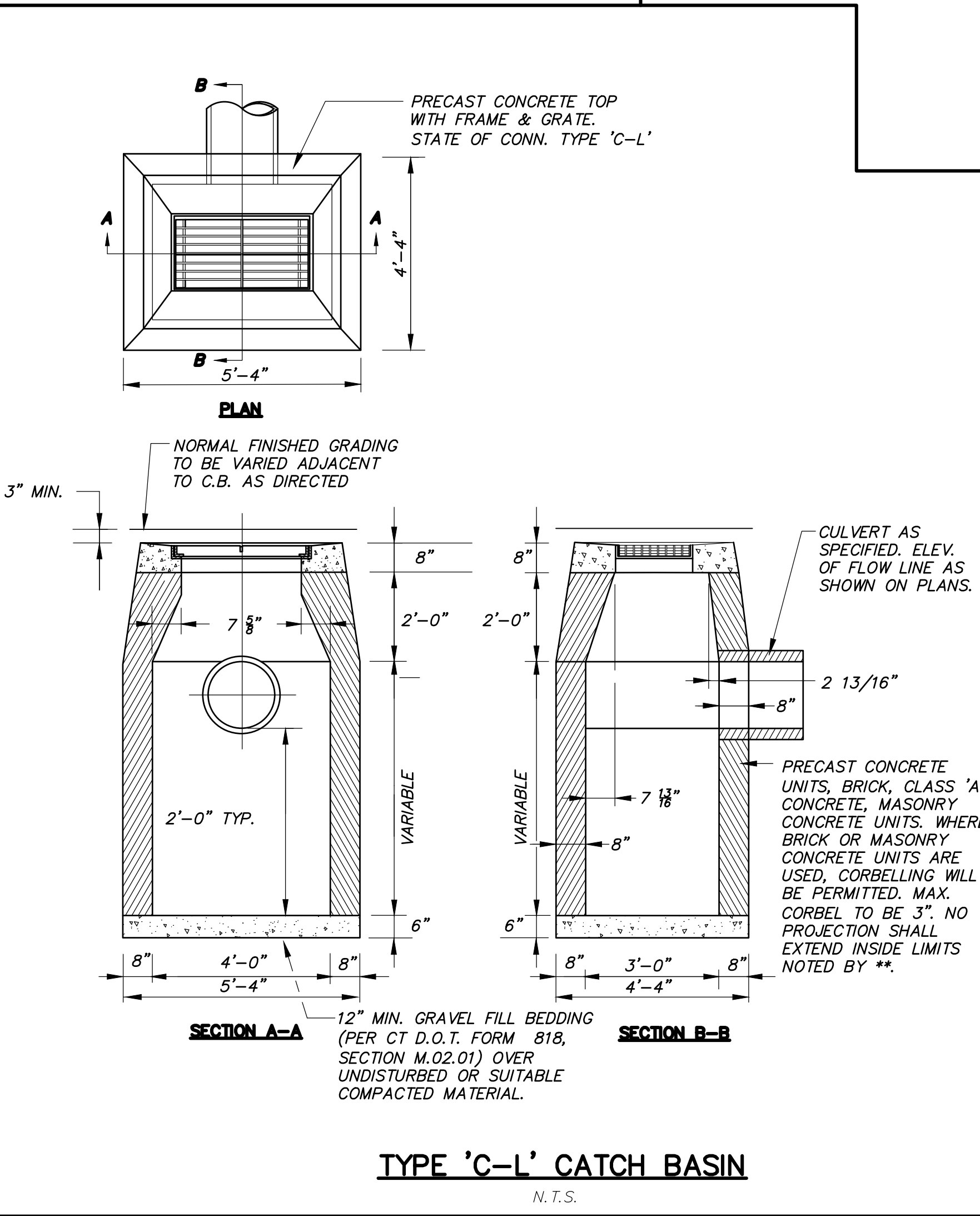
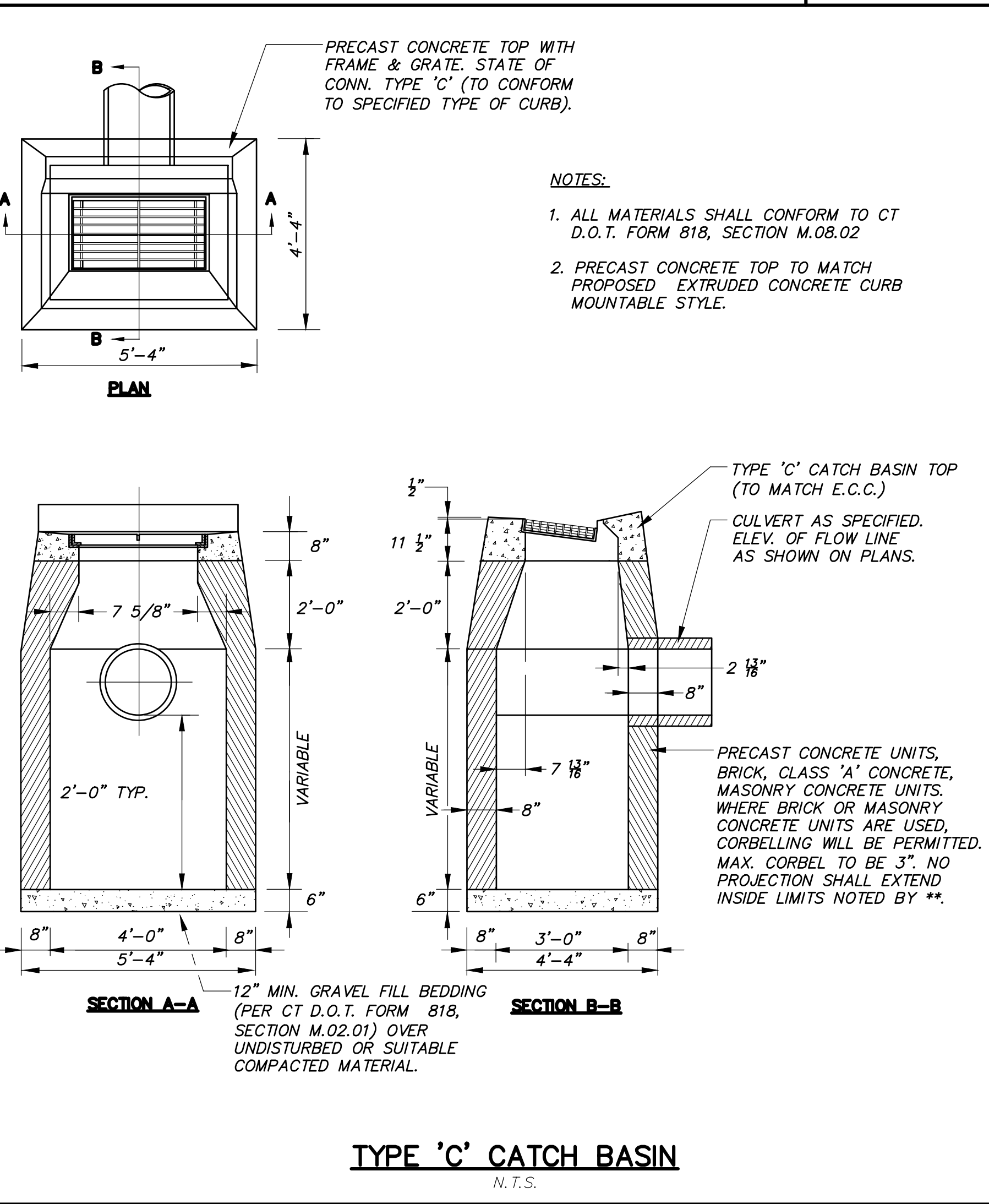
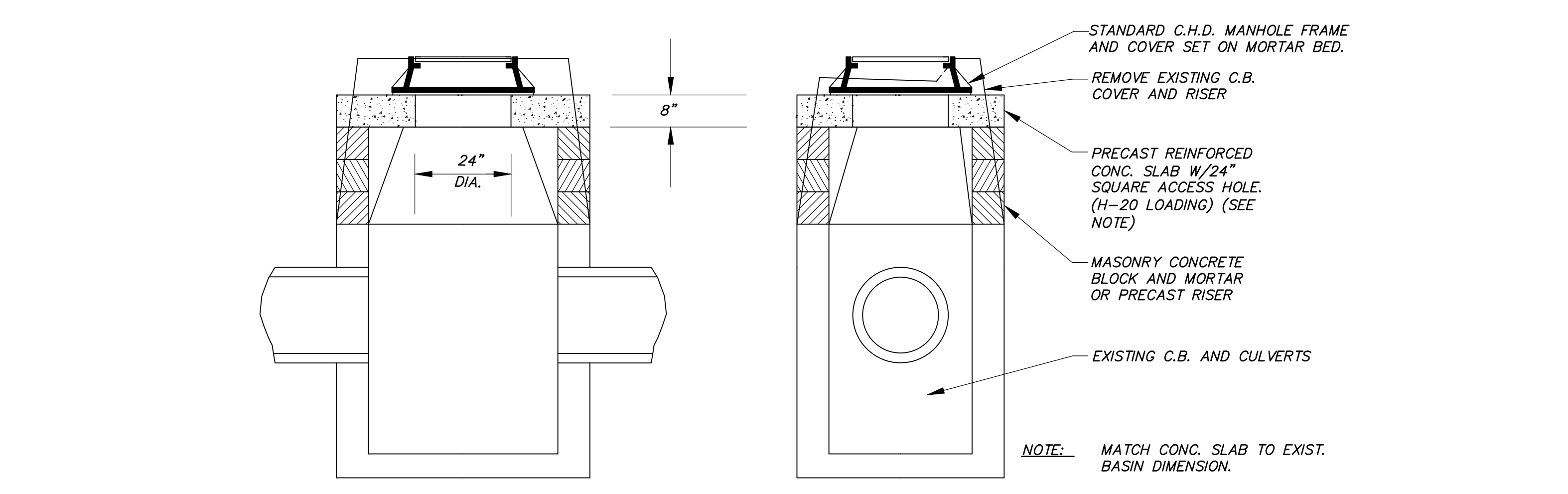
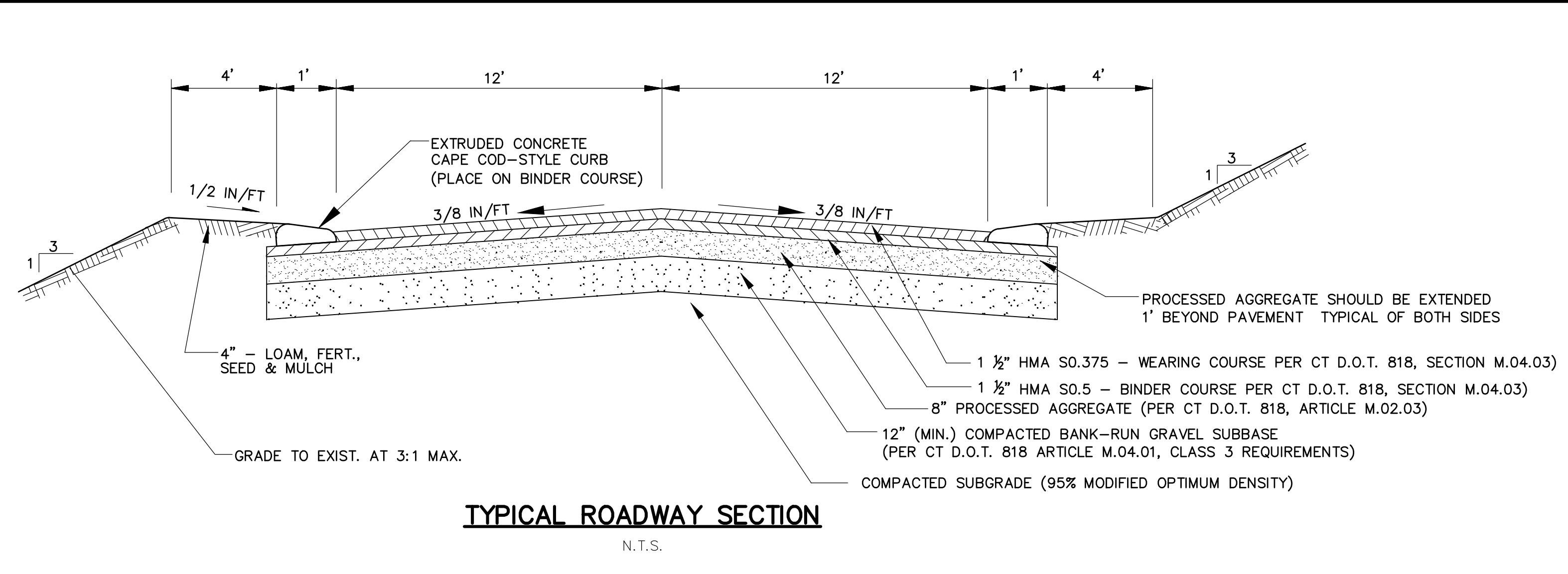
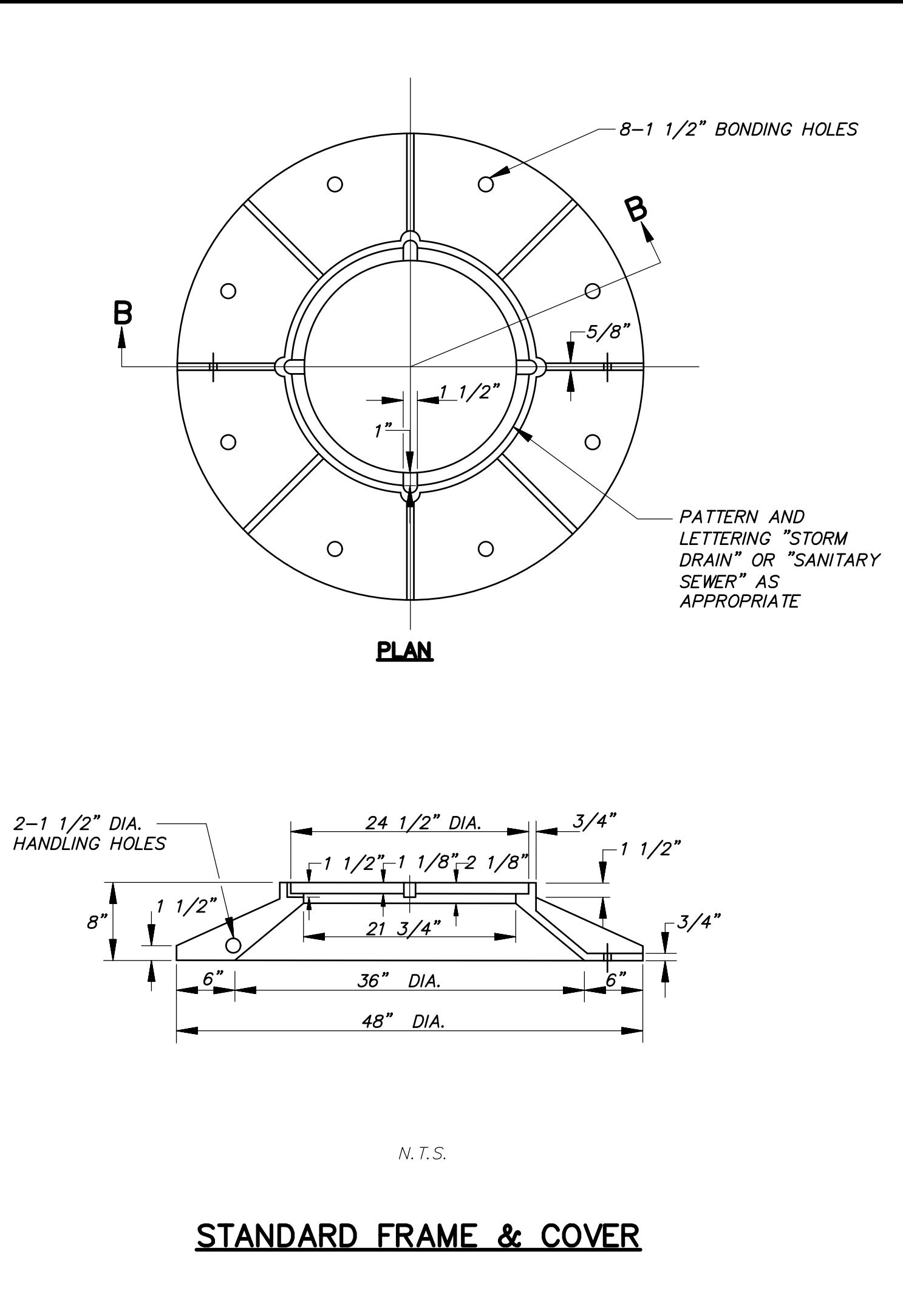
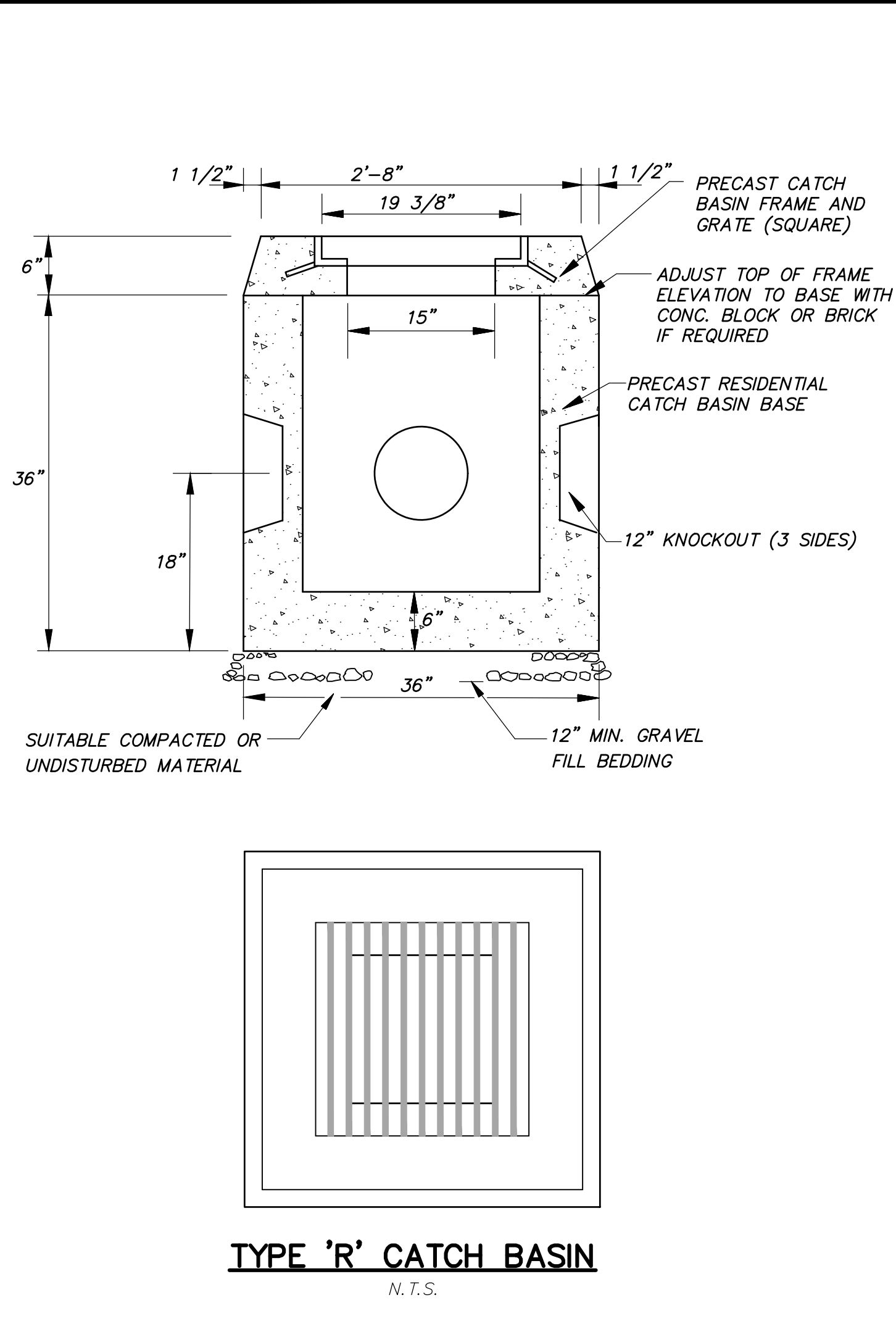
Date: 03-22-2024 Drawn by: DRT Job no: 22082
 Scale: AS NOTED Checked by: GAH Sheet no: 2 OF 5
 ©\2022\22082 - Krown Point East Granby Meadows PZC Submittal 2024-05-03\SD-1 2024-05-03.dwg, SD-2, Apr. 29, 2024 - 14:48:13 PM

SD-2



F. A. Hesketh & Associates, Inc.
 6 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com mail@fahsketh.com

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

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Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Revisions:
No. Date Description
1. 05-03-2024 PZC Application

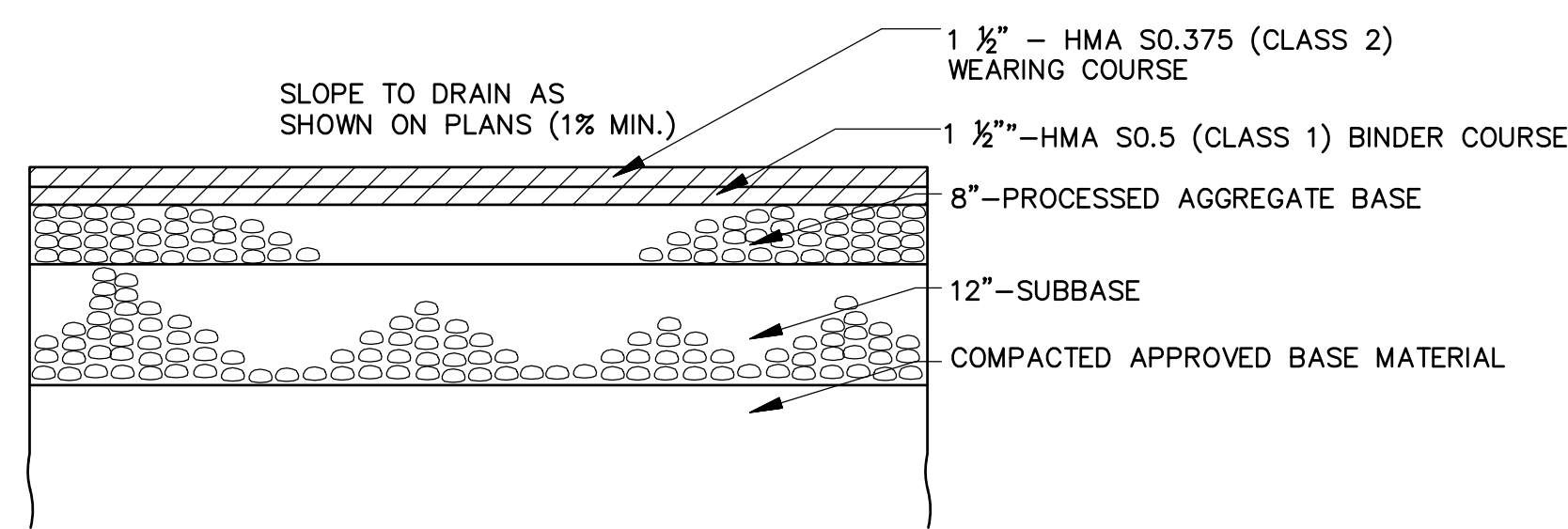
SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-22-2024 Drawn by: DRT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 3 OF 5
0:\2022\22082 - Krown Point East Granby Meadows PZC Submittal 2024-05-03.dwg, SD-3, Apr. 29, 2024 - 1:48:40 PM

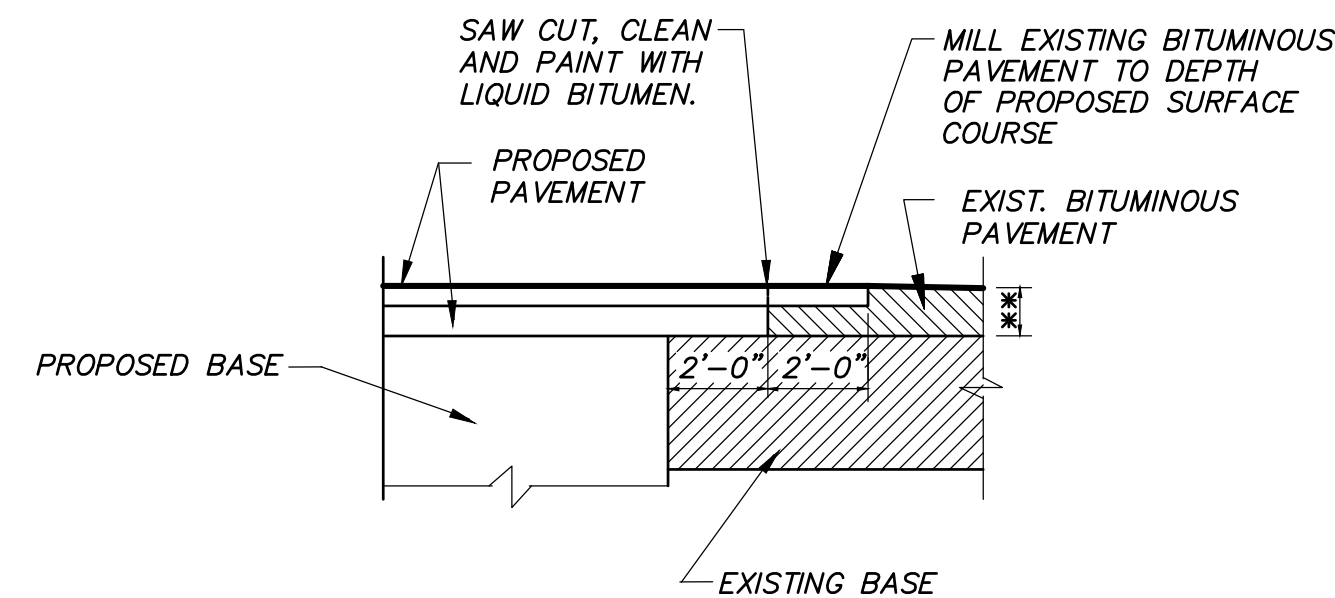
F.A.H.
F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahhsketh.com
www.fahhsketh.com
Planners Landscape Architects
Civil & Traffic Engineers Surveyors

SD-3



PAVEMENT SECTION

N.T.S.

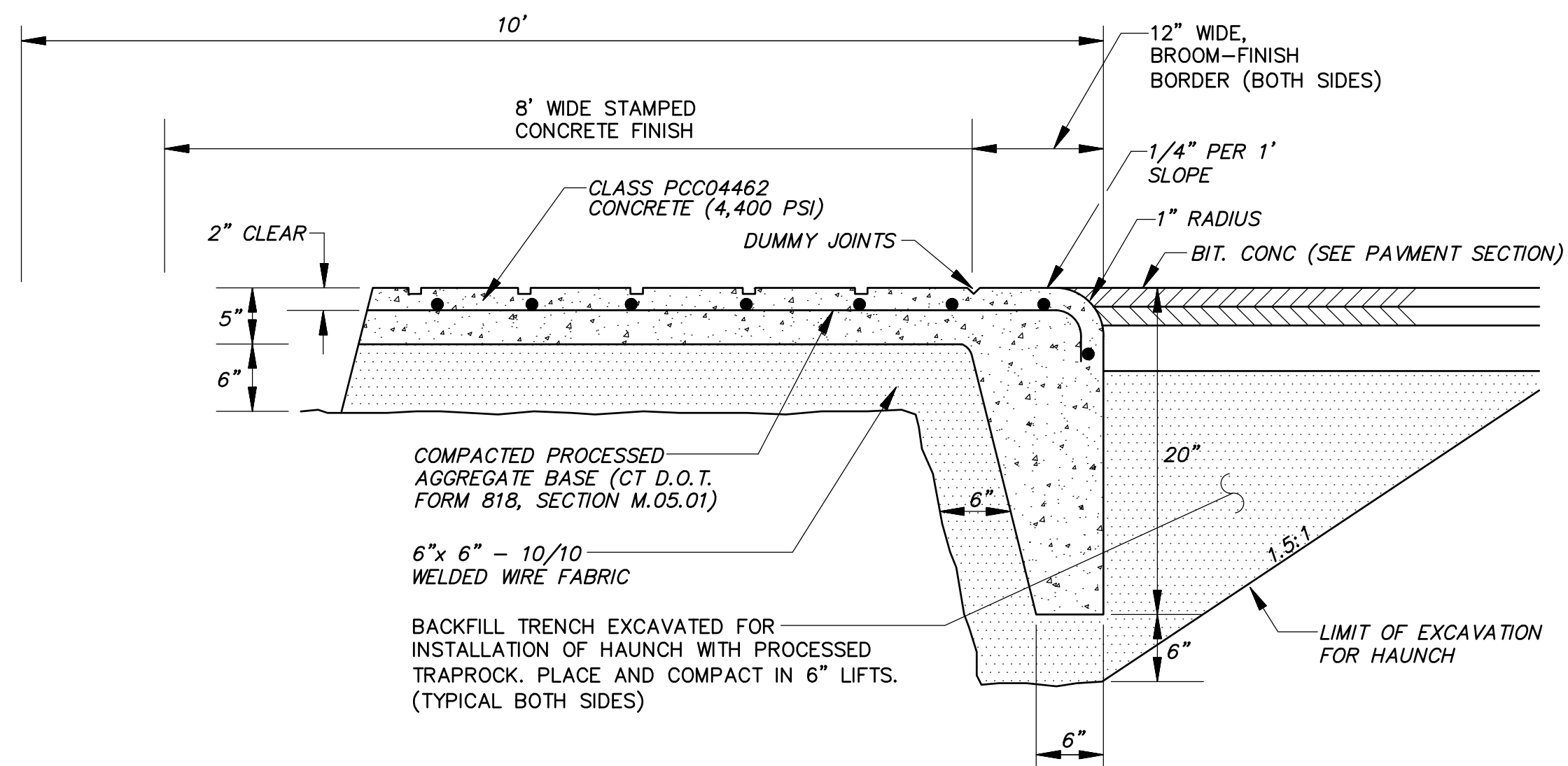


NOTES:

1. OVERLAP BOTH PROPOSED BITUMINOUS CONCRETE COURSES (CLASS 1 AND CLASS 2) OVER EXISTING SUBBASE.
2. ** MINIMUM THICKNESS TO BE SAME AS PROPOSED BITUMINOUS CONCRETE OR MATCH THICKNESS OF EXISTING PAVEMENT, WHICH EVER IS GREATER.

PAVEMENT MATCH TREATMENT

N.T.S.



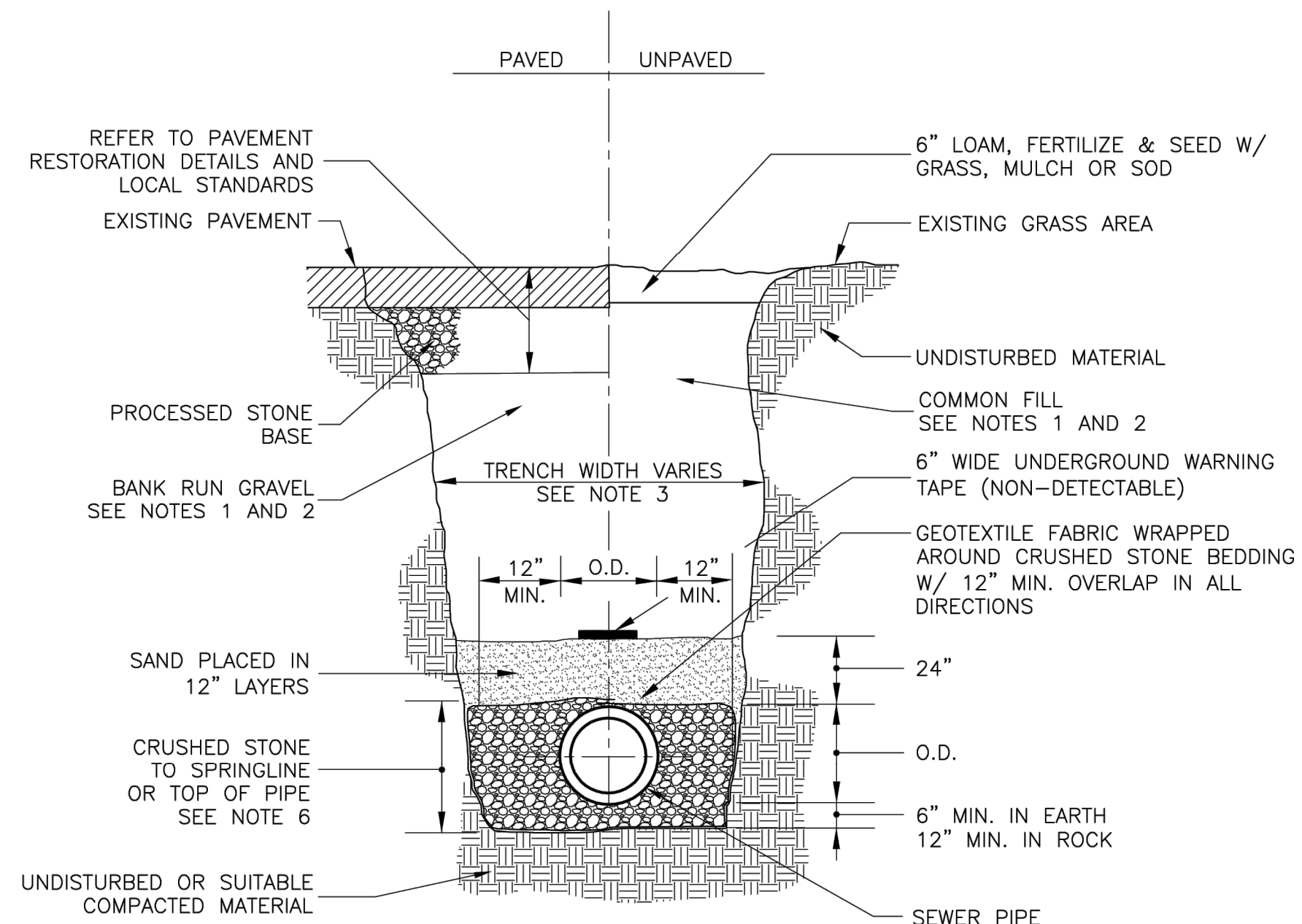
NOTES:

1. REMOLDED EXPANSION JOINTS AT 20 FT. ON CENTER DUMMY JOINTS AT 5 FT. ON CENTER.

STAMPED CONCRETE DRIVE/WALK

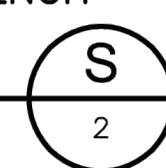
N.T.S.

THE METROPOLITAN DISTRICT
SEWER STANDARD DETAILS



**SEWER TRENCH
DETAIL**

NTS



NOTES:

1. ALL EXCAVATED MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED.
2. BACKFILL MATERIAL SHALL BE APPROVED BANK RUN GRAVEL IN PAVED AREAS (INCLUDING DRIVEWAYS AND SIDEWALKS) OR COMMON FILL IN UNPAVED AREAS.
3. TRENCH WIDTH VARIES BASED ON PIPE SIZE AND DEPTH.
4. TRENCHES LOCATED IN THE ROAD SHOULDER SHALL BE TREATED THE SAME AS TRENCHES IN THE PAVED ROADWAY EXCEPT FOR PAVEMENT AND SURFACE RESTORATION WORK.
5. PROVIDE IMPERVIOUS TRENCH DAM(S) IN STONE BEDDING AS DIRECTED BY THE ENGINEER. SEE PIPE TRENCH DAM DETAIL.
6. CRUSHED STONE SHALL BE INSTALLED TO TOP OF PIPE FOR PVC AND DI PIPE AND TO SPRINGLINE FOR RC PIPE.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____ the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____
Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

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In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

No.	Date	Description
1.	05-03-2024	PZC Application

SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-22-2024 Drawn by: DFT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 4 OF 5
0:\2022\22082 - Krown Point East Granby\East Granby Meadows PZC Submittal 2024-05-03\SD-1 2024-05-03.dwg, SD-4, May, 02, 2024 -- 11:25:55 AM

SD-4

F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com



Civil & Traffic Engineers Surveyors Planners Landscape Architects

WATER STANDARD DETAILS

MDC

THE METROPOLITAN DISTRICT

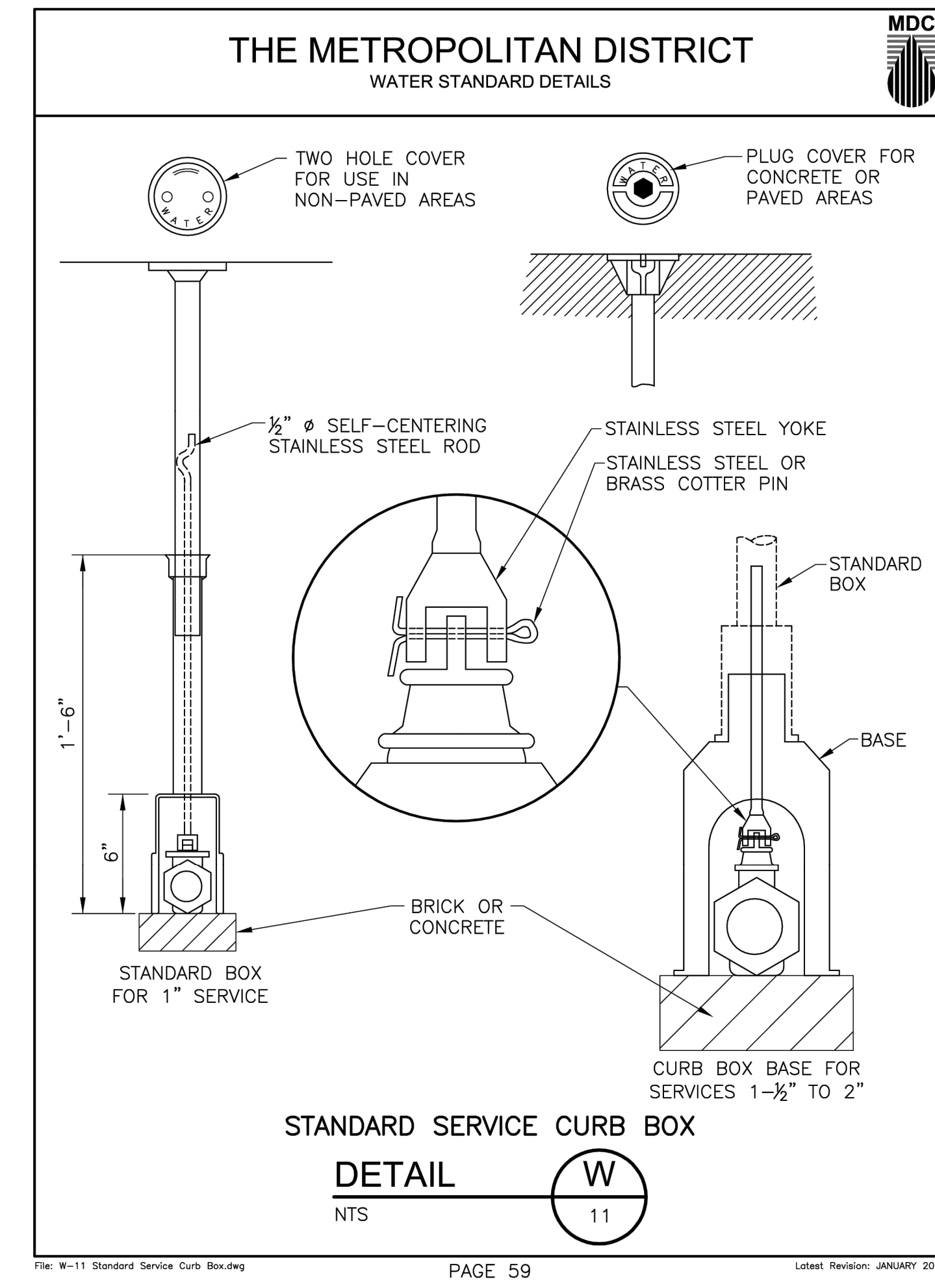
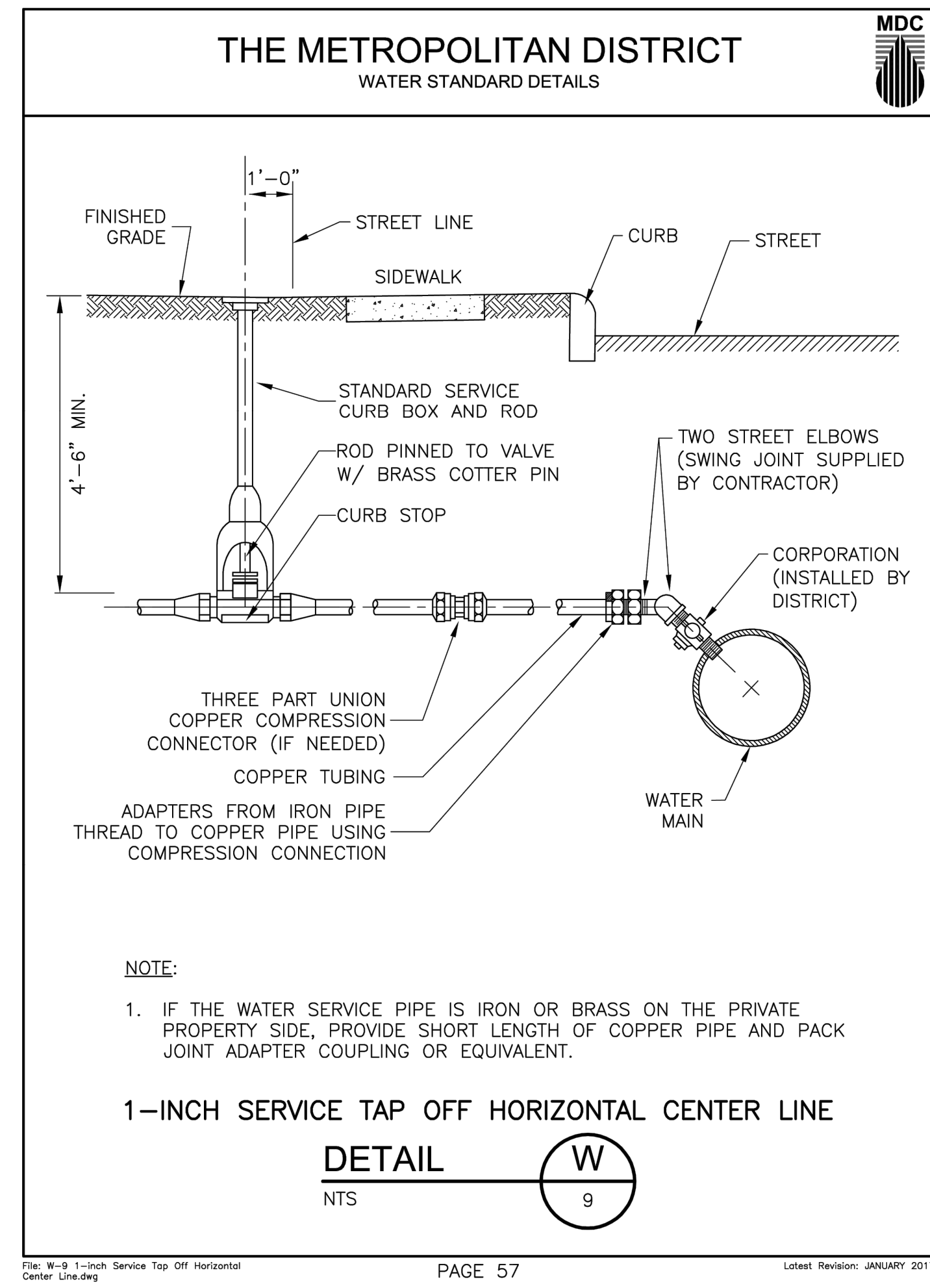
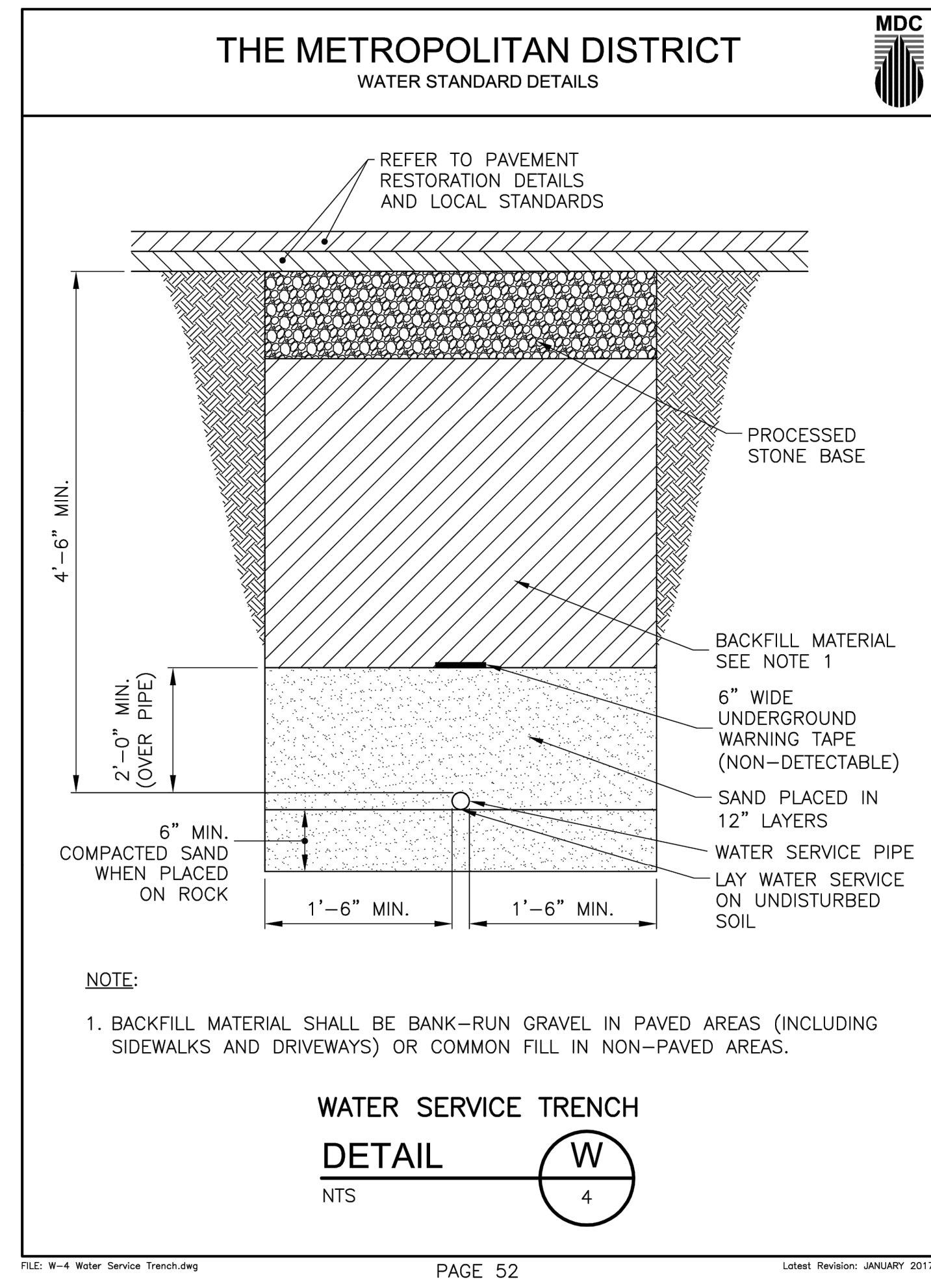
JANUARY 2017

SEWER STANDARD DETAILS

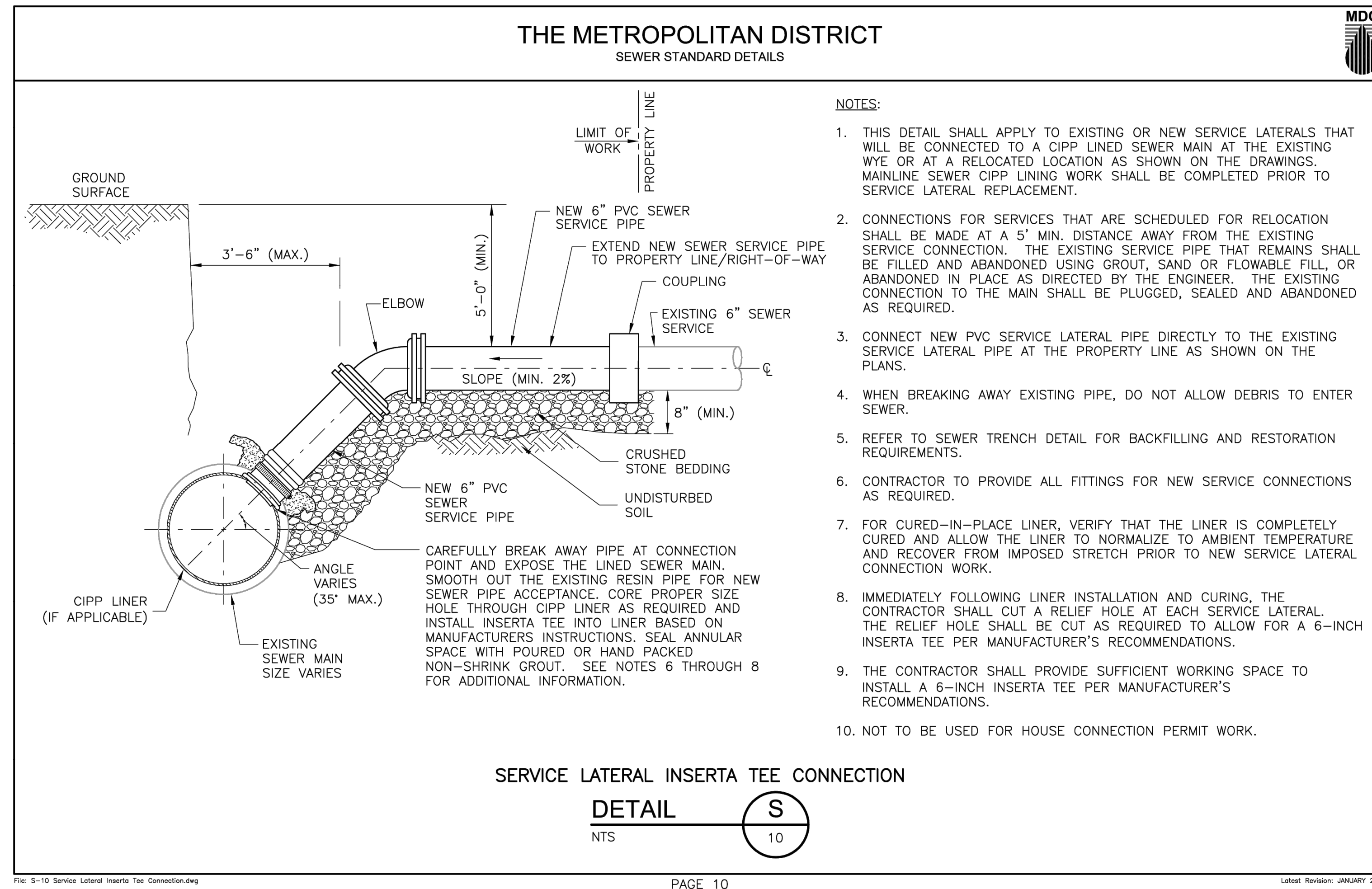
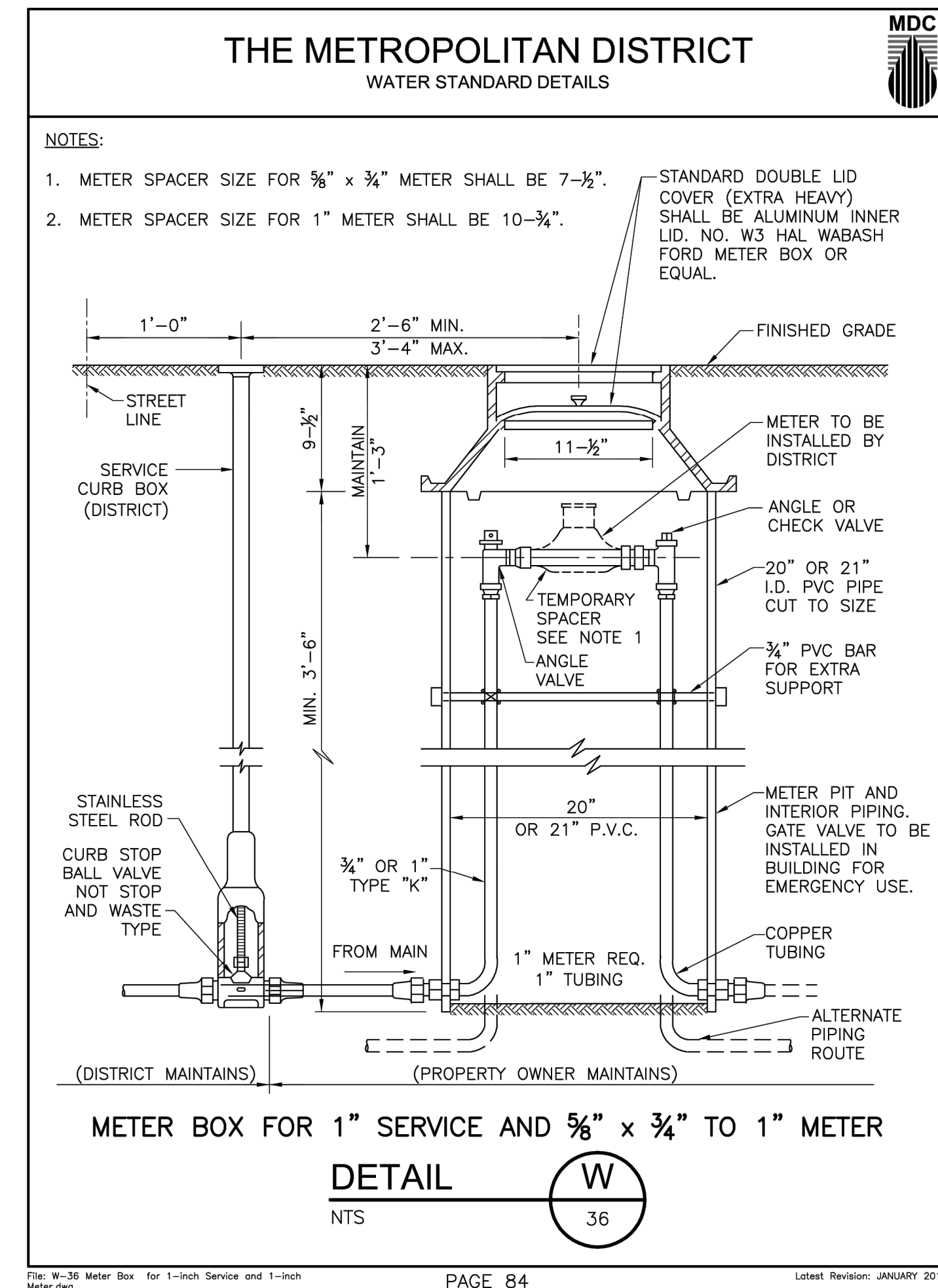
MDC

THE METROPOLITAN DISTRICT

JANUARY 2017



ALL DETAILS IN THE STANDARD DETAILS MANUAL ARE INCORPORATED BY REFERENCE. MOST RECENT REVISION SHALL APPLY.



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

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Received for filing on _____ by _____ Town Clerk _____

SPECIAL PERMIT APPROVAL

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Chairman _____ Date signed _____

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In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Revisions:

No.	Date	Description
1.	05-03-2024	P2C Application

SITE DETAILS

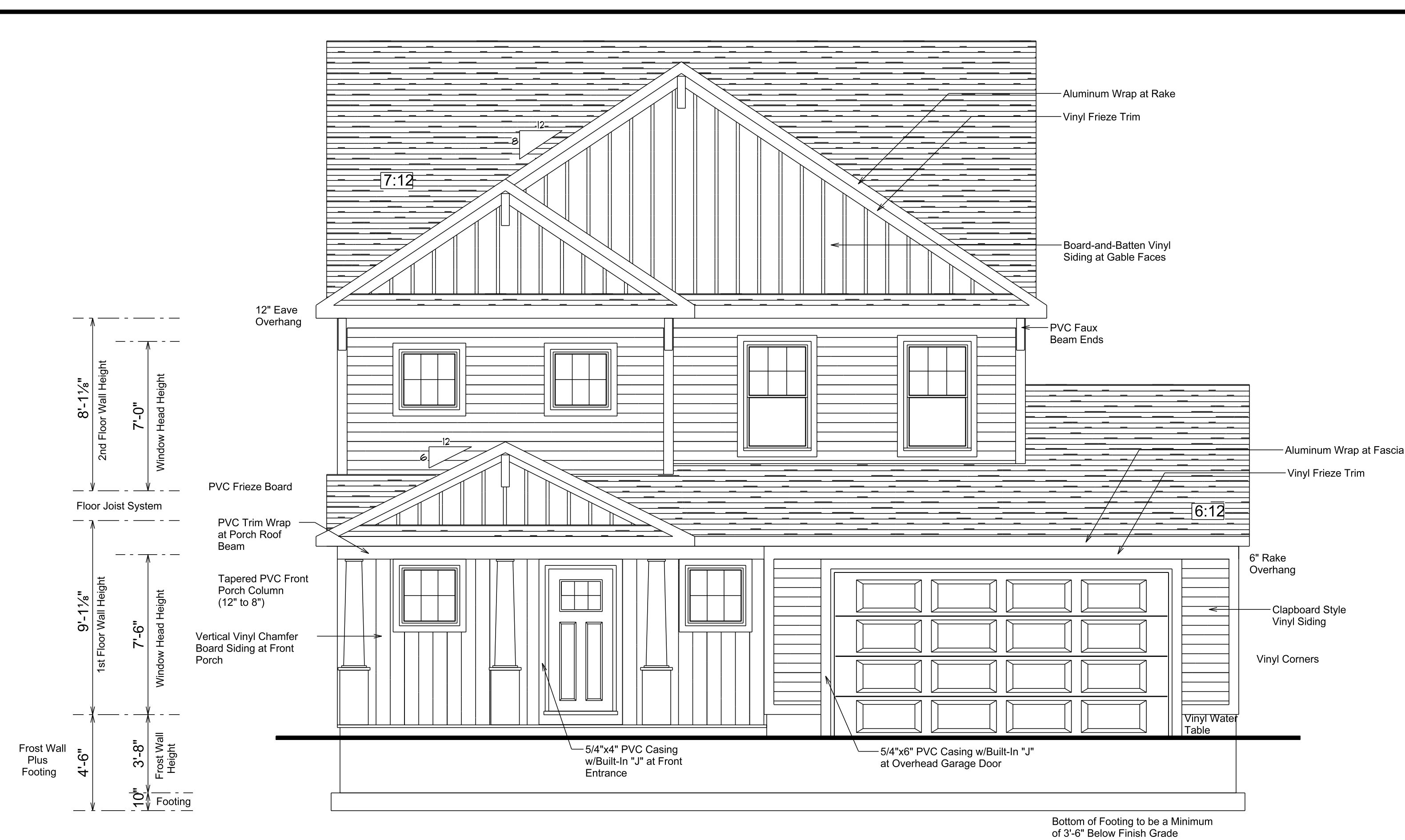
FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-22-2024 Drawn by: DRT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 5 OF 5
0:\2022\22082 - Krown Point East Granby Meadows P2C Submittal 2024-05-03\SD-1 2024-05-03\SD-1 2024-05-03.dwg, SD-5, Apr. 28, 2024 - 1:49:38 PM

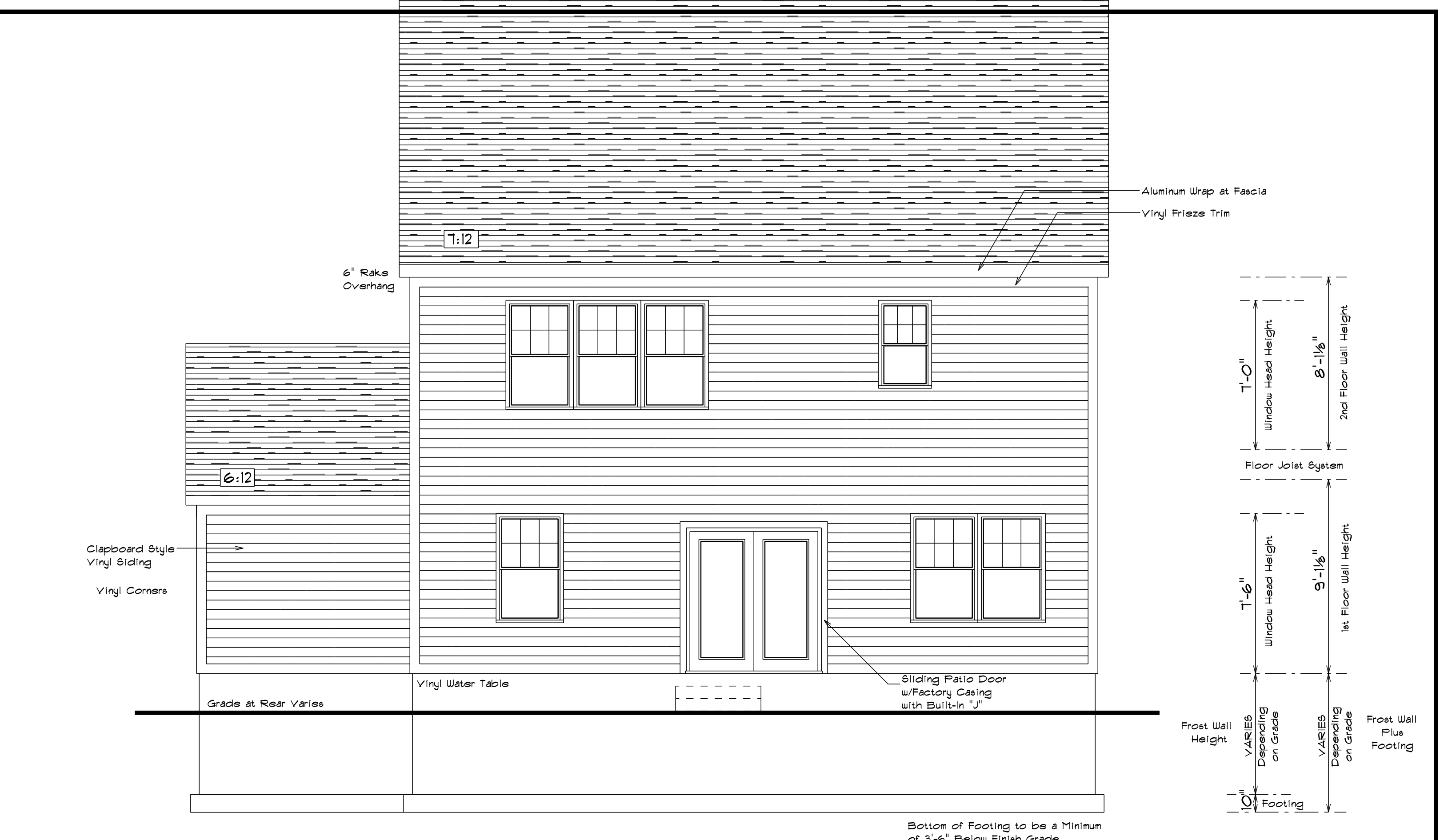
SD-5

FAH

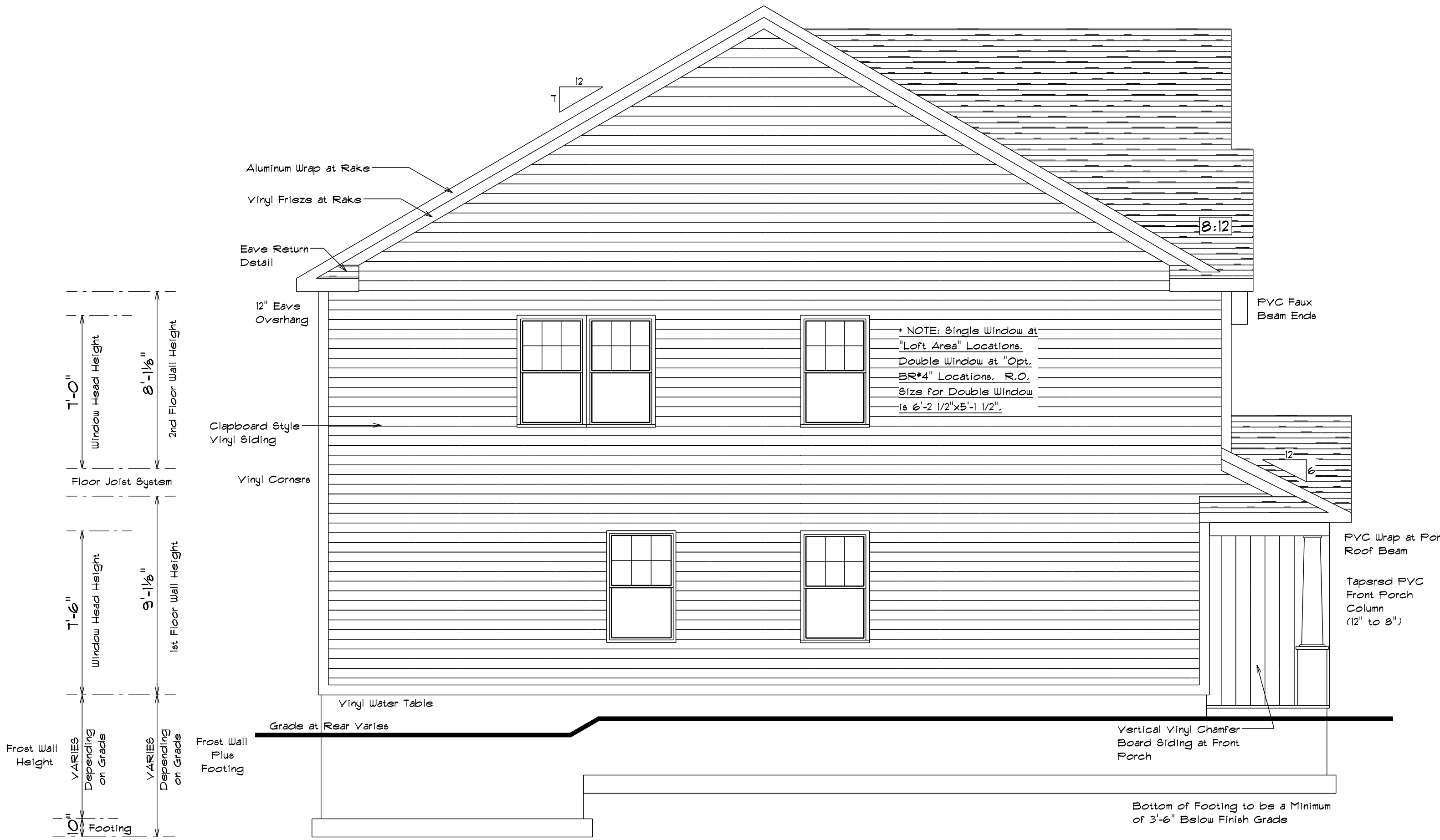
F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com - malfrisketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



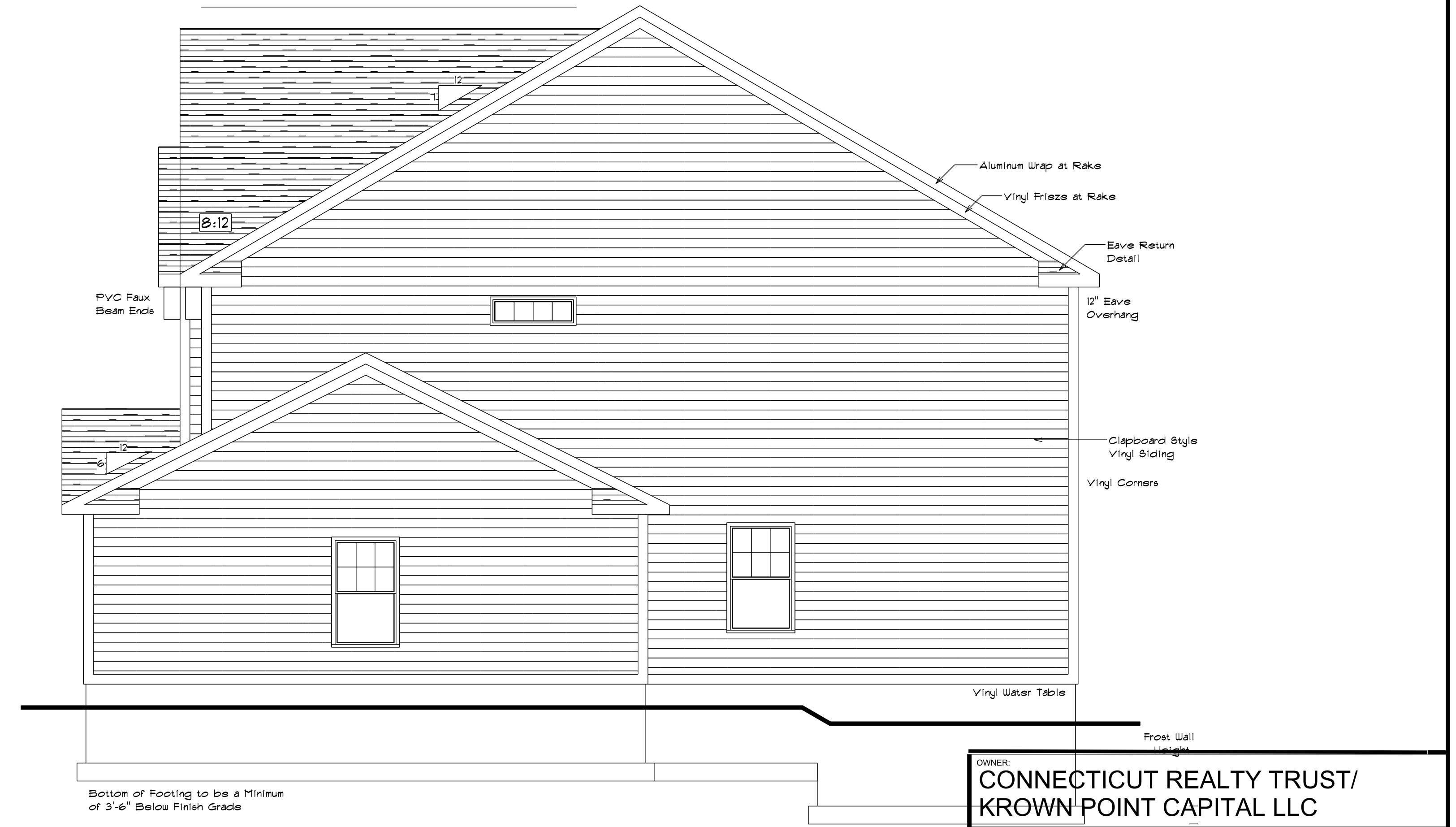
Front Elevation



Rear Elevation



Left Elevation



Right Elevation

OWNER: CONNECTICUT REALTY TRUST/ KROWN-POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
East Granby, CT	
DATE: February 23, 2022	SCALE: 1/4" = 1'-0"
PLAN: COLONIAL - 2,300 S.F.	
DRAWING NAME: FRONT ELEV.	DRAWING NUMBER: ELV-1

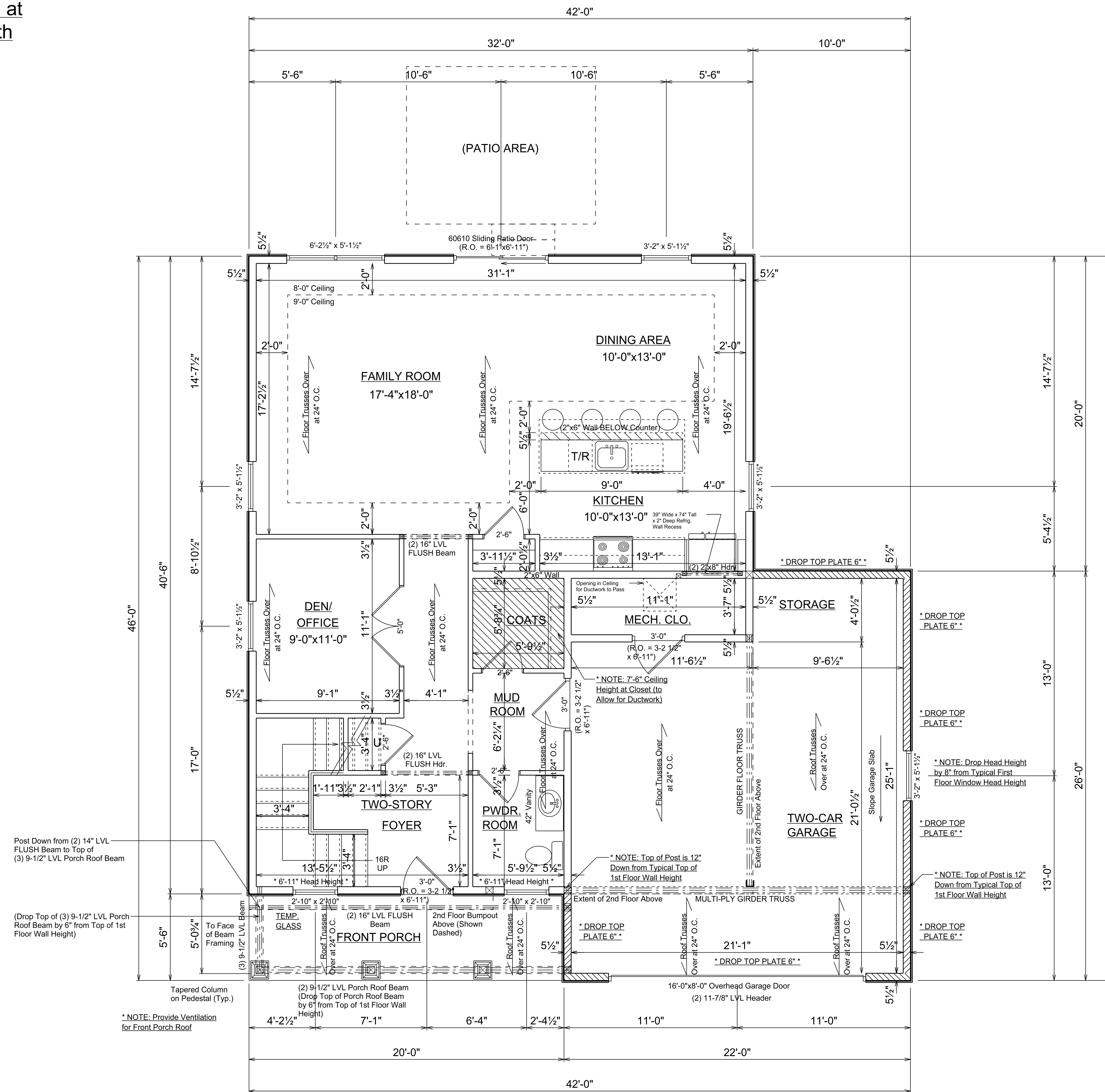
GRANBY COLONIAL - First Floor

9'-0" First Floor Ceiling Height (Unless Otherwise Noted)

First Floor Window Head Height to be 7'-6" (Unless Otherwise Noted)

Headers to be (2) 1 3/4"x7 1/2" L.V.L. - OR - (2) 2"x8" at Single-Width Openings and (2) 2"x10" at Double-Width Openings (Unless Otherwise Noted)

2"x6" 24" O.C. Exterior Wall Framing



First Floor Plan

1st Floor Area: 1,065 Square Feet
 2nd Floor Area: 1,235 Square Feet
 Total Floor Area: 2,300 Square Feet

APPLICABLE BUILDING CODE:
 ALL WORK SHALL TO CONFORM TO (MEET OR EXCEED) THE REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE (EFFECTIVE OCTOBER 1, 2018) INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL RELATED CONNECTICUT AMENDMENTS

OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
East Granby, CT	
DATE: February 23, 2022	SCALE: 1/4" = 1'-0"
PLAN: COLONIAL - 2,300 S.F.	
DRAWING NAME: FIRST FLOOR	DRAWING NUMBER: A-2

GRANBY COLONIAL - Second Floor

8'-0" Second Floor Ceiling Height (Unless Otherwise Noted)

Second Floor Window Head Height to be 7'-0" (Unless Otherwise Noted)

Headers to be (2) 1 3/4"x7 1/2" L.V.L. - OR - (2) 2"x8" at Single-Width Openings and (2) 2"x10" at Double-Width Openings (Unless Otherwise Noted)

2"x6" 24" O.C. Exterior Wall Framing

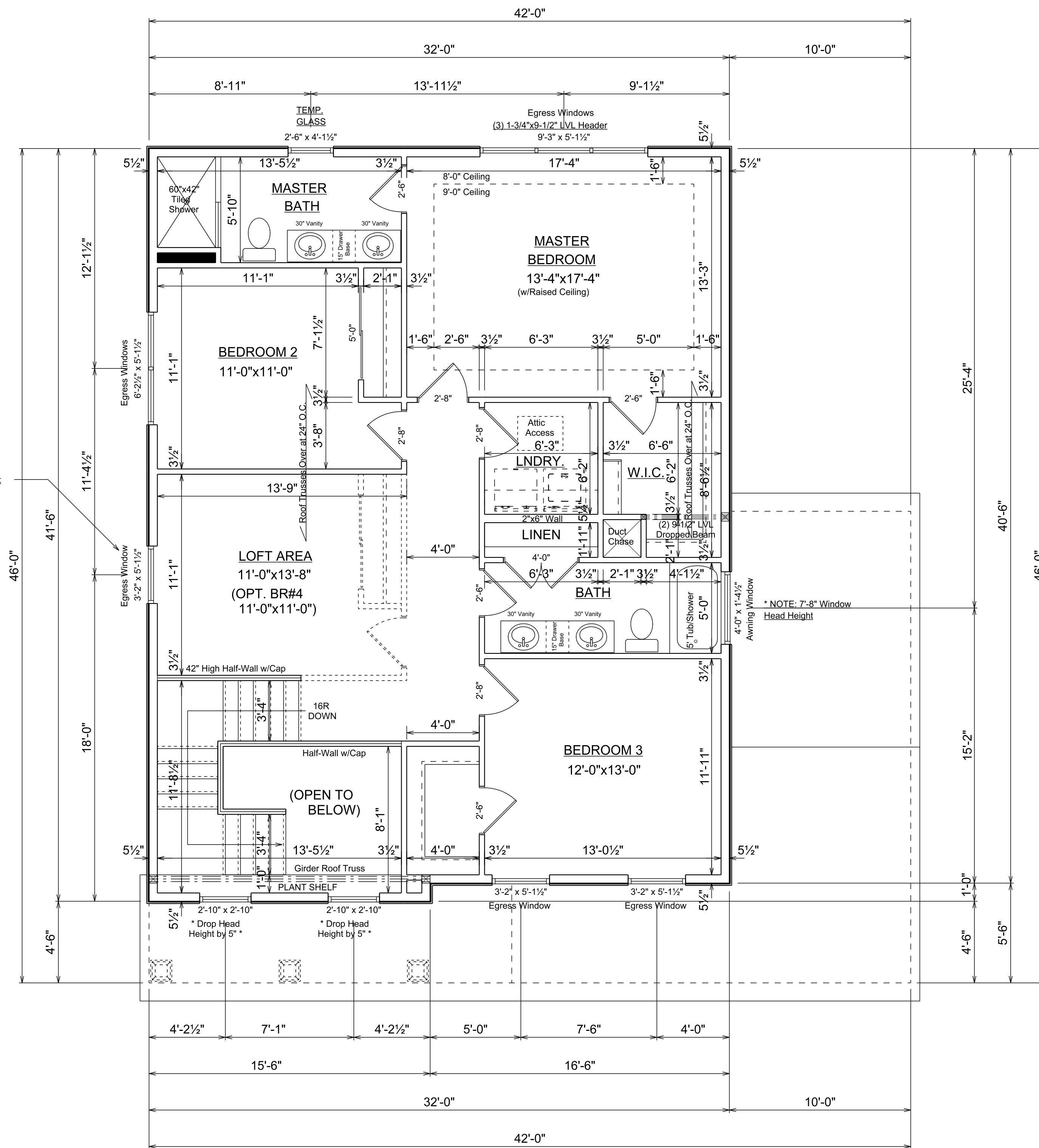
BEDROOM EGRESS WINDOWS:

- * Harvey Slimline 30410 DH Window
- * R.O. Size = 3'-2"x5'-1 1/2" (6'-2 1/2"x5'-1 1/2" for (2)30410, 9'-3"x5'-1 1/2" for (3)30410)
- * Clear Opening Size = 32-1/4"x26-1/16", 5.80 Sq. Ft.

WINDOW LIMIT LATCHES:

- * Provide Window Opening Limit Latches at Egress Window Locations

* NOTE: Single Window at "Loft Area" Locations. Double Window at "Opt. BR#4" Locations. R.O. Size for Double Window is 6'-2 1/2"x5'-1 1/2".

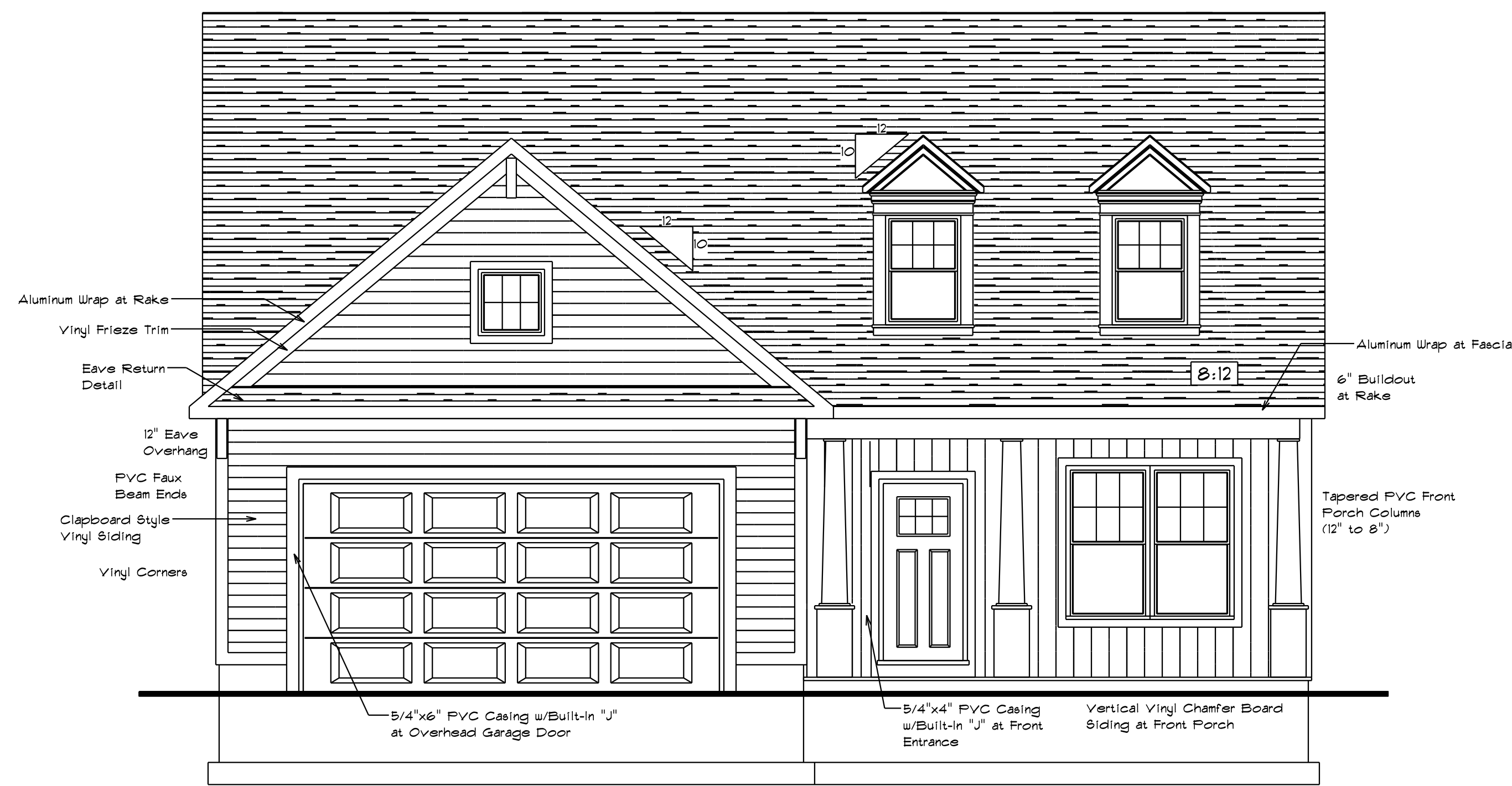


2nd Floor Area: 1,235 Square Feet

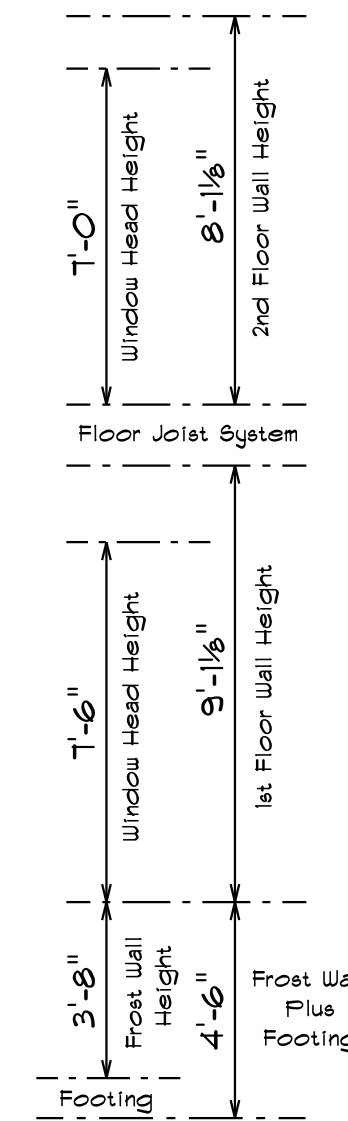
Second Floor Plan

APPLICABLE BUILDING CODE:
 ALL WORK SHALL TO CONFORM TO (MEET OR EXCEED) THE REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE (EFFECTIVE OCTOBER 1, 2018) INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL RELATED CONNECTICUT AMENDMENTS

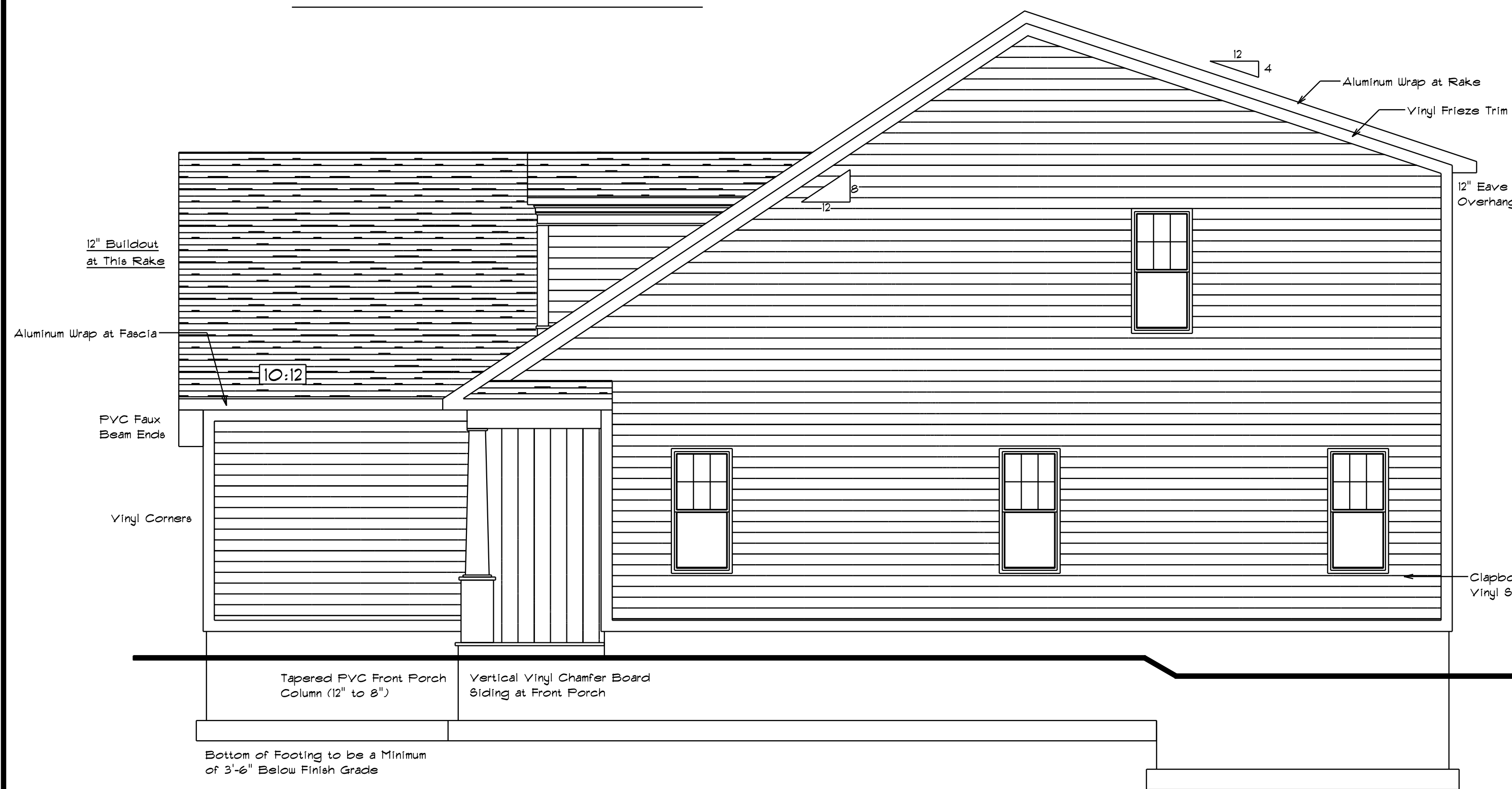
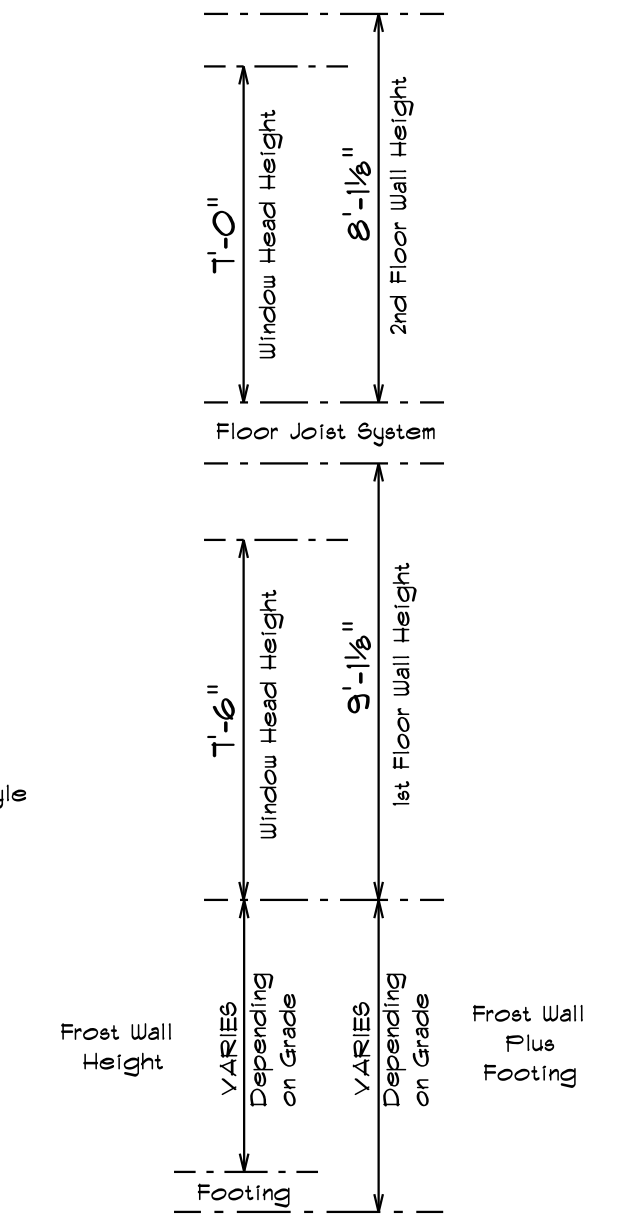
OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
East Granby, CT	
DATE: February 23, 2022	SCALE: 1/4" = 1'-0"
PLAN: COLONIAL - 2,300 S.F.	
DRAWING NAME: SECOND FLOOR	DRAWING NUMBER: A-3



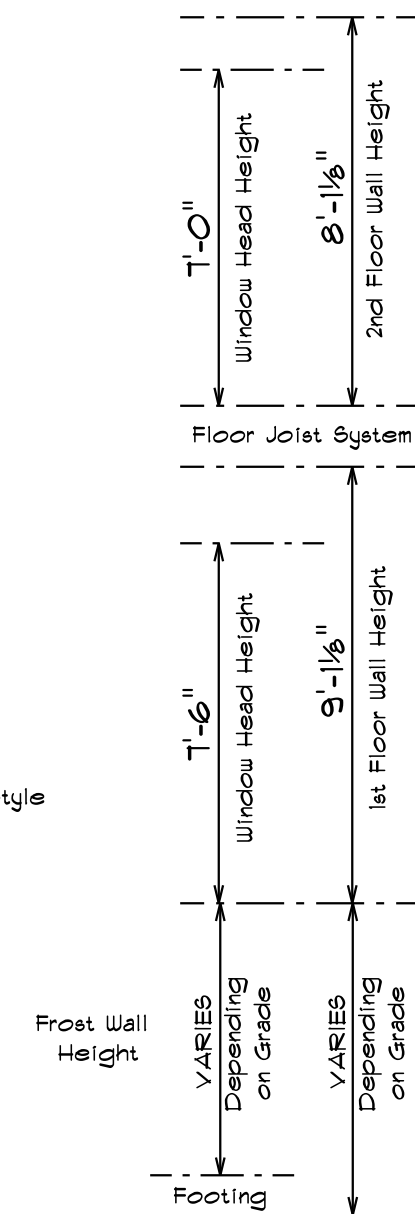
FRONT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



LEFT ELEVATION

OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
LOCATION: East Granby, CT	
DATE: February 28, 2022	SCALE: 1/4" = 1'-0"
DRAWING NAME: CAPE - 1,960 S.F.	
DRAWING NUMBER: REAR ELEV.	DRAWING NUMBER: ELY-2

GRANBY CAPE - First Floor

9'-0" First Floor Ceiling Height

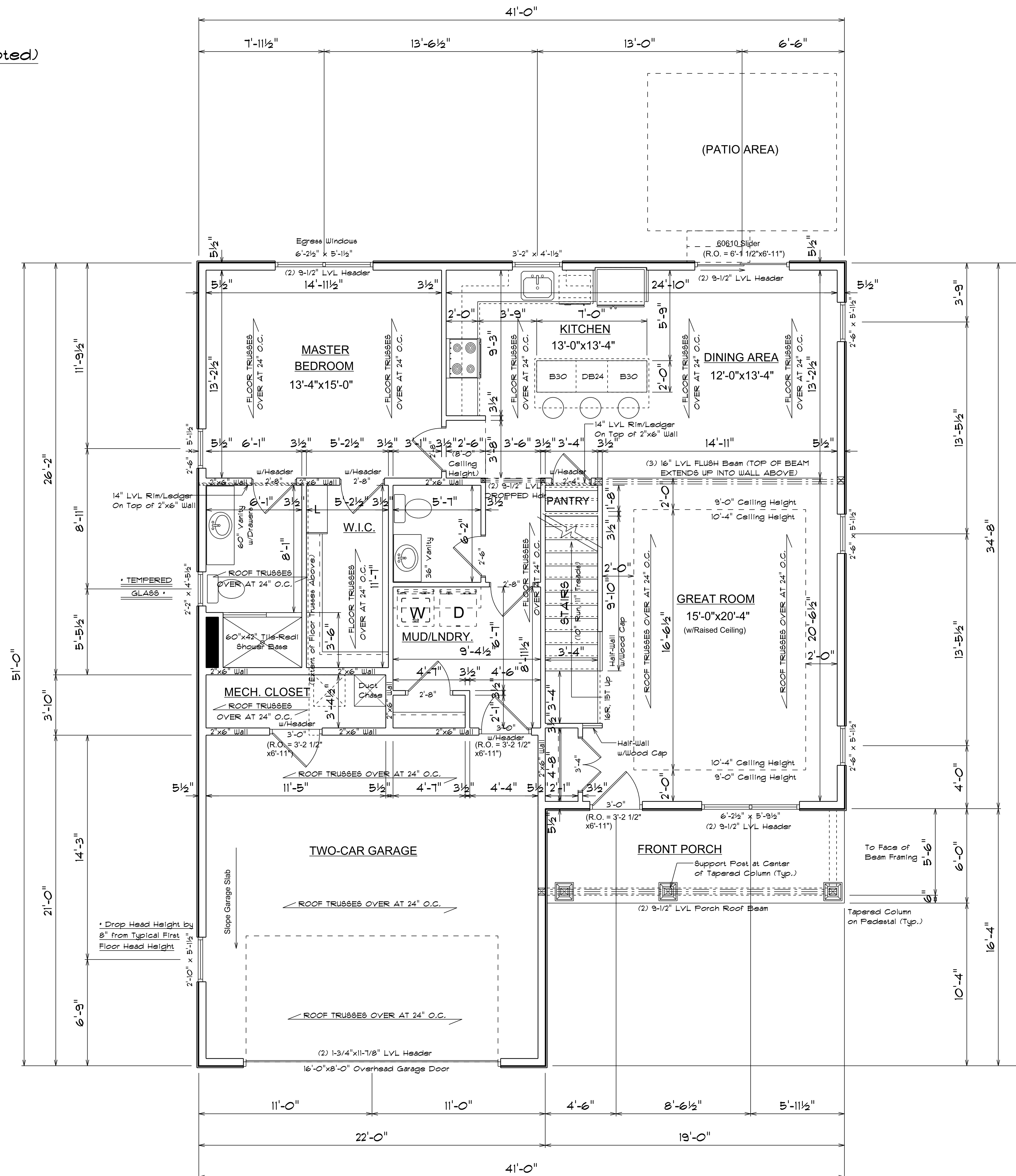
First Floor Window Head Height to be 7'-6" (Unless Otherwise Noted)

Headers to be (2) 1 3/4"x7 1/2" L.V.L. - OR - (2) 2"x8" at Single-Width Openings and (2) 2"x10" at Double-Width Openings (Unless Otherwise Noted)

2"x6" 24" O.C. Exterior Wall Framing

BEDROOM EGRESS WINDOWS:

- * Harvey Slimline 30410 DH Window
- * R.O. Size = 3'-2"x5'-1 1/2" (6'-2 1/2"x5'-1 1/2" for (2)30410, 9'-3"x5'-1 1/2" for (3)30410)
- * Clear Opening Size = 32-1/4"x26-1/16", 5.80 Sq. Ft.



1st Floor Area: 1,260 Square Feet
 2nd Floor Area: 700 Square Feet
 Total Floor Area: 1,960 Square Feet

APPLICABLE BUILDING CODE:
 ALL WORK SHALL TO CONFORM TO (MEET OR EXCEED) THE REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE (EFFECTIVE OCTOBER 1, 2018) INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL RELATED CONNECTICUT AMENDMENTS

OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
East Granby, CT	
DATE: February 28, 2022	SCALE: 1/4" = 1'-0"
PLAN: CAPE - 1,960 S.F.	
DRAWING NAME: FIRST FLOOR	DRAWING NUMBER: A-2

GRANBY CAPE - Second Floor

8'-0" Second Floor Ceiling Height

Second Floor Window Head Height to be 7'-0" (Unless Otherwise Noted)

Headers to be (2) 1 3/4"x7 1/2" L.V.L. - OR - (2) 2"x8" at Single-Width Openings and (2) 2"x10" at Double-Width Openings (Unless Otherwise Noted)

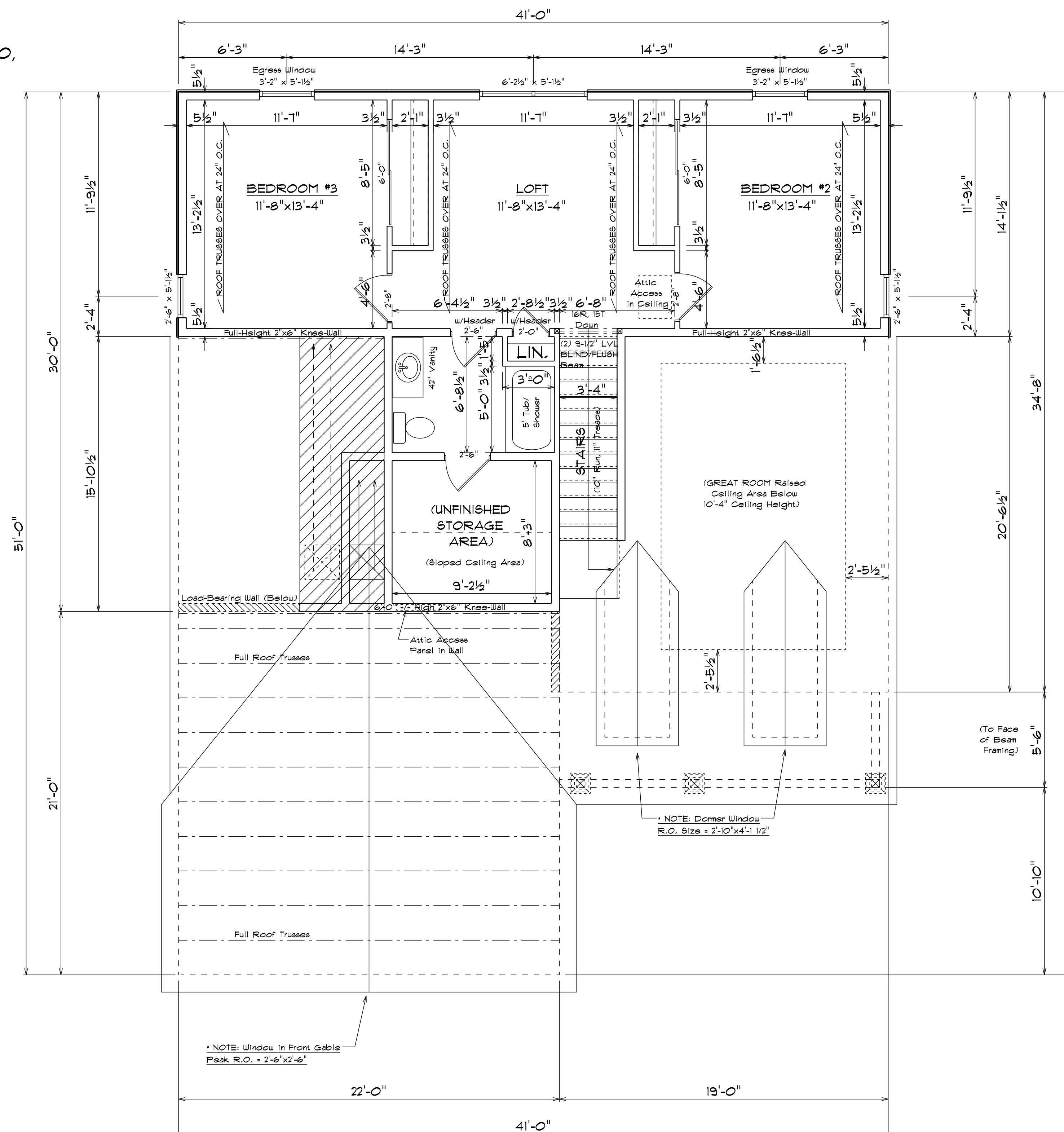
2"x6" 24" O.C. Exterior Wall Framing

BEDROOM EGRESS WINDOWS:

- * Harvey Slimline 30410 DH Window
- * R.O. Size = 3'-2"x5'-1 1/2" (6'-2 1/2"x5'-1 1/2" for (2)30410, 9'-3"x5'-1 1/2" for (3)30410)
- * Clear Opening Size = 32-1/4"x26-1/16", 5.80 Sq. Ft.

WINDOW LIMIT LATCHES:

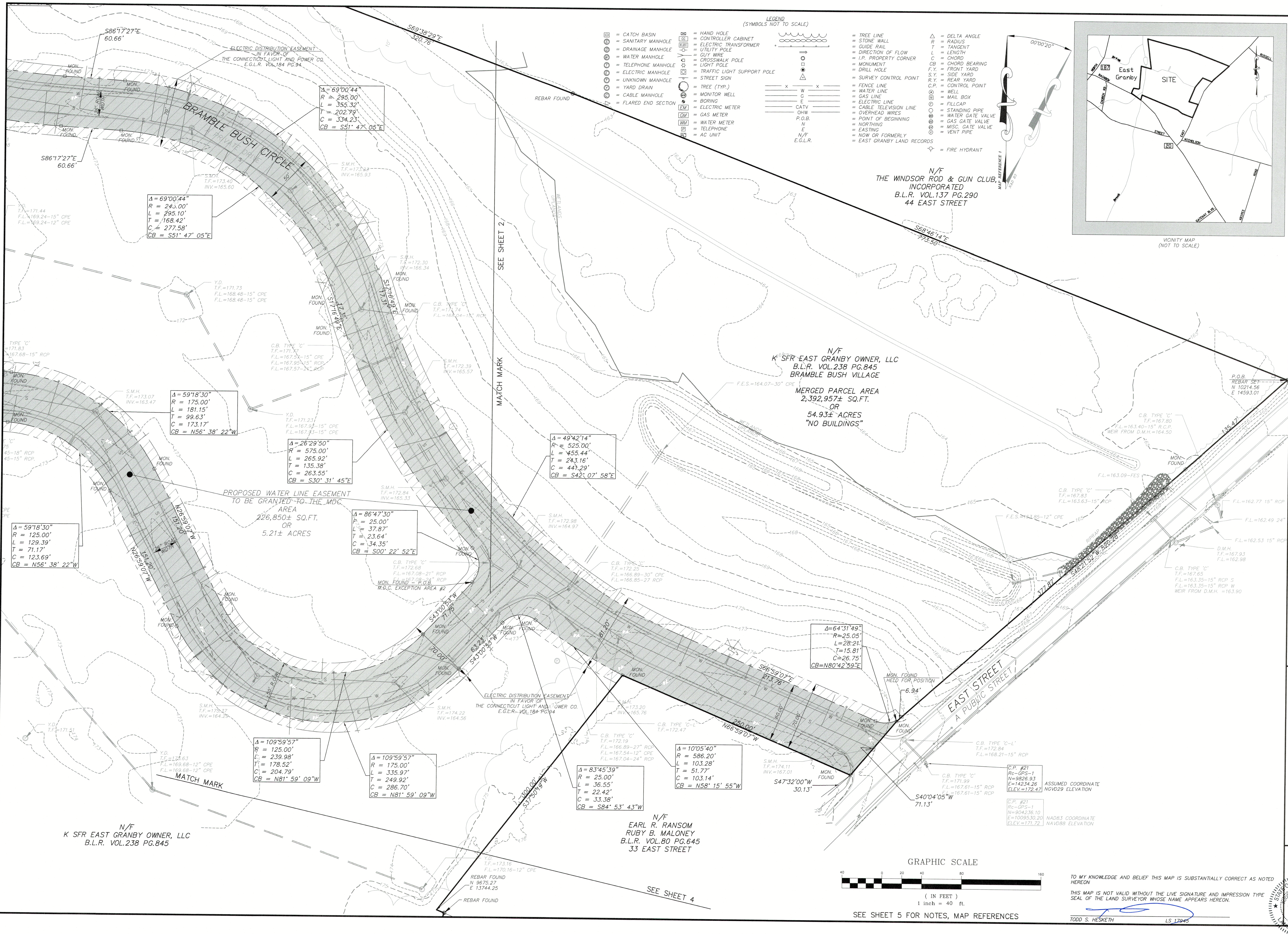
- * Provide Window Opening Limit Latches at Second Floor Egress Window Locations AND at Loft Window Location



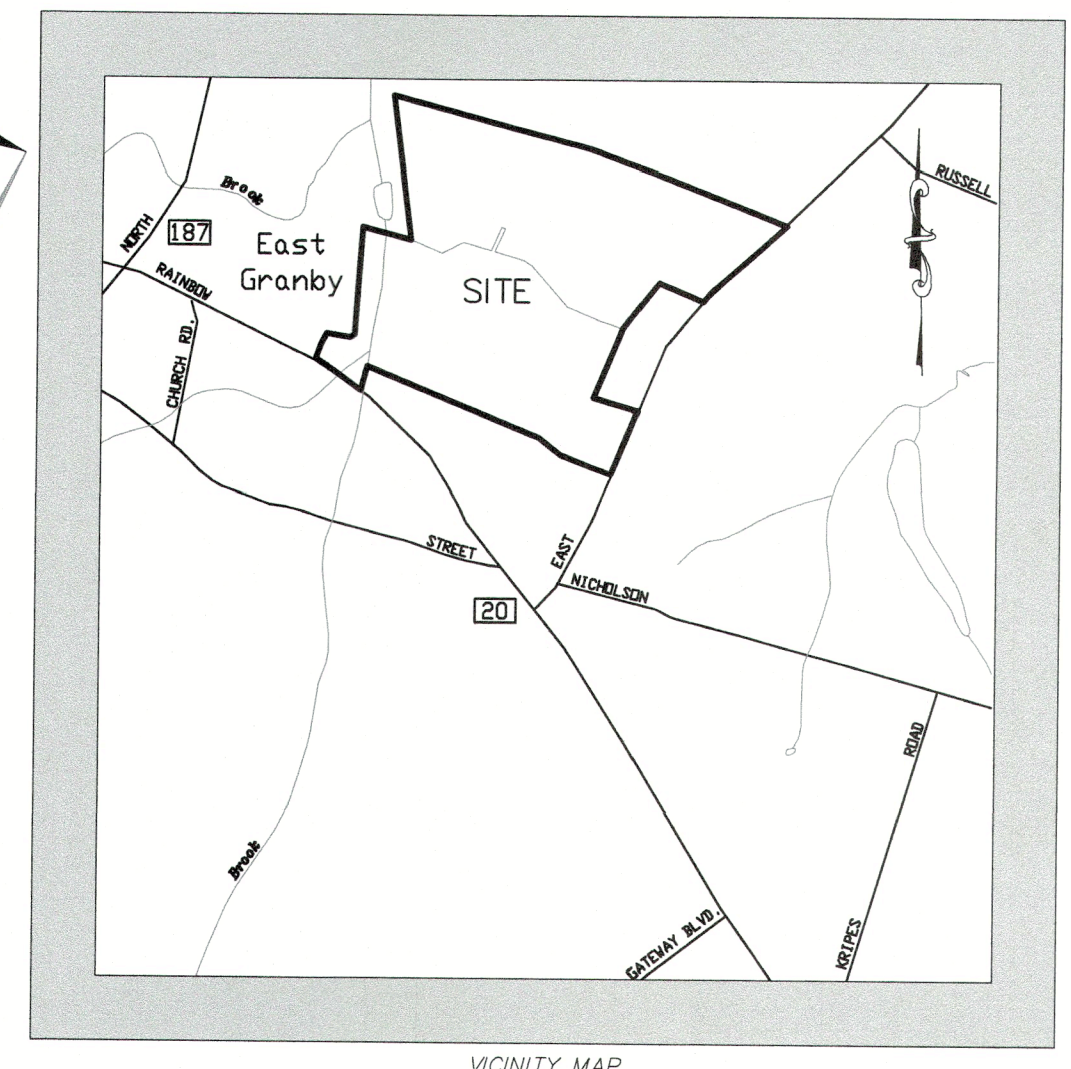
2nd Floor Area: 700 Square Feet
(Unfinished Storage Area: 90 Square Feet)

APPLICABLE BUILDING CODE:
ALL WORK SHALL TO CONFORM TO (MEET OR EXCEED) THE REQUIREMENTS OF THE 2018 CONNECTICUT STATE BUILDING CODE (EFFECTIVE OCTOBER 1, 2018) INCLUDING THE 2015 INTERNATIONAL RESIDENTIAL CODE AND ALL RELATED CONNECTICUT AMENDMENTS

OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: East Granby Meadows	
LOCATION: East Granby, CT	
DATE: February 28, 2022	SCALE: 1/4" = 1'-0"
DRAWING NAME: CAPE - 1,960 S.F.	
DRAWING NUMBER: SECOND FLOOR	DRAWING NUMBER: A-3



- LEGEND (SYMBOLS NOT TO SCALE)**
- ☐ = CATCH BASIN
 - ☐ = SANITARY MANHOLE
 - ☐ = DRAINAGE MANHOLE
 - ☐ = WATER MANHOLE
 - ☐ = TELEPHONE MANHOLE
 - ☐ = ELECTRIC MANHOLE
 - ☐ = UNKNOWN MANHOLE
 - ☐ = YARD DRAIN
 - ☐ = CABLE MANHOLE
 - ☐ = FLARED END SECTION
 - = HAND HOLE
 - = CONTROLLER CABINET
 - = ELECTRIC TRANSFORMER
 - = UTILITY POLE
 - = GUY WIRE
 - = CROSSWALK POLE
 - = LIGHT POLE
 - = TRAFFIC LIGHT SUPPORT POLE
 - = STREET SIGN
 - = TREE (TYP.)
 - = MONITOR WELL
 - = BORING
 - = ELECTRIC METER
 - = GAS METER
 - = WATER METER
 - = TELEPHONE
 - = AC UNIT
 - △ = DELTA ANGLE
 - R = RADIUS
 - T = TANGENT
 - L = LENGTH
 - C = CHORD
 - CB = CHORD BEARING
 - F.Y. = FRONT YARD
 - S.Y. = SIDE YARD
 - R.Y. = REAR YARD
 - C.P. = CONTROL POINT
 - = WELL
 - = GAS LINE
 - = ELECTRIC LINE
 - = CABLE TELEVISION LINE
 - = OVERHEAD WIRES
 - = POINT OF BEGINNING
 - = NORTHING
 - = NOW OR FORMERLY
 - = EAST GRANBY LAND RECORDS
 - = FIRE HYDRANT



N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.238 PG.845
BRAMBLE BUSH VILLAGE
MERGED PARCEL AREA
2,392,957± SQ.FT.
OR
54.93± ACRES
"NO BUILDINGS"

Δ = 59°18'30"
R = 125.00'
L = 129.39'
T = 71.17'
C = 123.69'
CB = N56°38'22"W

Δ = 69°00'44"
R = 243.00'
L = 295.10'
T = 168.42'
C = 277.58'
CB = S51°47'05"E

Δ = 59°18'30"
R = 175.00'
L = 181.15'
T = 99.63'
C = 173.17'
CB = N56°38'22"W

Δ = 26°29'50"
R = 575.00'
L = 265.92'
T = 135.38'
C = 263.55'
CB = S30°31'45"E

Δ = 86°47'30"
R = 25.00'
L = 37.87'
T = 23.64'
C = 34.35'
CB = S00°22'52"E

Δ = 49°42'14"
R = 525.00'
L = 455.44'
T = 243.16'
C = 441.29'
CB = S42°07'58"E

Δ = 64°31'49"
R = 25.05'
L = 28.21'
T = 15.81'
C = 26.75'
CB = N80°42'59"E

Δ = 109°59'57"
R = 125.00'
L = 239.98'
T = 178.52'
C = 204.79'
CB = N81°59'09"W

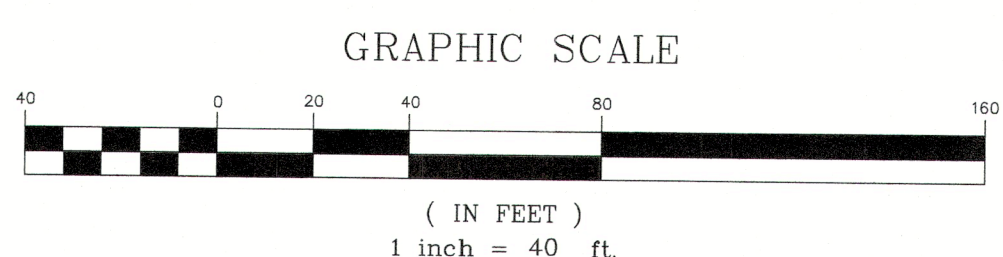
Δ = 109°59'57"
R = 175.00'
L = 335.97'
T = 249.92'
C = 286.70'
CB = N81°59'09"W

Δ = 83°45'39"
R = 25.00'
L = 36.55'
T = 22.42'
C = 33.38'
CB = S84°53'43"W

Δ = 10°05'40"
R = 586.20'
L = 103.28'
T = 51.77'
C = 103.14'
CB = N58°15'55"W

N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.238 PG.845

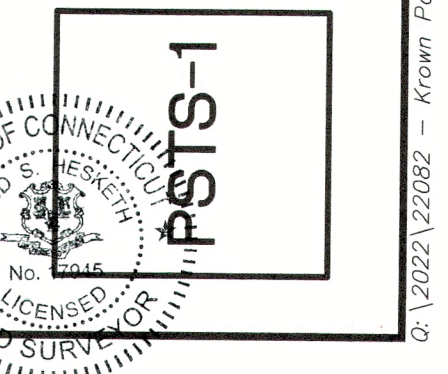
N/F
EARL R. RANSOM
RUBY B. MALONEY
B.L.R. VOL.80 PG.645
33 EAST STREET



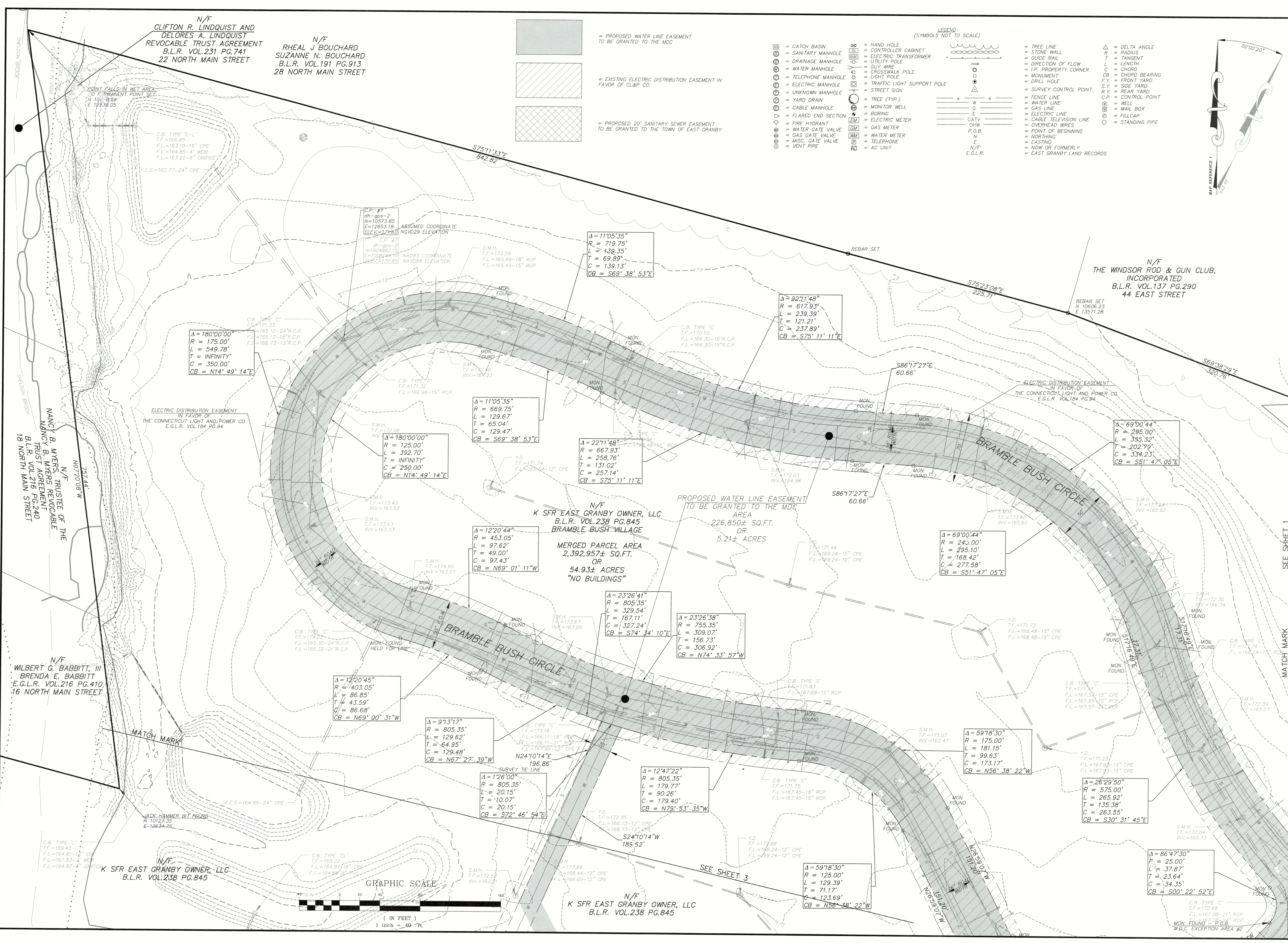
TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON
THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.
TODD S. HESKETH LS 12945

No.	Date	Description
1.	05-03-2024	PZC Application

PROPERTY/TOPOGRAPHIC SURVEY
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE,
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT
Date: 01-29-2024 Drawn by: CAD Job no: 22082
Scale: 1" = 40' Checked by: TSH Sheet no: 1 OF 5



F.A.H.
F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com mail@fahsketh.com
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects



N/F
CLIFTON R. LINDQUIST AND
DELORES A. LINDQUIST
REVOCABLE TRUST AGREEMENT
B.L.R. VOL.231 PG.741
22 NORTH MAIN STREET

N/F
RHEAL J BOUCHARD
SUZANNE N. BOUCHARD
B.L.R. VOL.191 PG.913
28 NORTH MAIN STREET

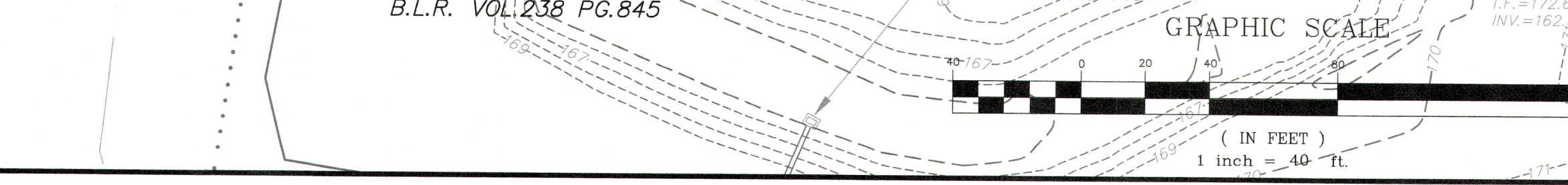
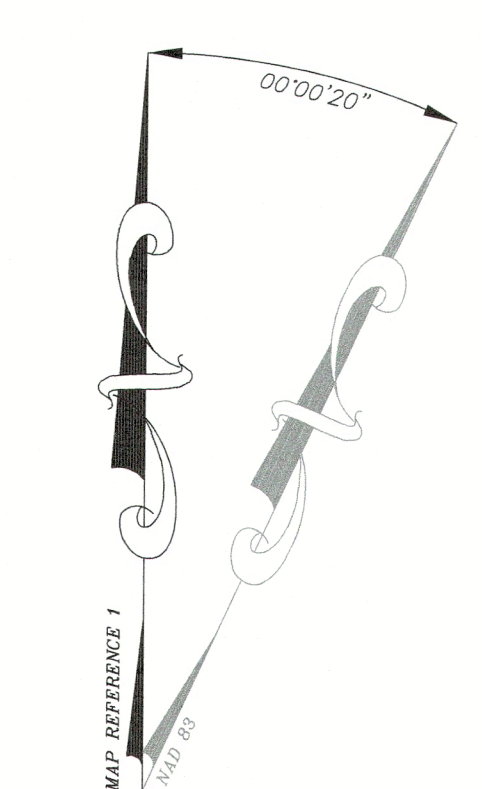
N/F
NANCY B. MYERS TRUSTEES OF THE
NANCY B. MYERS REVOCABLE
TRUST AGREEMENT
B.L.R. VOL.216 PG.240
18 NORTH MAIN STREET

N/F
WILBERT G. BABBITT, III
BRENDA E. BABBITT
E.G.L.R. VOL.216 PG.410
16 NORTH MAIN STREET

N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.238 PG.845

- = PROPOSED WATER LINE EASEMENT TO BE GRANTED TO THE MDC
- = EXISTING ELECTRIC DISTRIBUTION EASEMENT IN FAVOR OF CL&P CO.
- = PROPOSED 20" SANITARY SEWER EASEMENT TO BE GRANTED TO THE TOWN OF EAST GRANBY

- LEGEND (SYMBOLS NOT TO SCALE)
- = CATCH BASIN
 - = SANITARY MANHOLE
 - = DRAINAGE MANHOLE
 - = WATER MANHOLE
 - = TELEPHONE MANHOLE
 - = ELECTRIC MANHOLE
 - = UNKNOWN MANHOLE
 - = YARD DRAIN
 - = CABLE MANHOLE
 - = FLARED END SECTION
 - = FIRE HYDRANT
 - = WATER GATE VALVE
 - = GAS GATE VALVE
 - = MISC. GATE VALVE
 - = VENT PIPE
 - = HAND HOLE
 - = CONTROLLER CABINET
 - = ELECTRIC TRANSFORMER
 - = UTILITY POLE
 - = GUY WIRE
 - = CROSSWALK POLE
 - = TELEPHONE POLE
 - = TRAFFIC LIGHT SUPPORT POLE
 - = STREET SIGN
 - = TREE (TYP.)
 - = MONITOR WELL
 - = BORING
 - = ELECTRIC METER
 - = GAS METER
 - = WATER METER
 - = TELEPHONE
 - = AC UNIT
 - = TREE LINE
 - = STONE WALL
 - = GUIDE RAIL
 - = DIRECTION OF FLOW
 - = I.P. PROPERTY CORNER
 - = MONUMENT
 - = DRILL HOLE
 - = SURVEY CONTROL POINT
 - = FENCE LINE
 - = WATER LINE
 - = EASTING
 - = POINT OF BEGINNING
 - = NORTHING
 - = NOW OR FORMERLY
 - = EAST GRANBY LAND RECORDS
 - = DELTA ANGLE
 - = RADIUS
 - = TANGENT
 - = LENGTH
 - = CHORD
 - = CHORD BEARING
 - = FRONT YARD
 - = SIDE YARD
 - = REAR YARD
 - = CONTROL POINT
 - = WELL
 - = MAIL BOX
 - = FILLCAP
 - = STANDING PIPE



N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.238 PG.845
BRAMBLE BUSH VILLAGE
MERGED PARCEL AREA
2,392,957± SQ.FT.
OR
54.93± ACRES
"NO BUILDINGS"

N/F
THE WINDSOR ROD & GUN CLUB,
INCORPORATED
B.L.R. VOL.137 PG.290
44 EAST STREET

SEE SHEET 1

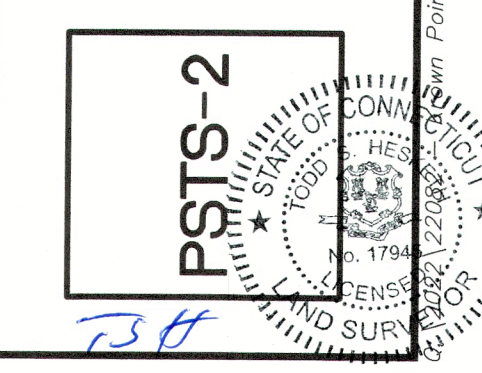
SEE SHEET 3

REVISIONS:

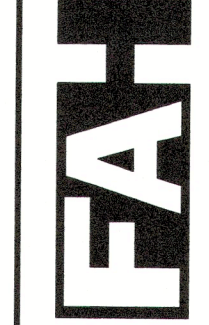
No.	Date	Description
1.	05-03-2024	IPZC Application

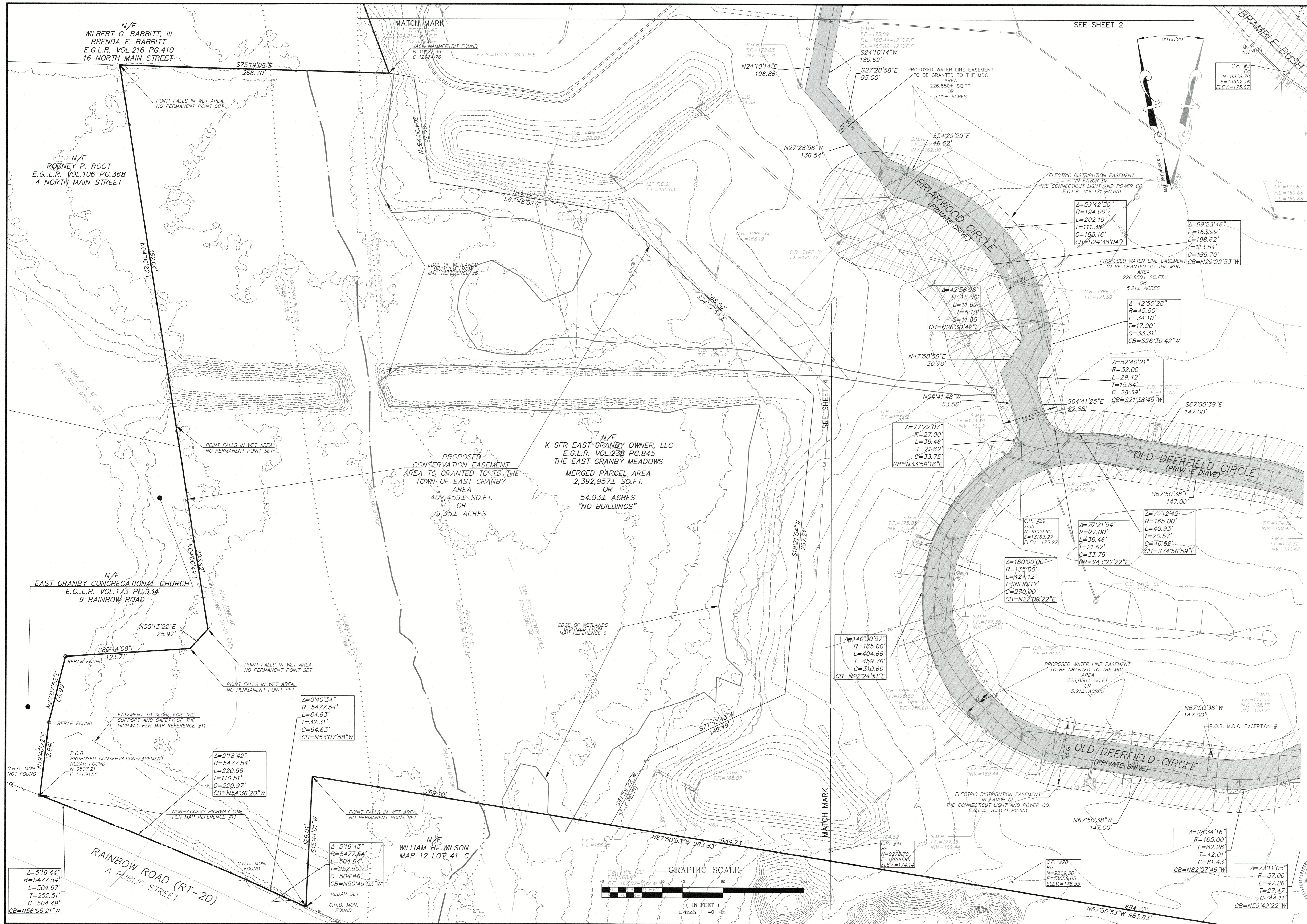
PROPERTY/TOPOGRAPHIC SURVEY
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE,
OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
EAST GRANBY, CONNECTICUT

Date: 01-29-2024
Scale: 1" = 40'
Job no.: 22082
Drawn by: CAD
Checked by: TSH
Sheet no.: 2 OF 4

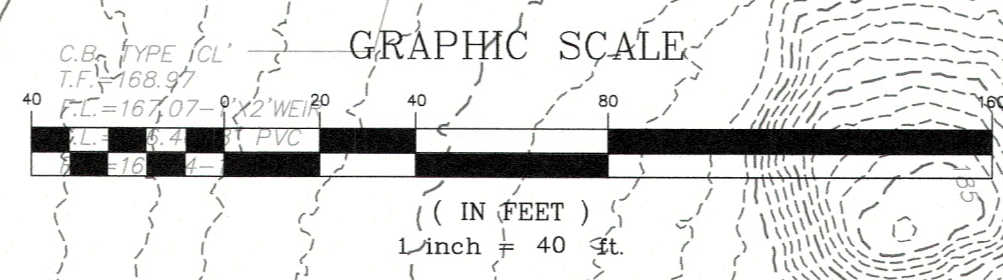
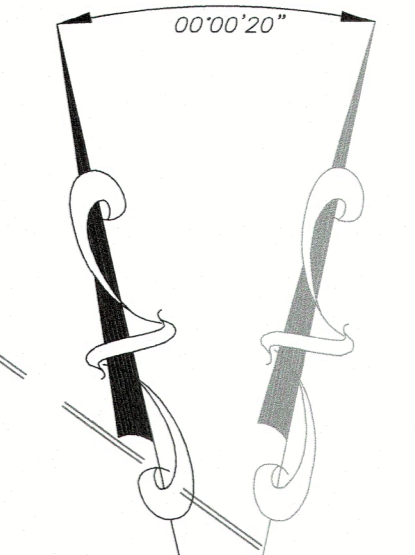


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SEE SHEET 2



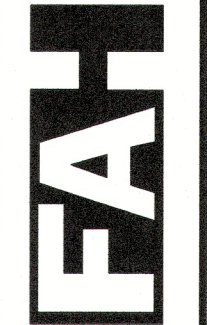
Revisions:

No.	Date	Description
1.	05-03-2024	PZC Application

PROPERTY/TOPOGRAPHIC SURVEY
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE,
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 01-29-2024 Drawn by: CAD Job no.: 22082
 Scale: 1" = 40' Checked by: TSH Sheet no.: 3 OF 5

PSTS-3
 TSK

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N/F
 WILBERT G. BABBITT, III
 BRENDA E. BABBITT
 E.G.L.R. VOL. 216 PG. 410
 16 NORTH MAIN STREET

N/F
 RODNEY P. ROOT
 E.G.L.R. VOL. 106 PG. 368
 4 NORTH MAIN STREET

N/F
 K SFR EAST GRANBY OWNER, LLC
 E.G.L.R. VOL. 238 PG. 845
 THE EAST GRANBY MEADOWS
 MERGED PARCEL AREA
 2,392,957± SQ.FT.
 OR
 54.93± ACRES
 "NO BUILDINGS"

PROPOSED
 CONSERVATION EASEMENT
 AREA TO GRANTED TO THE
 TOWN OF EAST GRANBY
 AREA
 407,459± SQ.FT.
 OR
 9.35± ACRES

N/F
 EAST GRANBY CONGREGATIONAL CHURCH
 E.G.L.R. VOL. 173 PG. 934
 9 RAINBOW ROAD

N/F
 WILLIAM H. WILSON
 MAP 12 LOT 41-C

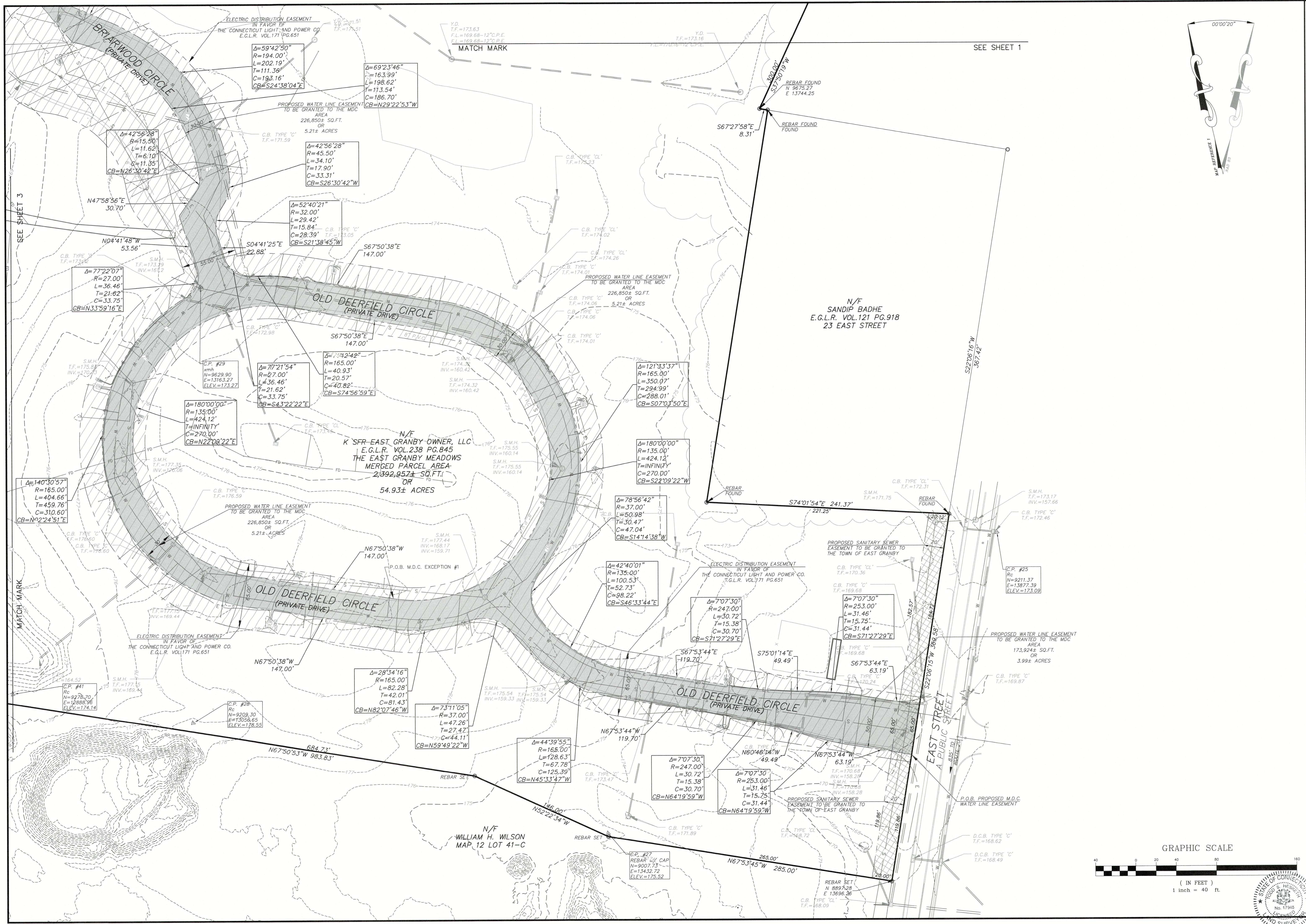
Δ=51°16'44"
 R=5477.54'
 L=504.67'
 T=252.51'
 C=504.49'
 CB=N56°05'21"W

Δ=21°18'42"
 R=5477.54'
 L=220.98'
 T=110.51'
 C=220.97'
 CB=N54°36'20"W

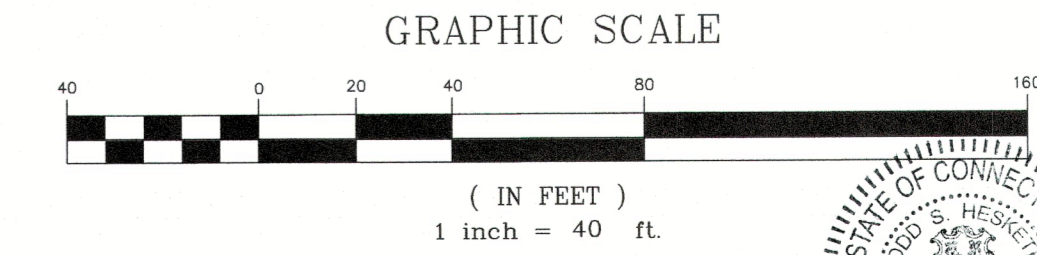
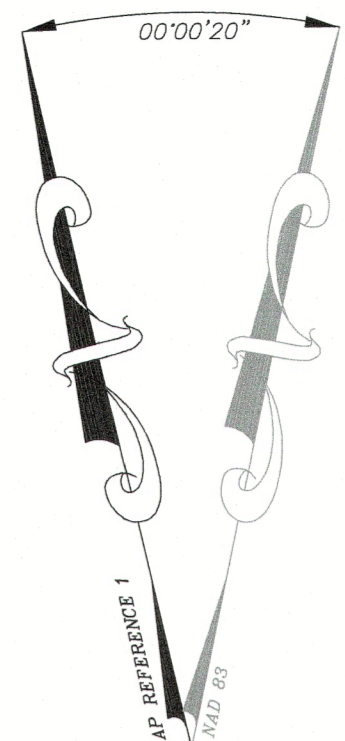
Δ=0°40'34"
 R=5477.54'
 L=64.63'
 T=32.31'
 C=64.63'
 CB=N53°07'58"W

Δ=51°16'43"
 R=5477.54'
 L=504.64'
 T=252.50'
 C=504.46'
 CB=N50°49'53"W

GRAPHIC SCALE
 (IN FEET)
 1 inch = 40 ft



SEE SHEET 1



No.	Date	Description	Revisions:
1.	05-03-2024	P/C Application	

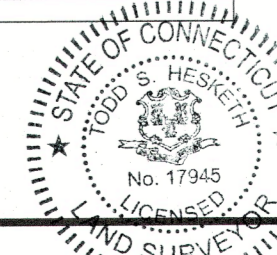
PROPERTY/TOPOGRAPHIC SURVEY	PREPARED FOR	K SFR EAST GRANBY OWNER, LLC
		BRAMBLE BUSH CIRCLE, OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE EAST GRANBY, CONNECTICUT
Date: 01-29-2024	Drawn by:	CAD
Scale: 1" = 40'	Checked by:	TSH
	Job no.:	22082
	Sheet no.:	4 OF 4

FAH

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PSTS-4



Q:\2023\22082 - Kram Point East Granby\BOUNDARY-TOPOGRAPHIC SURVEY\STIS-4, May, 02, 2024 - 12:36:57 PM

MAP REFERENCE:

1. ALTA/NSPS LAND TITLE SURVEY, PROPERTY SURVEY PROPERTY OF K SFR EAST GRANBY OWNER, LLC BRAMBLE BUSH CIRCLE, OLD DEERFIELD CIRCLE, EAST GRANBY, CONNECTICUT, DATED 01-29-2024, SCALE 1"=40', SHEETS 1 THRU 5 OF 5, BY F.A. HESKETH & ASSOCIATES, INC.
2. IMPROVEMENT LOCATION PLAN PREPARED FOR K SFR EAST GRANBY OWNER, LLC, BRAMBLE BUSH CIRCLE, EAST GRANBY, CONNECTICUT, DATED 03-24-2023 REVISED 05-08-2023, SCALE 1"=40', SHEETS 1 AND 2 OF 2 BY F.A. HESKETH & ASSOCIATES, INC.
3. IMPROVEMENT LOCATION PLAN PREPARED FOR K SFR EAST GRANBY OWNER, LLC, EAST GRANBY OWNER, LLC, EAST GRANBY MEADOWS, OLD DEERFIELD CIRCLE (PRIVATE), EAST GRANBY, CONNECTICUT, DATED 09-14-2022 REVISED 05-08-2023, SCALE 1"=40', SHEETS 1 AND 2 OF 2 BY F.A. HESKETH & ASSOCIATES, INC.
4. PROPOSED ZONE CHANGE OWNER & DEVELOPER WILLIAM H. WILSON WEST SIDE - EAST STREET NORTH SIDE - RAINBOW ROAD EAST GRANBY, CONNECTICUT DATE NOVEMBER 12, 2008 SCALE 1" = 100' BY HENRY C. COTTON & ASSOCIATES LAND SURVEYORS & CONSULTANTS SINCE 1957
5. THE BRAMBLE BUSH VILLAGE SINGLE FAMILY SUBDIVISION DEVELOPMENT PROPERTY OF WILLIAM H. WILSON EAST STREET EAST GRANBY, CONNECTICUT GENERAL SUBDIVISION PLAN, AUGUST 2, SHEETS 1 -15, REVISION 7 08-03-2011 FINAL APPROVAL BY ECODESIGN, LLC.
6. THE EAST GRANBY MEADOWS MULTI-FAMILY DESIGNED RESIDENCE CONDOMINIUM DEVELOPMENT PROPERTY WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT, AUGUST 2, 2006 REVISED THROUGH: DECEMBER 29, 2009 BY ECODESIGN, LLC, AVON, CONNECTICUT 06011.
7. COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT, SCALE 1"=40', SHEETS 1 AND 2 OF 2, CL&P FILE NO. E0023 BY ECODESIGN, LLC. EAST GRANBY MAP NUMBER 2206.
8. MAP SHOWING EASEMENT TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT, DATED 10-12-2007, SCALE 1"=50', CPL&P FILE NO. E7166. EAST GRANBY MAP NUMBER 2095
9. SANITARY SEWER AS-BUILT, THE EAST GRANBY MEADOWS, PROPERTY OF WILSON H. MEADOWS, EAST GRANBY, CONNECTICUT, DATE: 08/18/2011, SCALE 1"=40', BY ECODESIGN, LLC.
10. SANITARY SEWER AS-BUILT, THE BRAMBLE BUSH VILLAGE, PROPERTY OF WILSON H. MEADOWS, EAST GRANBY, CONNECTICUT, DATE: 08/18/2011, SCALE 1"=40', BY ECODESIGN, LLC.
11. THE BRAMBLE BUSH VILLAGE, A MULTI-FAMILY DEVELOPMENT, EAST STREET/BRAMBLE BUSH CIRCLE, EAST GRANBY, CONNECTICUT, INLAND WETLAND & SPECIAL PERMIT APPLICATION, MARCH 24, 2023, FINAL CONDITIONS OF APPROVAL BY F.A. HESKETH & ASSOCIATES, INC.
12. CONNECTICUT DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP, TOWN OF EAST GRANBY, RAINBOW ROAD, FROM MAIN STREET EASTERLY TO SCHOOL STREET, SCALE 1"=40' DATED JULY 24, 1987, NUMBER 39-11 SHEET 2 OF 2.

PROPERTY DESCRIPTION

BEGINNING AT A POINT AT THE NORTHEAST CORNER OF LAND OF K SFR EAST GRANBY OWNER, LLC AND THE SOUTHEAST CORNER OF LAND NOW OR FORMERLY OF THE WINDSOR ROD & GUN CLUB, INCORPORATED.

THENCE, S 48°21'52" W A DISTANCE OF 520.28 FEET TO A POINT.

THENCE, S 40°04'05" W A DISTANCE OF 71.13 FEET TO THE POINT. THE LAST TWO COURSES BEING ALONG THE NORTHWESTERLY STREETLINE OF EAST STREET.

THENCE, N 66°59'07" W A DISTANCE OF 250.00 FEET TO A POINT.

THENCE, S 37°50'19" W A DISTANCE OF 300.00 FEET TO A POINT.

THENCE, S 67°27'58" E A DISTANCE OF 8.31 FEET TO A POINT MARKING THE NORTHWEST CORNER OF LAND NOW OR FORMERLY OF SANDIP BADHE, THE LAST THREE COURSES BEING ALONG LAND NOW OR FORMERLY OF EARL R. RANSON AND RUBY B. MALONEY

THENCE, S 22°06'16" W A DISTANCE OF 395.02 FEET TO A POINT.

THENCE, S 74°01'54" E A DISTANCE OF 241.37 FEET TO A POINT IN THE WESTERLY STREETLINE OF EAST STREET. THE LAST TWO COURSES BEING ALONG LAND NOW OR FORMERLY OF SANDIP BADHE.

THENCE, S 22°06'15" W ALONG THE WESTERLY STREETLINE OF EAST STREET A DISTANCE OF 369.58 FEET TO A POINT MARKING THE SOUTHEASTERLY CORNER OF THE SUBJECT PARCEL.

THENCE, N 67°53'45" W A DISTANCE OF 285.00 FEET TO A POINT.

THENCE, N 52°22'34" W A DISTANCE OF 146.00 FEET TO A POINT.

THENCE, N 67°50'53" W A DISTANCE OF 983.83 FEET TO A POINT.

THENCE, S 15°44'01" W A DISTANCE OF 129.01 FEET TO A POINT OF CURVATURE IN THE NORTHERLY HIGHWAY LINE OF ROUTE 20 (RAINBOW ROAD). THE LAST 4 COURSES BEING ALONG LAND NOW OR FORMERLY OF WILLIAM H. WILSON.

THENCE, ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 00°40'34" A RADIUS OF 5477.54 FEET AND AN ARC LENGTH OF 64.63 FEET TO THE POINT. SAID POINT BEING LOCATED N 53°07'58" W A CHORD DISTANCE OF 64.63 FEET FROM SAID POINT OF CURVATURE.

THENCE, ALONG A CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02°18'42" A RADIUS OF 5477.54 FEET AND AN ARC LENGTH OF 220.98 FEET TO A POINT MARKING THE SOUTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED. SAID POINT BEING LOCATED N 54°36'20" W A CHORD DISTANCE OF 220.97 FEET FROM SAID POINT OF CURVATURE.

THENCE, N 19°46'22" E A DISTANCE OF 72.94 FEET TO A POINT.

THENCE, N 27°07'52" E A DISTANCE OF 66.99 FEET TO A POINT.

THENCE, S 80°44'08" E A DISTANCE OF 123.71 FEET TO A POINT.

THENCE, N 55°13'22" E A DISTANCE OF 25.97 FEET TO A POINT.

THENCE, N 04°00'49" E A DISTANCE OF 203.92 FEET TO A POINT.

THENCE, N 04°00'22" E A DISTANCE OF 362.04 FEET TO A POINT. THE LAST 6 COURSES BEING ALONG LAND NOW OR FORMERLY OF THE EAST GRANBY CONGREGATIONAL CHURCH AND RODNEY P. ROOT PARTIALLY BY EACH.

THENCE, S 75°19'08" E A DISTANCE OF 266.70 FEET TO A POINT.

THENCE, N 07°20'08" W A DISTANCE OF 757.44 FEET TO A POINT MARKING THE NORTHWEST CORNER OF THE PARCEL HEREIN DESCRIBED. THE LAST TWO COURSES BEING ALONG LAND NOW OR FORMERLY OF WILBERT & BRENDA BABBITT, NANCY B. MYERS AND CLIFTON & DELORES LINDQUIST PARTIALLY BY EACH.

THENCE, S 75°11'33" E A DISTANCE OF 842.82 FEET TO A POINT.

THENCE, S 75°23'08" E A DISTANCE OF 225.71 FEET TO A POINT. THE LAST TWO COURSES BEING ALONG LAND NOW OR FORMERLY OF RHEAL & SUZANNE BOUCHARD.

THENCE, S 69°38'29" E A DISTANCE OF 320.76 FEET TO A POINT.

THENCE, S 68°46'14" E A DISTANCE OF 773.50 FEET TO THE POINT AND PLACE OF BEGINNING. THE LAST TWO COURSES BEING ALONG LAND NOW OR FORMERLY OF THE WINDSOR ROD & GUN CLUB, INCORPORATED.

SAID PARCEL CONTAINS 2,392,957 SQ. FT. OR 54.93 ACRES MORE OR LESS AND BEING THE SAME PROPERTY DESCRIBED IN CATC - COMMITMENT FOR TITLE, COMMITMENT DATE 01-29-2024 PROPERTY DESCRIPTION DEPICTED HEREON.

NOTES:

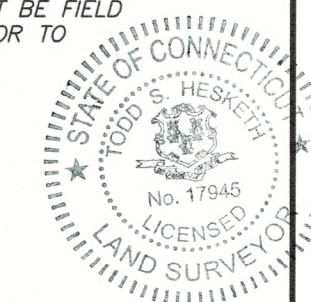
1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
2. IT IS A PROPERTY/TOPOGRAPHIC SURVEY INTENDED TO BE SUBMITTED TO THE TOWN OF EAST GRANBY AS PART OF A SPECIAL USE PERMIT APPLICATION.
3. THE BOUNDARY DETERMINATION CATEGORY IS A RESURVEY AND BASED UPON MAP REFERENCE #1. PROPOSED EASEMENTS ARE OF THE ORIGINAL CATEGORY.
4. THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL AND CLASS T-2 TOPOGRAPHIC (SUPPLEMENTED WITH CLASS T-D LIDAR DATA) ACCURACY STANDARDS.
5. THE SUBJECT PROPERTY IS CURRENTLY OWNED BY K SFR EAST GRANBY OWNER, LLC, EAST GRANBY LAND RECORDS VOLUME 238 PAGE 845.
6. THE BEARINGS DEPICTED HEREON ARE BASED UPON MAP REFERENCE #2 AND COORDINATES ARE ASSUMED. CONTROL POINTS #7 AND #21 DEPICTED HEREON HAVE CONVERSION COORDINATES TO NAD83 BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING VALUES (CP #7 N=904983.15, E=1008149.19, CP #21 N=904236.10 E=1009530.20).
7. THE ELEVATIONS DEPICTED HEREON (IF ANY) ARE BASED UPON NAVD29 PER MAP REFERENCE #2. THE CONTROL POINTS #7 AND #21 DEPICTED HEREON HAVE CONVERSION ELEVATIONS BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING NAVD88 VALUES (CP #7 ELEVATION = 170.85 , CP #11 ELEVATION = 171.72)
8. THE SUBJECT PARCEL IS LOCATED IN THE TOWN OF EAST GRANBY MULTI-FAMILY DESIGNED RESIDENCE (MFDR) AND WAS GRANTED:
- A. A SPECIAL PERMIT FROM THE EAST GRANBY PLANNING AND ZONING COMMISSION APPLICATION #23-05 APPROVED WITH CONDITIONS GRANTED ON 06-13-2023 PROPERTY LOCATION 1-47 OLD DEERFIELD CIRCLE, EAST STREET LOT 43 & 2-80 BRAMBLE BUSH CIRCLE.
- B. SPECIAL PERMIT MODIFICATION TO ALLOW 58 DUPLEXES AND ASSOCIATED IMPROVEMENTS ON PROPERTY LOCATED AT BRAMBLE BUSH CIRCLE, APPLICATION 23-05 AT EAST GRANBY PLANNING AND ZONING MEETING ON JUNE 13, 2023.
- C. APPROVAL FOR APPLICATION #C23-02 WITH CONDITIONS FOR REDEVELOPMENT OF BRAMBLE BUSH CIRCLE BY THE IWWA AT ITS REGULARLY SCHEDULED MEETING ON JUNE 7, 2023.
9. BRAMBLE BUSH CIRCLE AND OLD DEERFIELD CIRCLE ARE PRIVATE DRIVES AND MAY BE SUBJECT TO RIGHTS OF OTHERS FOR UTILITIES PREVIOUSLY INSTALLED AS DEPICTED HEREON, AT ONE TIME BRAMBLE BUSH CIRCLE WAS INTENDED TO BE A TOWN ROAD.
10. INTENTIONALLY OMITTED.
11. INTENTIONALLY OMITTED.
12. THE SUBJECT PARCEL HAS DIRECT ACCESS TO EAST STREET (A PUBLIC STREET).
13. PORTIONS OF THE SUBJECT PARCEL LIES WITHIN 1. A SPECIAL FLOOD HAZARD AREA - ZONE AE (BASE FLOOD ELEVATION DETERMINED) 2. FLOODWAY AREAS IN ZONE AE. 3. AREAS OUTSIDE OF THE SPECIAL FLOOD HAZARD ZONES LIE WITHIN FEMA ZONE X OTHER AREAS - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE FLOOD ZONES DEPICTED HEREON ARE BASED UPON AN INSPECTION OF THE MAP ENTITLED "PANEL 0203F, FIRM, FLOOD INSURANCE RATE MAP, HARTFORD COUNTY, CONNECTICUT (ALL JURISDICTIONS), PANEL 203 OF 675, EFFECTIVE DATE SEPTEMBER 26, 2008, MAP NUMBER 09003C0203F, BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY".
14. INTENTIONALLY OMITTED.
15. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4453.

No.	Date	Description
1.	05-03-2024	PZC Application

PROPERTY/TOPOGRAPHIC SURVEY PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE,
 OLD DEERFIELD CIRCLE, BRIARWOOD CIRCLE,
 EAST GRANBY, CONNECTICUT

Date: 01-29-2024 Drawn by: CAD Job no.: 22082
 Scale: 1" = 40' Checked by: TSH Sheet no.: 5 OF 5

PSTS-5



FAH

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 Civil & Traffic Engineers · Surveyors · Landscapers