

# J.E.T. WAREHOUSE and DISTRIBUTION CENTER

10 Russell Road

East Granby, Connecticut

Inland Wetlands & Special Permit Application

September 29, 2023



VICINITY MAP  
(1" = 2000')

## DEVELOPMENT TEAM

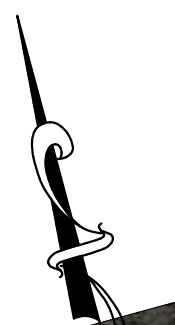
Property Owner	Anthony Oquisanti
Applicant/Developer	Joneser's Express Transportation
Building Design	Centek Engineering, Inc.
Civil Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	F. A. Hesketh & Associates, Inc.
Wetland Consultant	Jackson Environmental, LLC

## LIST OF DRAWINGS

	Title Sheet
AP-1	Area Plan
LA-1	Layout Plan
LS-1 thru LS-3	Landscape Plan
GR-1	Grading, Drainage and Utility Plan
EC-1	Soil Erosion & Sedimentation Control Plan
SD-1 thru SD-4	Site Details
NT-1	Notes
SK-1	Building Floor Plan
ILP-1	Property/Topographic Survey



David S. Ziaks P.E. #13336



**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

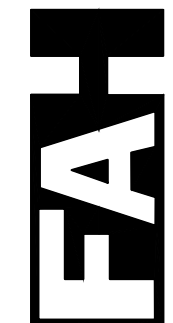
I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_  
Town Clerk

<b>AP-1</b>	<b>AREA PLAN</b> PREPARED FOR <b>Joneser's Express Transportation</b> 10 RUSSELL ROAD EAST GRANBY, CONNECTICUT Date: 09-29-2023 Drawn by: RJK Job no: 23145 Scale: 1" = 100' Checked by: DSZ Sheet no: 1 of 1 <small>Q:\2023\23145 - East Russell Road\Submital 2023-09-29\MP-1 2023-09-29.dwg, MP-1, Sep. 28, 2023 - 12:35:54 PM</small>	Revisions: <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Description													<b>APPLICANT:</b> Joneser's Express Transportation P.O. Box 872 Windsor Locks, CT 06096 (877) 966-3796	<b>OWNER:</b> Anthony Quisenti P.O. Box Z East Granby, CT 06026 (860) 653-2551
	No.	Date	Description																
	<b>F. A. Hesketh &amp; Associates, Inc.</b> 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahsketh.com - matri@fahsketh.com Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects																		

**SIGNAGE AND PAVEMENT MARKING NOTES**

1. Stop bars shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818-M.07.21
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", October 12, 2021. Contractor to confirm sign types prior to installation.
10. Additional fire lane markings and signage shall be installed as required by the Town of East Granby Fire Marshal.

**CURB TYPE LEGEND**

Symbol	Type
CONC.	Concrete Curb
BCLC	Bituminous Concrete Lip Curb

**PAVEMENT TYPE**

All new pavement shall be heavy duty except where indicated.

**PAVEMENT MARKING LEGEND**

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Centerline
SB	Painted Stop Bar (12 Inches Wide)
SGL	Painted Green Line (4 inches wide) "Kelly Green" Traffic Paint

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

**ZONING DATA TABLE**

Zone: Commerce Park Transition  
Use: Warehouse and Distribution Center

Regulation - Section V.D.6	Required	Proposed
Minimum Lot Area	80,000 Sq. Ft.	541,488 Sq. Ft.
Minimum Lot Frontage	100 Feet	1153± Feet
Minimum Front Yard	50 Feet	57.90 Feet
Minimum Side Yard	30 Feet	247.51 Feet
		19.81 Feet (existing)
Minimum Rear Yard	30 Feet	53.45 Feet
Maximum Lot Coverage	65 Percent	42.7 Percent
Maximum Building Height	35 Feet	2 Stories - 24 ± Feet

**Parking and Loading Analysis**

Per Section VII.B.2

Warehouse and storage, 0.5 spaces per 1,000 S.F.  
Business Office, 4 spaces per 1,000 S.F.

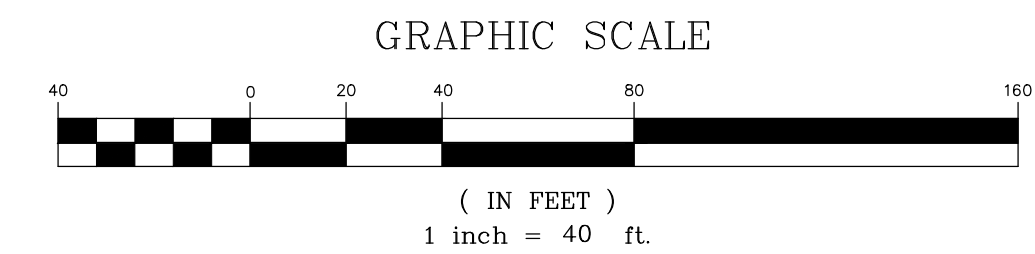
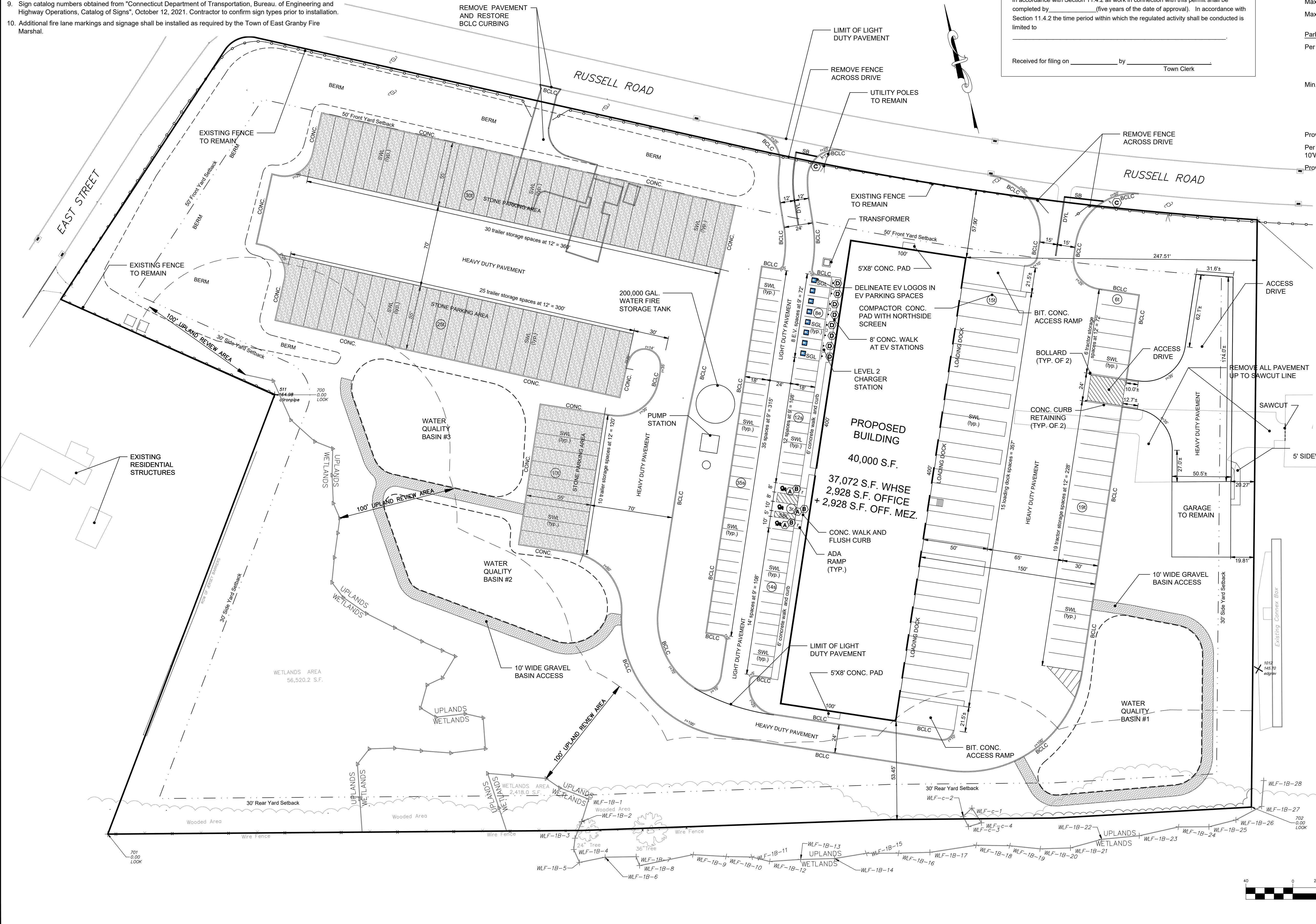
Min. Rqd Parking Spaces  
37,072 S.F. x 0.5 spaces/1,000 S.F. = 19 Spaces  
5,856 S.F. x 4 spaces/1,000 S.F. = 24 Spaces  
Total required = 43 Spaces

Provided Parking Spaces = 72 Spaces  
Per Section VII.B.5 - Loading space = adequate number 10'Wx25'Lx14'H

Provided Loading Spaces = 92 spaces 12'Wx55'Lx14'H

**SIGNAGE LEGEND**

Symbol	Graphic	Catalog Number	Quantity
(A)		New Reserved Sign (CT Building Code)	3
(B)		31-0648	2
(C)		31-0532	2
(D)		CUSTOM (12" X 18")	8



**OWNER:** Anthony Quisenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**APPLICANT:** Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

**OWNER:** F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 644-8600  
www.fahesketh.com mail@fahesketh.com

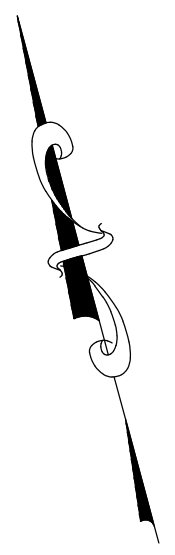
**FAH**  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

No.	Date	Description

**LAYOUT PLAN**  
PREPARED FOR  
**Joneser's Express Transportation**  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145  
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1  
0:\2023\23145 - East Russell Road\Submital 2023\2023-09-29\LA-1 2023-09-29.dwg, LA-1, Sep. 28, 2023 - 8:21:31 AM

**LA-1**



### SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

### PERMIT - WETLANDS REGULATED ACTIVITY

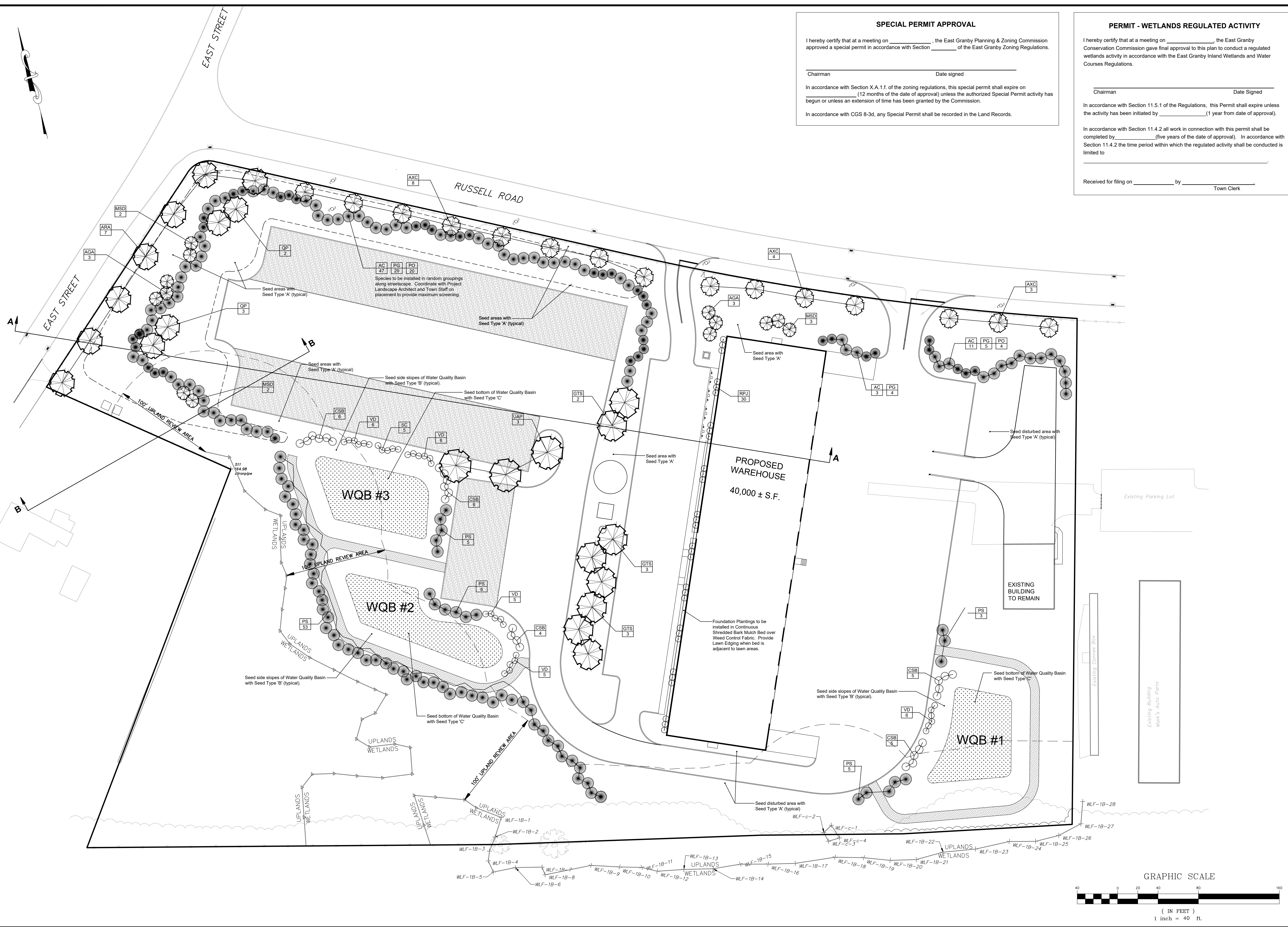
I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk



**OWNER:**  
Anthony Quisenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**APPLICANT:**  
Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

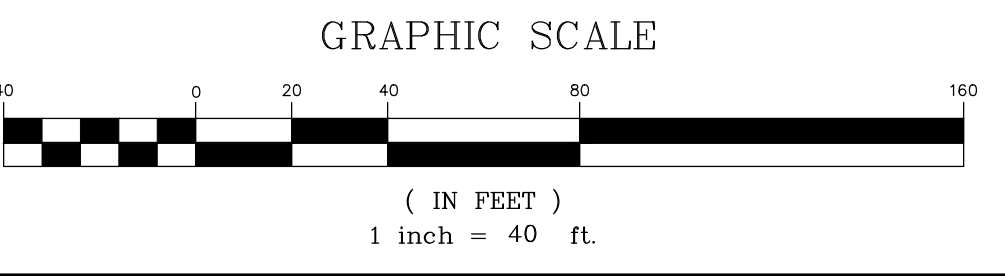
**F. A. Hesketh & Associates, Inc.**  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahsketh.com mail@fahsketh.com  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



Revisions:	
No.	Description

**LANDSCAPE PLAN**  
PREPARED FOR  
**Joneser's Express Transportation**  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT  
Date: 09-29-2023 Drawn by: DRT Job no: 23145  
Checked by: GAH Sheet no: 1 OF 3  
Scale: 1" = 40'  
V:\2023\23145 - East Russell Road\Submit\2023-09-29\LS-1 2023-09-29.dwg, LS-1, Sep. 28, 2023 -- 8:26:38 AM

**LS-1**



# LANDSCAPE SCHEDULE

## Deciduous Canopy Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AXA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	7	3 to 3 1/2 inch caliper	Balled and Burlapped	50 Feet
AXC	<i>Acer x freemanii</i> 'Celebration'	Celebration Maple	15	3 to 3 1/2 inch caliper	Balled and Burlapped	45 Feet
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	8	2 1/2 to 3 inch caliper	Balled and Burlapped	40 Feet
QP	<i>Quercus palustris</i>	Pin Oak	5	2 1/2 to 3 inch caliper	Balled and Burlapped	60 Feet
UAP	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	3	2 1/2 to 3 inch caliper	Balled and Burlapped	70 Feet

## Flowering Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AGA	<i>Amelanchier x grand</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet
MSD	<i>Malus x</i> 'Snowdrift'	Snowdrift Crabapple	7	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet

## Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AC	<i>Abies concolor</i>	White Fir	61	5 to 6 foot height	Balled and Burlapped	50 Feet
PG	<i>Picea glauca</i>	White Spruce	39	5 to 6 foot height	Balled and Burlapped	50 Feet
PO	<i>Picea omorika</i>	Serbian Spruce	24	5 to 6 foot height	Balled and Burlapped	55 Feet
PS	<i>Pinus strobus</i>	Eastern White Pine	74	5 to 6 foot height	Balled and Burlapped	60 Feet

## Deciduous Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CSB	<i>Cornus sericea</i> 'Bailey'	Bailey's Red Twig Dogwood	26	18 to 24 inch height	#3 Container	8 Feet
SC	<i>Sambucus canadensis</i>	Elderberry	5	18 to 24 inch height	#3 Container	10 Feet
VD	<i>Viburnum dentatum</i>	Arrowwood	28	18 to 24 inch height	#3 Container	8 Feet

## Broadleaf Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
RPJ	<i>Rhododendron x</i> 'P.J.M.'	P.J.M. Rhododendron	30	18 to 24 inch spread	#3 Container	5 Feet

## SEED TYPES

### Seed Type A - General Lawn

Sun & Shade Mixture

By: Jonathan Green or approved equal

Seed rate: 25 pounds per 9,375 square feet

20% Darkstar II Perennial Ryegrass  
 20% Carmen Chewings Fescue  
 15% Deepblue Kentucky Bluegrass  
 15% Eugene Creeping Red Fescue  
 15% Yorkshire Dales Perennial Ryegrass  
 15% Salisbury Chewings Fescue

### Seed Type B - Conservation Mix

New England Erosion Control / Restoration Mix

By: New England Wetland Plants, Inc. or approved equal

Seed rate: 35 pounds per Acre

Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-marigold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)

### Seed Type C - WetMix

New England Wetmix  
 by New England Wetland Plants, Inc.  
 www.newp.com  
 413-548-8000

Application Rate: 1 lbs per 2,500 square feet

Fox Sedge (*Carex vulpinoidea*), Hop Sedge (*Carex lupulina*), Bearded Sedge (*Carex comosa*), Lurid Sedge (*Carex lurida*), Nodding Bur Marigold (*Bidens cernua*), Soft Rush (*Juncus effusus*), Grass-leaved Goldenrod (*Solidago graminifolia*), Blue Vervain (*Verbena hastata*), Boneset (*Eupatorium perfoliatum*), Flat-top Aster (*Aster umbellatus*), Hard-stem Bulrush (*Scirpus acutus*), Green Bulrush (*Scirpus atrovirens*), Woolgrass (*Scirpus cypripinus*), Sensitive Fern (*Onoclea sensibilis*), Spotted Joe-Pye Weed (*Eupatorium maculatum*), Water Plantain (*Alisma plantago-aquatica*), Soft-Stem Bulrush (*Scirpus validus*), Dilch Stonecrop (*Penthorum sedoides*)

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Date signed

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

\_\_\_\_\_  
Chairman

\_\_\_\_\_  
Date Signed

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

OWNER: Anthony Oquisenti  
 P.O. Box Z  
 East Granby, CT 06026  
 (860) 653-2551

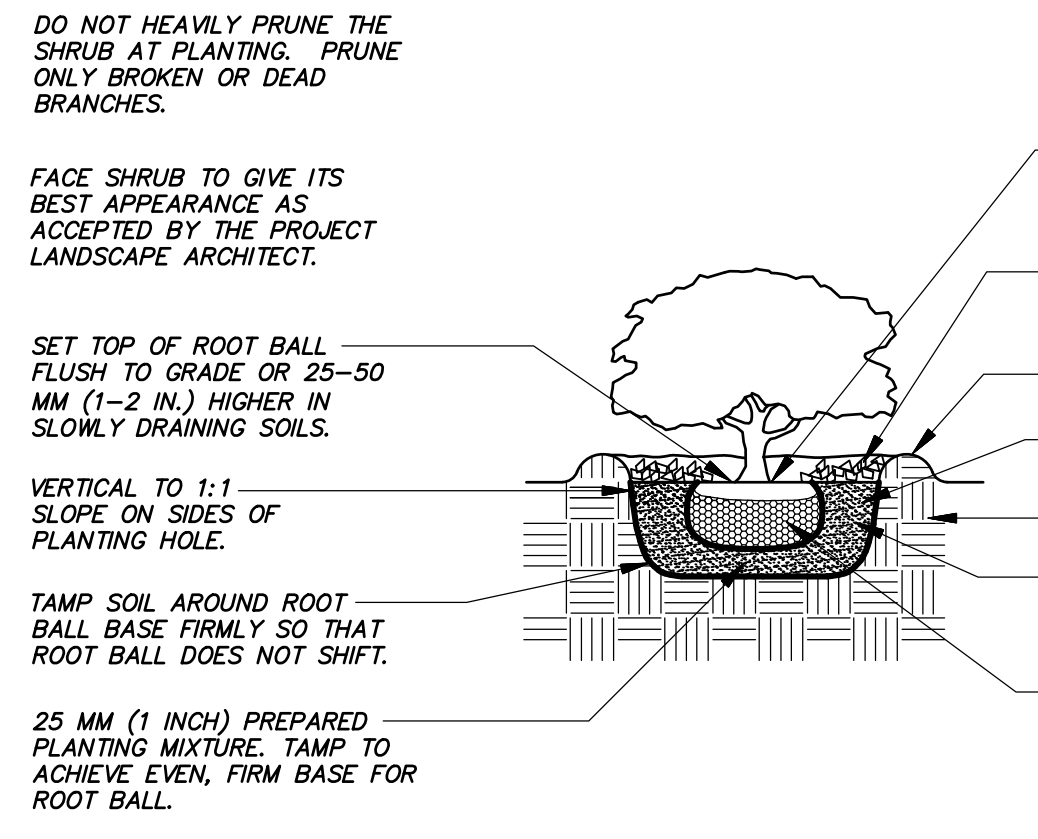
APPLICANT: Joneser's Express Transportation  
 P.O. Box 872  
 Windsor Locks, CT 06096  
 (877) 966-3796

OWNER'S SIGNATURE \_\_\_\_\_  
 DATE: \_\_\_\_\_

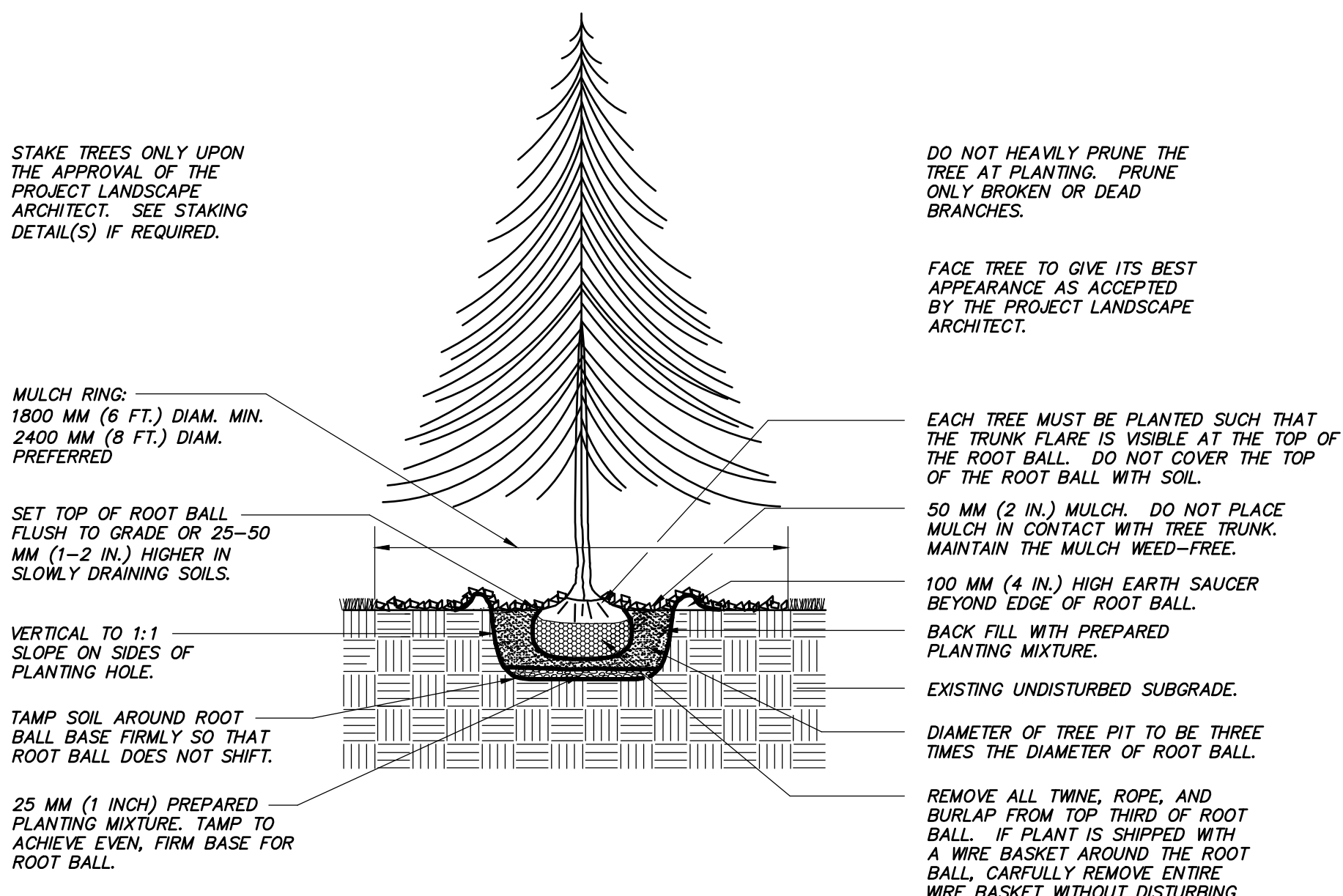
**F. A. Hesketh & Associates, Inc.**  
 3 Creamery Brook, East Granby, CT 06026  
 Phone (860) 653-8000 Fax (860) 644-8600  
 www.fahsketh.com . maffrisheketh.com

**FAH**  
 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

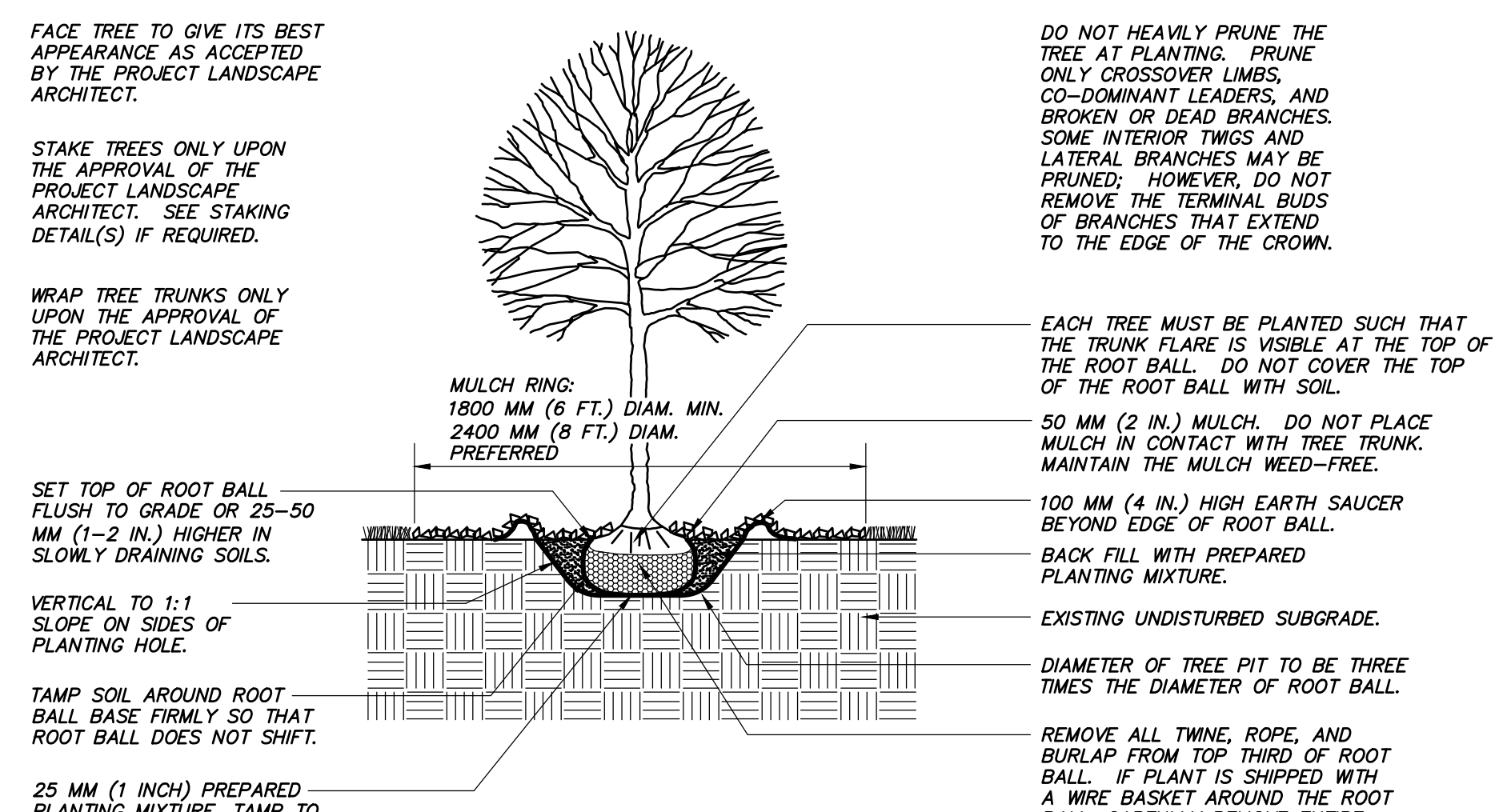
Revisions:	No.	Date	Description



**SHRUB PLANTING DETAIL**  
 N. T.S.



**EVERGREEN B&B TREE PLANTING DETAIL**  
 N. T.S.



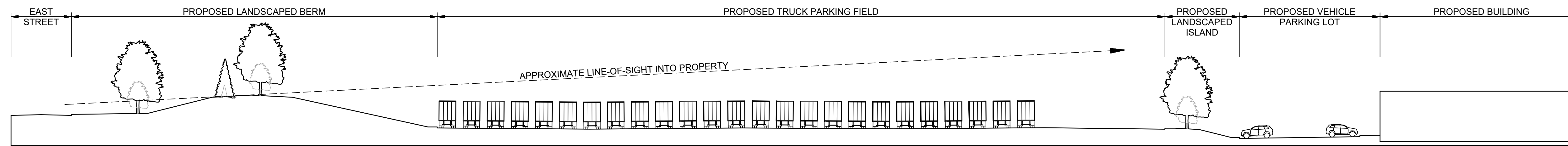
**B&B TREE PLANTING DETAIL**  
 N. T.S.

LANDSCAPE SCHEDULE, DETAILS AND NOTES

PREPARED FOR: **Joneser's Express Transportation**  
 10 RUSSELL ROAD  
 EAST GRANBY, CONNECTICUT

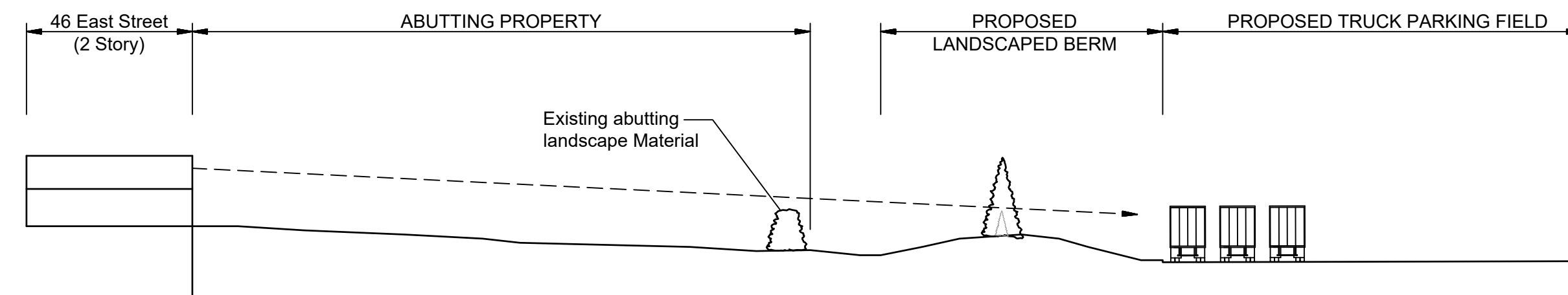
Date: 09-29-2023 Drawn by: DFT Job no: 23145  
 Scale: NO SCALE Checked by: GAH Sheet no: 2 OF 3  
 0:\2023\23145 - East Russell Road\Submital\2023-09-29\LS-1 - 2023-09-29.dwg, LS-2, Sep. 24, 2023 - 4:40:24 PM

**LS-2**



**CROSS SECTION A:A THRU LANDSCAPE BERM**

SCALE: 1" = 30'



**CROSS SECTION B:B THRU LANDSCAPE BERM**

SCALE: 1" = 30'

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_ the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_

Received for filing on \_\_\_\_\_ by \_\_\_\_\_  
Town Clerk

Revisions:	
No.	Description

**APPLICANT:** Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

**OWNER:** Anthony Quisanti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**PREPARED FOR:** Joneser's Express Transportation  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT  
Date: 09-29-2023 Drawn by: DFT Job no: 23145  
Checked by: GAH Sheet no: 3 OF 3  
Scale: 1" = 30'

**FAH**  
Civil & Traffic Engineers • Surveyors • Landscape Architects

**F. A. Hesketh & Associates, Inc.**  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahsketh.com mail@fahsketh.com

**LS-3**

### SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.1 of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

### PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

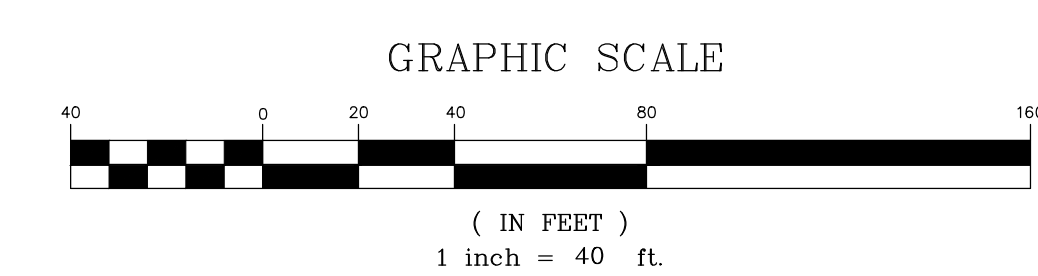
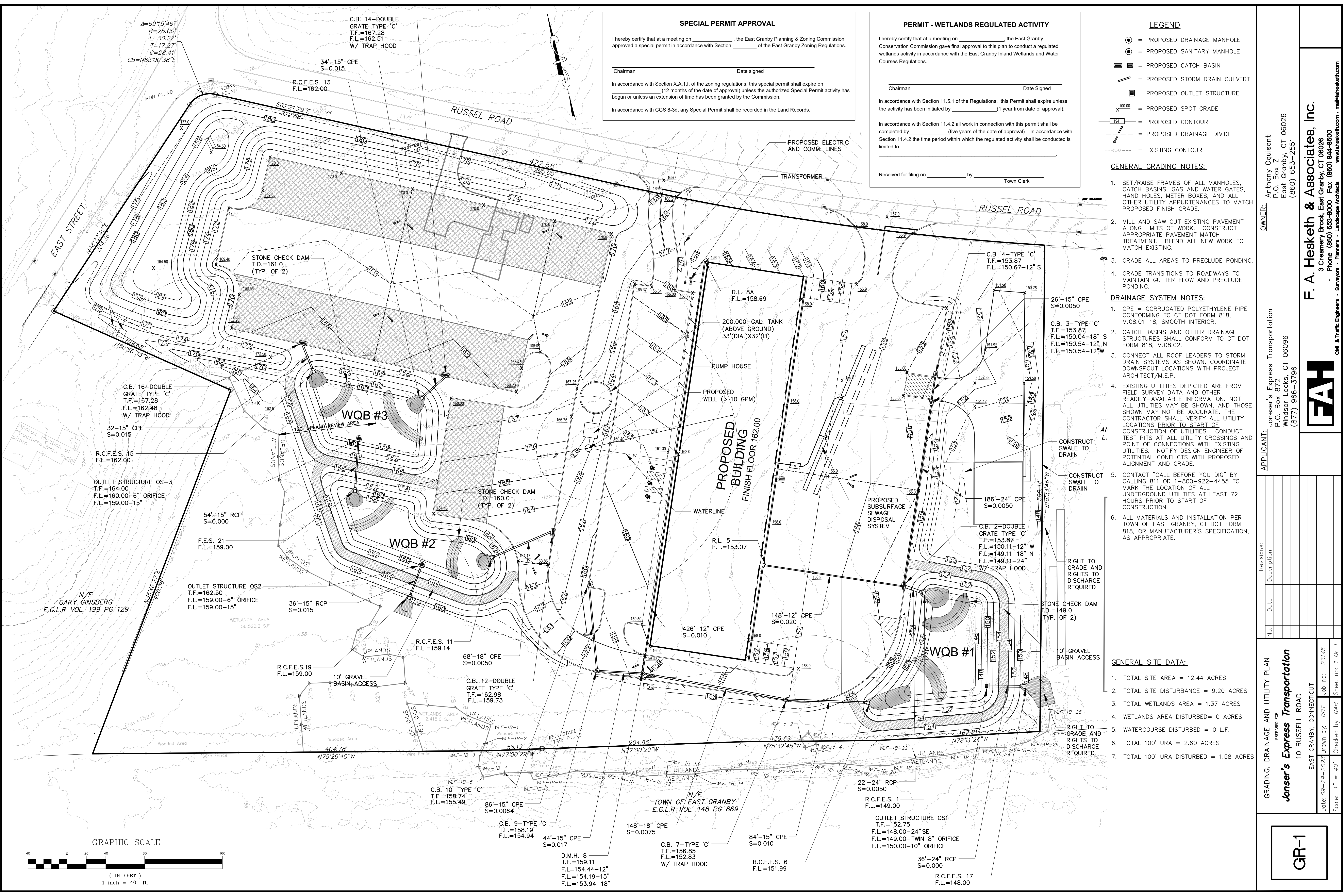
Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

- ### LEGEND
- = PROPOSED DRAINAGE MANHOLE
  - = PROPOSED SANITARY MANHOLE
  - = PROPOSED CATCH BASIN
  - = PROPOSED STORM DRAIN CULVERT
  - = PROPOSED OUTLET STRUCTURE
  - x 100.00 = PROPOSED SPOT GRADE
  - = PROPOSED CONTOUR
  - - - = PROPOSED DRAINAGE DIVIDE
  - = EXISTING CONTOUR

- ### GENERAL GRADING NOTES:
- SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
  - MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. CONSTRUCT APPROPRIATE PAVEMENT MATCH TREATMENT. BLEND ALL NEW WORK TO MATCH EXISTING.
  - GRADE ALL AREAS TO PRECLUDE PONDING.
  - GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW AND PRECLUDE PONDING.

- ### DRAINAGE SYSTEM NOTES:
- CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT FORM 818, M.08.01-18, SMOOTH INTERIOR.
  - CATCH BASINS AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CT DOT FORM 818, M.08.02.
  - CONNECT ALL ROOF LEADERS TO STORM DRAIN SYSTEMS AS SHOWN. COORDINATE DOWNSPOUT LOCATIONS WITH PROJECT ARCHITECT/M.E.P.
  - EXISTING UTILITIES DEPICTED ARE FROM FIELD SURVEY DATA AND OTHER READILY-AVAILABLE INFORMATION. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION OF UTILITIES. CONDUCT TEST PITS AT ALL UTILITY CROSSINGS AND POINT OF CONNECTIONS WITH EXISTING UTILITIES. NOTIFY DESIGN ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE.
  - CONTACT "CALL BEFORE YOU DIG" BY CALLING 811 OR 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION.
  - ALL MATERIALS AND INSTALLATION PER TOWN OF EAST GRANBY, CT DOT FORM 818, OR MANUFACTURER'S SPECIFICATION, AS APPROPRIATE.

- ### GENERAL SITE DATA:
- TOTAL SITE AREA = 12.44 ACRES
  - TOTAL SITE DISTURBANCE = 9.20 ACRES
  - TOTAL WETLANDS AREA = 1.37 ACRES
  - WETLANDS AREA DISTURBED = 0 ACRES
  - WATERCOURSE DISTURBED = 0 L.F.
  - TOTAL 100' URA = 2.60 ACRES
  - TOTAL 100' URA DISTURBED = 1.58 ACRES



**OWNER:**  
Anthony Quisenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**APPLICANT:**  
Jonser's Express Transportation  
P.O. Box 872  
Windor Locks, CT 06096  
(877) 966-3796

**F. A. Hesketh & Associates, Inc.**  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 644-8600  
www.fahsketh.com · mafrisketh.com  
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects

Revisions:

No.	Date	Description

GRADING, DRAINAGE AND UTILITY PLAN  
PREPARED FOR  
**Jonser's Express Transportation**  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145  
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1  
C:\2023\23145 - East Russel Road\Submittal 2023-09-29\GR-1 2023-09-29.dwg, GR-1, Sep. 28, 2023 - 9:08:30 AM

**GR-1**

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk \_\_\_\_\_

- LEGEND - PROPOSED**
- = CATCH BASIN
  - = SANITARY MANHOLE
  - = DRAINAGE MANHOLE
  - = STORM DRAIN CULVERT
  - = SPOT GRADE
  - = CONTOUR
  - = CONSTRUCTION EXIT (CE)
  - = CATCH BASIN INLET PROTECTION (IP)
  - = SILT FENCE EROSION CONTROL (SFEC)
  - = SEDIMENT FENCE EROSION CONTROL (SFEC)
  - = SEDIMENTATION LOG (SL)
  - = TEMP. DIVERSION (TD)
  - = VEGETATIVE SWALES (GRSW)
  - = EROSION CONTROL BLANKET (ECB)
  - = INLET PROTECTION (IP)
  - = CONSTRUCTION ENTRANCE (CE)
  - = SILT FENCE EROSION CONTROL (SFEC)
  - = SEDIMENT LOG (SL)
  - = RIPRAP PLUNGE POOL (RRPP)
  - = TEMP. DIVERSION (TD)
  - = TEMP. SEDIMENT TRAP (TST)
  - = CLEARING LIMIT (CL)
  - = TEMP. SOIL STOCKPILE (TSS)
  - = SOIL TYPE FROM LEGEND

**TEMPORARY SEDIMENT TRAPS**

ACRES	CY	VOLUME REQUIRED *		
		TOTAL (CF)	WET STORAGE	
TST-1	3.18	426	11512	5756
TST-2	1.80	241	6515	3257
TST-3	2.82	378	10199	5099

\* 134 CY PER ACRE TOTAL WITH A MIN. OF ONE HALF IN WET STORAGE

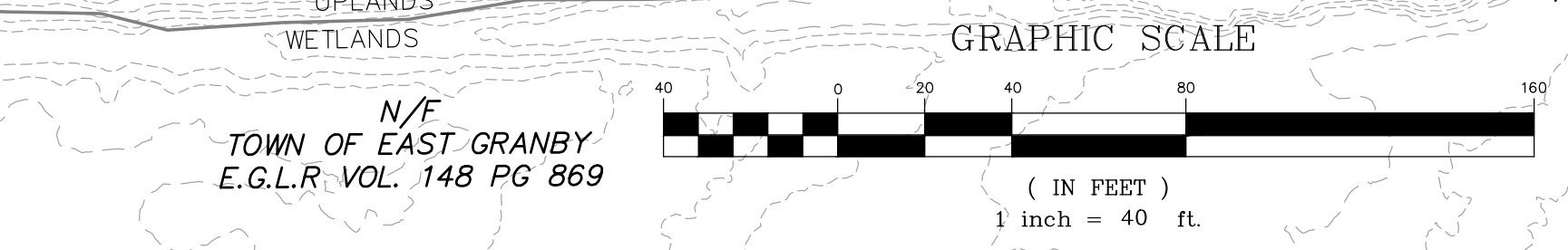
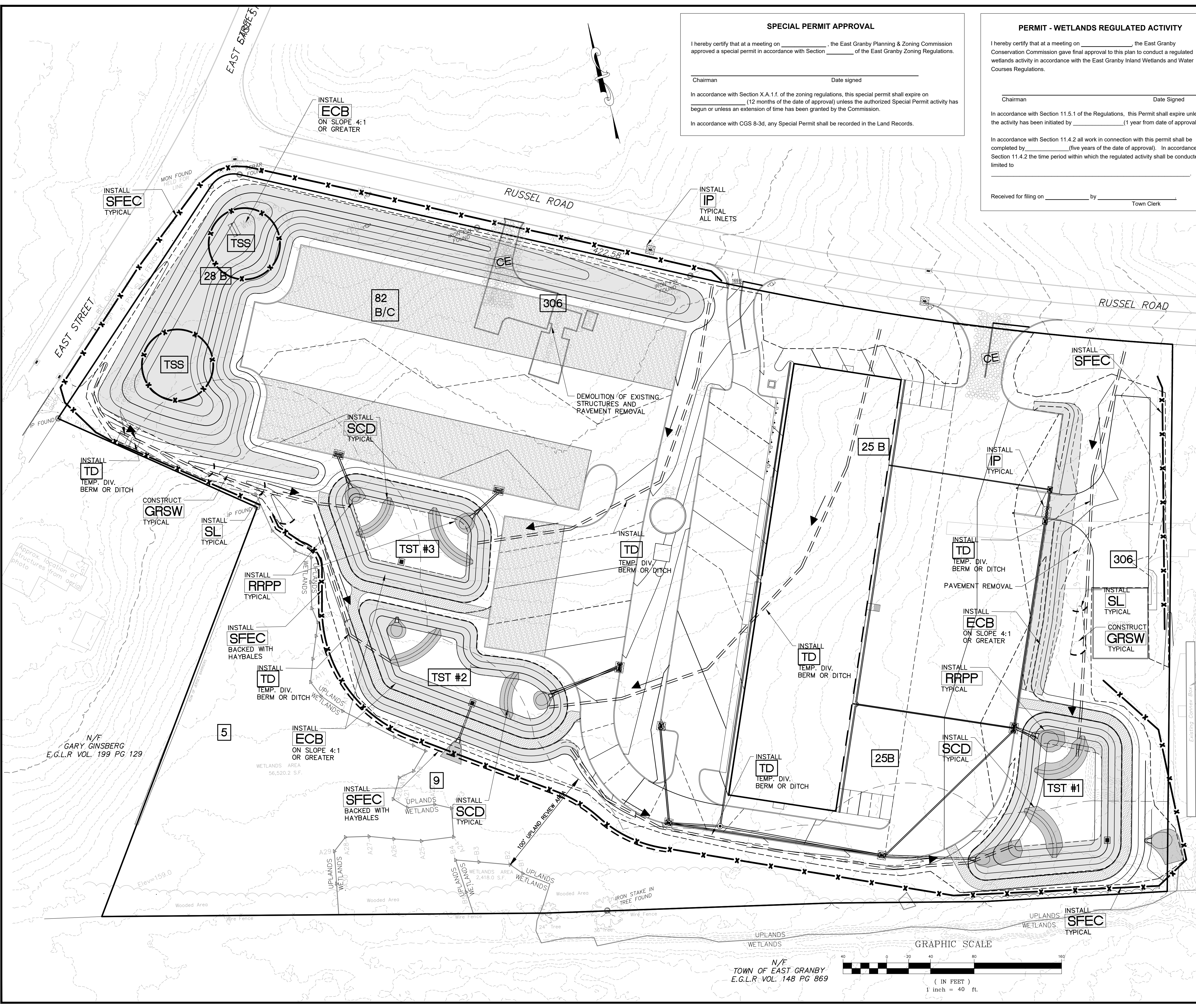
	VOLUME PROVIDED	
	TOTAL	WET STORAGE
TST-1	22449	13441
TST-2	22009	13369
TST-3	30537	21288

**SOIL TYPE LEGEND**

- 5 - Wilbraham Silt Loam, (0-3%) - Rating: C/D
- 9 - Scitico, Shaker, and Maybid Soils - Rating: D
- 25B - Brandcroft Silt Loam, (3-8%) - Rating: C
- 28B - Elmridge Fine Sandy Loam, (3-8%) - Rating: C
- 82B - Broadbrook Silt Loam, (3-8%) - Rating: C
- 82C - Broadbrook Silt Loam, (8-15%) - Rating: C
- 306 - Udorhents-Urban Land - Rating: B

**RIP RAP PLUNGE POOL NOTE.**

AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.



**OWNER:** Anthony Quisenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**APPLICANT:** Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

**PREPARED FOR:** Joneser's Express Transportation

**PROJECT:** 10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

**DATE:** 09-29-2023  
**DRAWN BY:** DRT  
**CHECKED BY:** GAH  
**SHEET NO.:** 1 OF 1

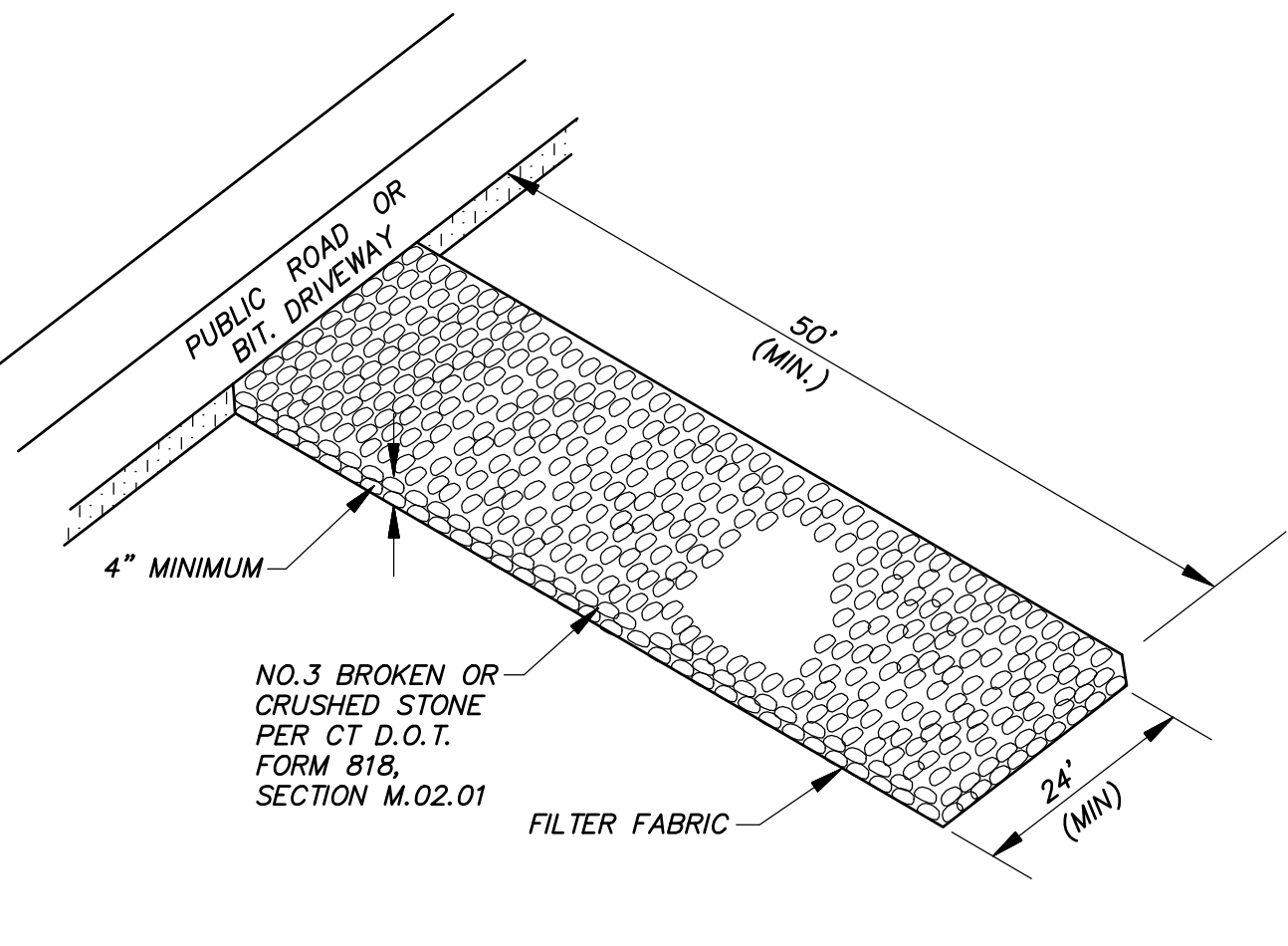
**SCALE:** 1" = 40'

**DATE:** 09-29-2023  
**PROJECT:** 10 Russell Road/Submital 2023-09-29/EC-1, 2023-09-29/99, EC-1, Sep. 28, 2023 - 8:51:27 AM

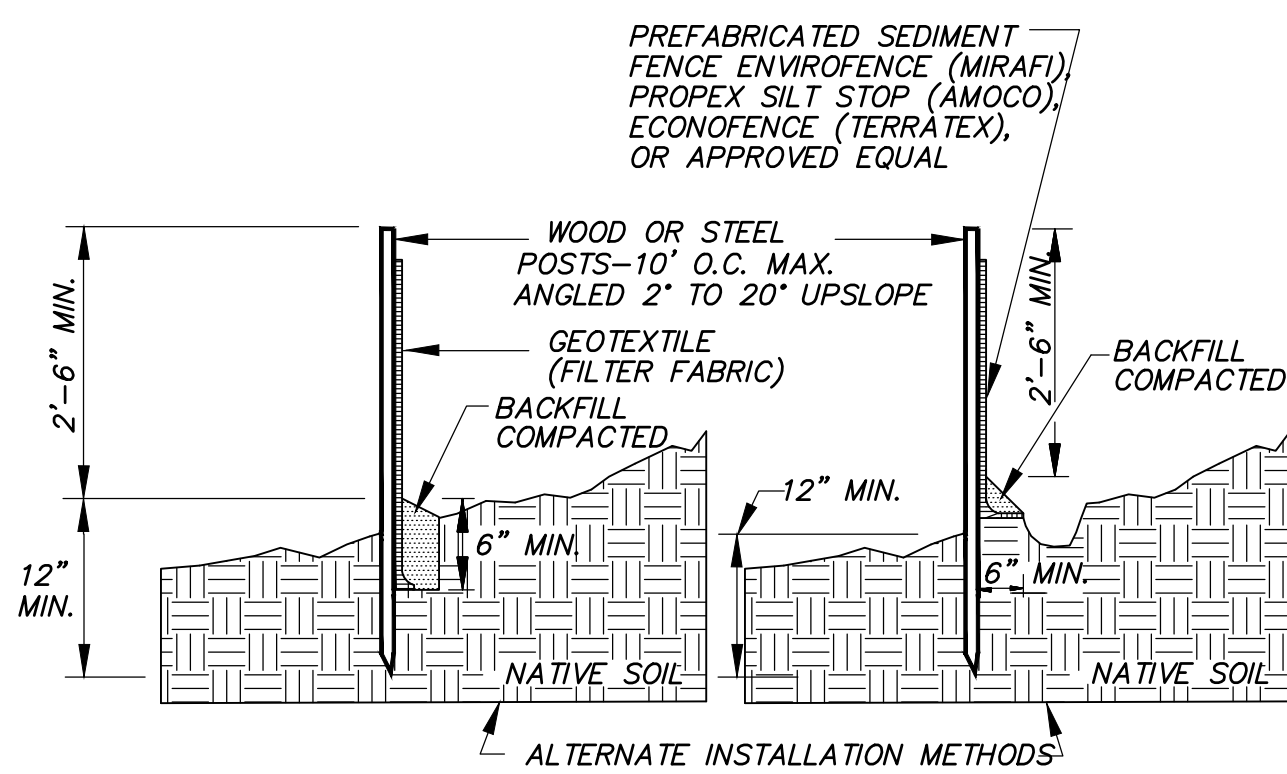
**FAH**  
F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 644-8600  
www.fahhsketh.com mail@fahhsketh.com  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

**EC-1**





**CONSTRUCTION EXIT (CE)**  
N.T.S.

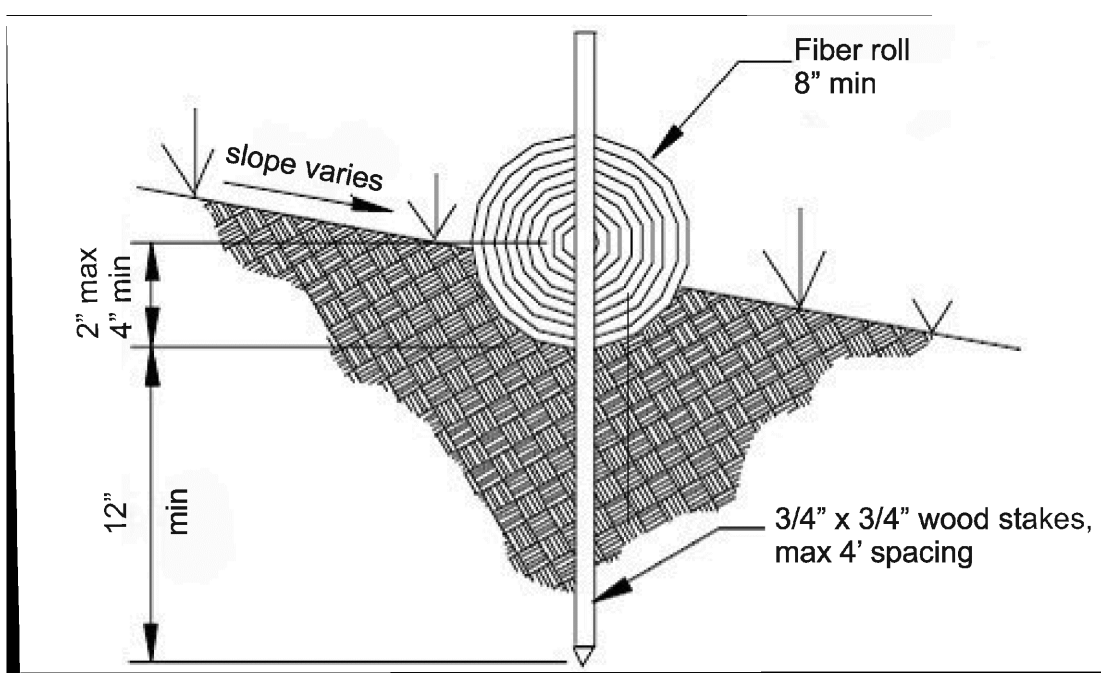


**NOTE:**  
1. WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT X 48".  
2. JOINTS, WHEN REQUIRED, SHALL BE SPLICED & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

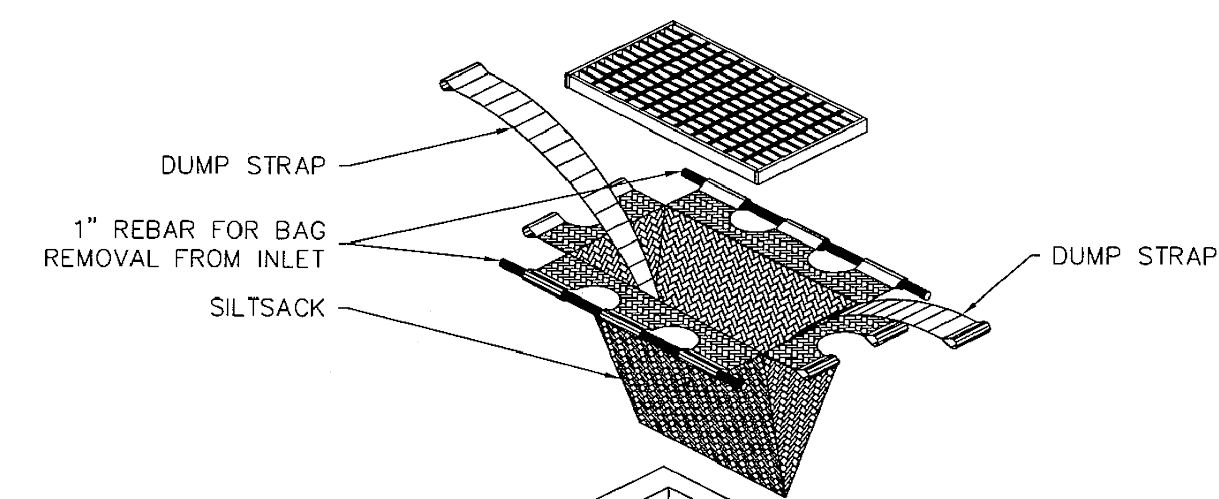
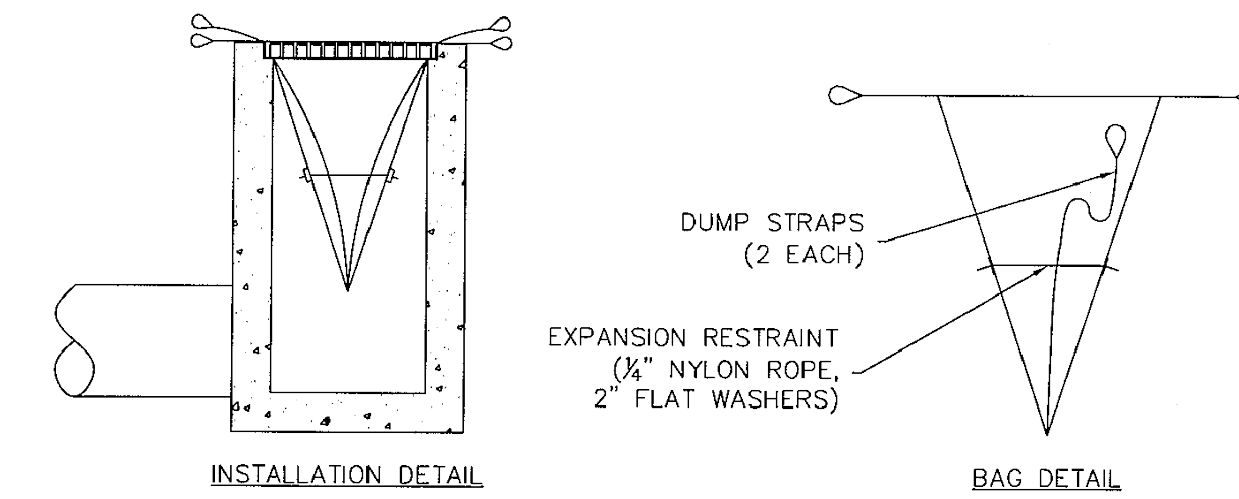
**SEDIMENT FENCE EROSION CONTROL (SFEC)**  
N.T.S.

**NOTES:**

1. USE SEDIMENT LOG BY AMERICAN EXCELSIOR, OR APPROVED EQUAL
2. FOR USE IN SWALES, TURN ENDS SLIGHTLY UP-GRADIENT TO DIRECT RUNOFF TOWARD CENTER OF LOG.
3. WHEN BACKING SILT FENCE EROSION CONTROL, INSTALL SILT FENCE FIRST, THEN PLACE SEDIMENT LOG IMMEDIATELY BEHIND (DOWN GRADIENT OF) SILT FENCE.



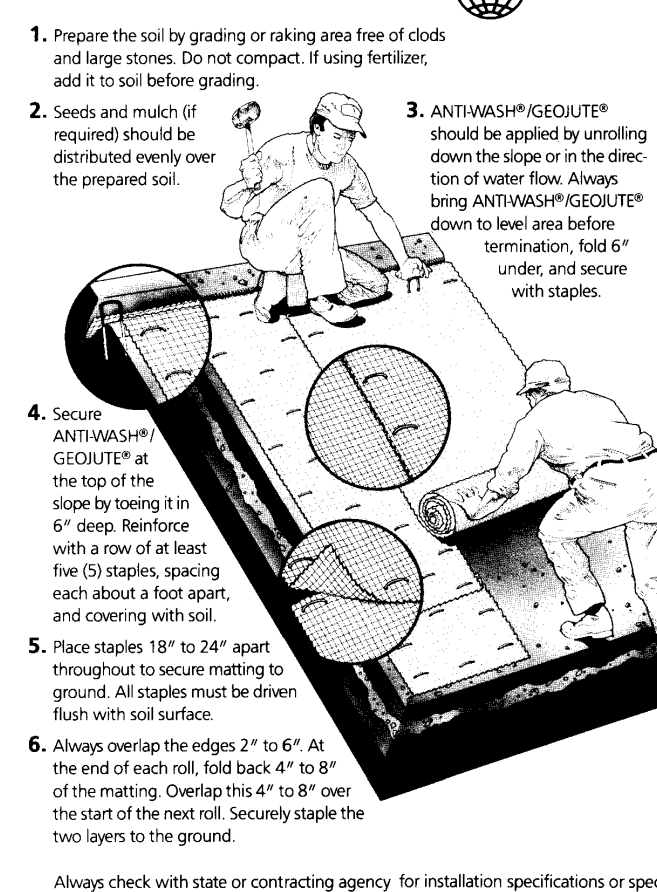
**SEDIMENT LOG (SL) SECTION**  
N.T.S.



1. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS
2. WHERE CATCH BASINS WITH CURB INLETS ARE PROPOSED USE SILT SACKS DESIGNED TO COVER AND PROTECT CURB INLETS

**INLET PROTECTION (IP) [SILT SACK INSERT]**  
N.T.S.

**ANTI-WASH®/GEOJUTE®**

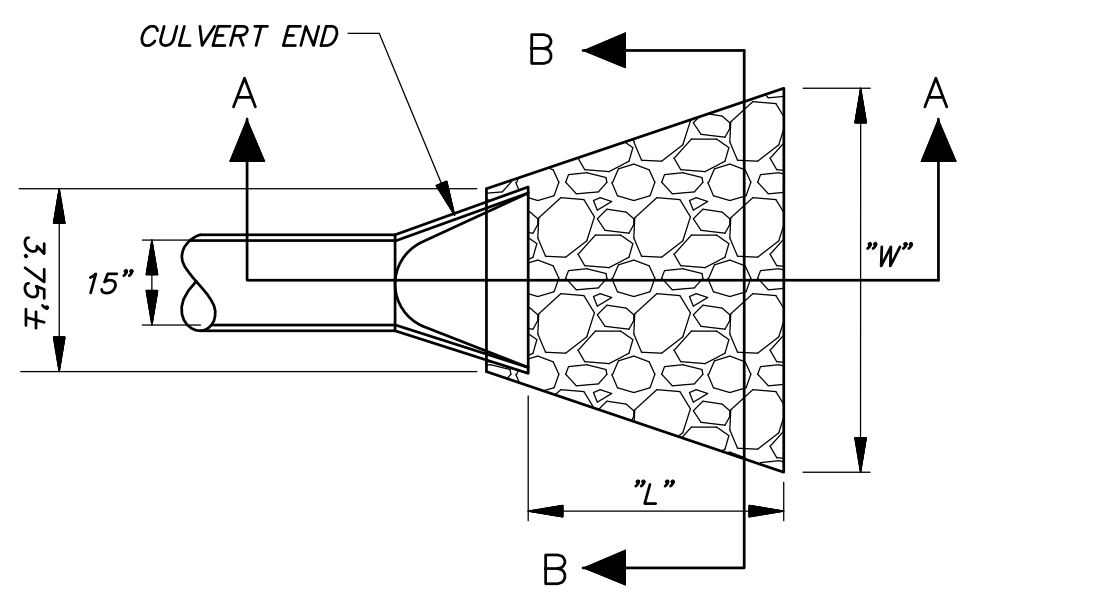
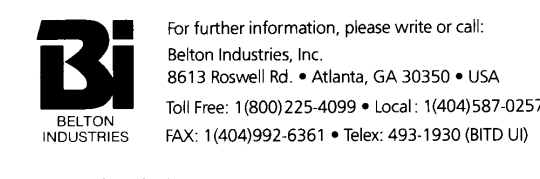


- Waterway Installation**
1. Prepare the soil by grading or raking area free of clods and large stones. Do not compact. If using fertilizer, add it to soil before grading.
  2. Secure ANTI-WASH®/GEOJUTE® as the top of the slope by taking it in 6" deep trenches with a row of at least five (5) staples, spacing each about a foot apart, and covering with soil.
  3. ANTI-WASH®/GEOJUTE® should be applied by unrolling down the slope or in the direction of water flow. Always bring ANTI-WASH®/GEOJUTE® down to level area before termination. Fold 6" under, and secure with staples.
  4. Provide drains as needed.
  5. Place staples 18" to 24" apart, throughout to become matting to ground. All staples must be driven flush with soil surface.
  6. Always overlap the edges 2" to 6". At the end of each roll, fold back 4" to 8" over the matting. Overlap this 4" to 8" over the start of the next roll. Securely staple the two layers to the ground.

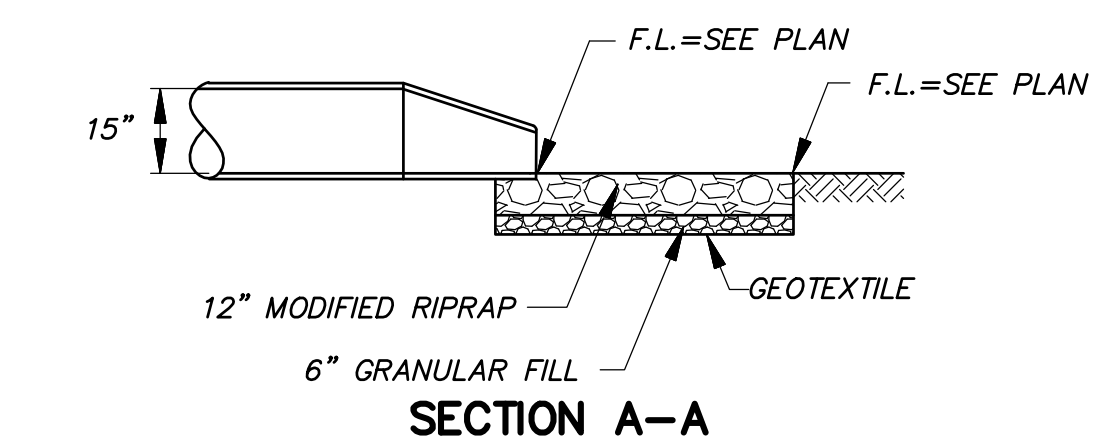
- Helpful Hints**
- Keep dry in storage
  - Remember to lay ANTI-WASH®/GEOJUTE® loosely, do not stretch.
  - Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
  - TO ESTABLISH A CHECK SLOT:
    1. Dig 6" deep trench perpendicular to water flow.
    2. Roll ANTI-WASH®/GEOJUTE® in back or three folds (see diagram) and set into trench.
    3. Staple fabric securely in bottom of trench and continue rolling down hill.
  - Because ANTI-WASH®/GEOJUTE® has 60 to 65% of open area, additional seed can be broadcast over the matting to cover bare spots that may appear due to improper seeding or poor germination.
  - Recommended usage: Approximately 200 staples per 100 sq. yds.

Specifications		Staples	Type	Weight per Carton	Staples per Carton
<b>Property Results</b>		11 gauge 6"		43 lbs.	1,000
Fabric structure		Woven		39 lbs.	500
Yarn		Jute, undyed and unbleached		50 lbs.	500
Fabric width		48"		Typical usage: Approximately 200 staples per roll.	
Weight		52 lbs/yd <sup>2</sup>		Other lengths of staples available on request.	
Yarn count/Warp		78 per width, minimum			
Weft		42 per linear yard, minimum			
Water Absorption		>450% of fabric weight			
Open Area		60-65%			
Durability		1-2 years			
Coverage		approximately 50 rolls per acre (using 100' of roll)			
			<b>Roll Packaging</b>	Available in regular and smaller resistant treated rolls. (Call or write for current product data sheet on smaller resistant fabric)	
			<b>Width x length</b>	<b>Type</b>	<b>Sq. Yards</b>
			48" x 225'	Regular	100
			48" x 225'	Smaller-resistant	50
			48" x 147'	LP5 side roll	60

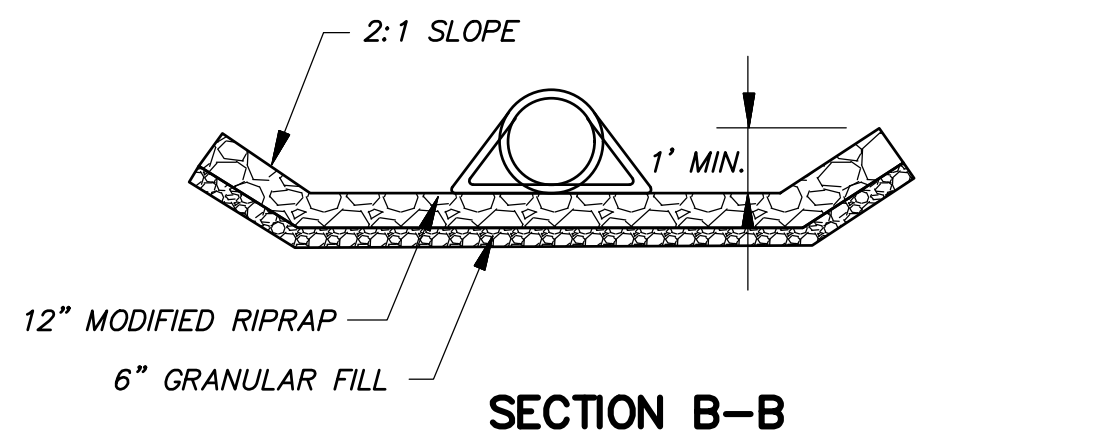
Distributed By:



**PLAN VIEW**

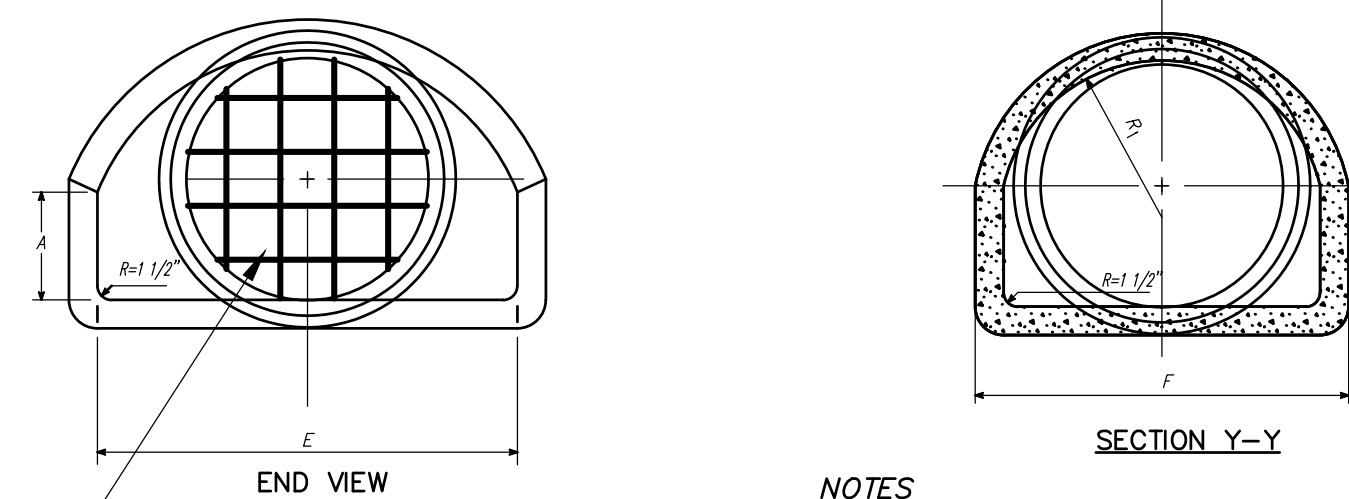


**SECTION A-A**



**SECTION B-B**

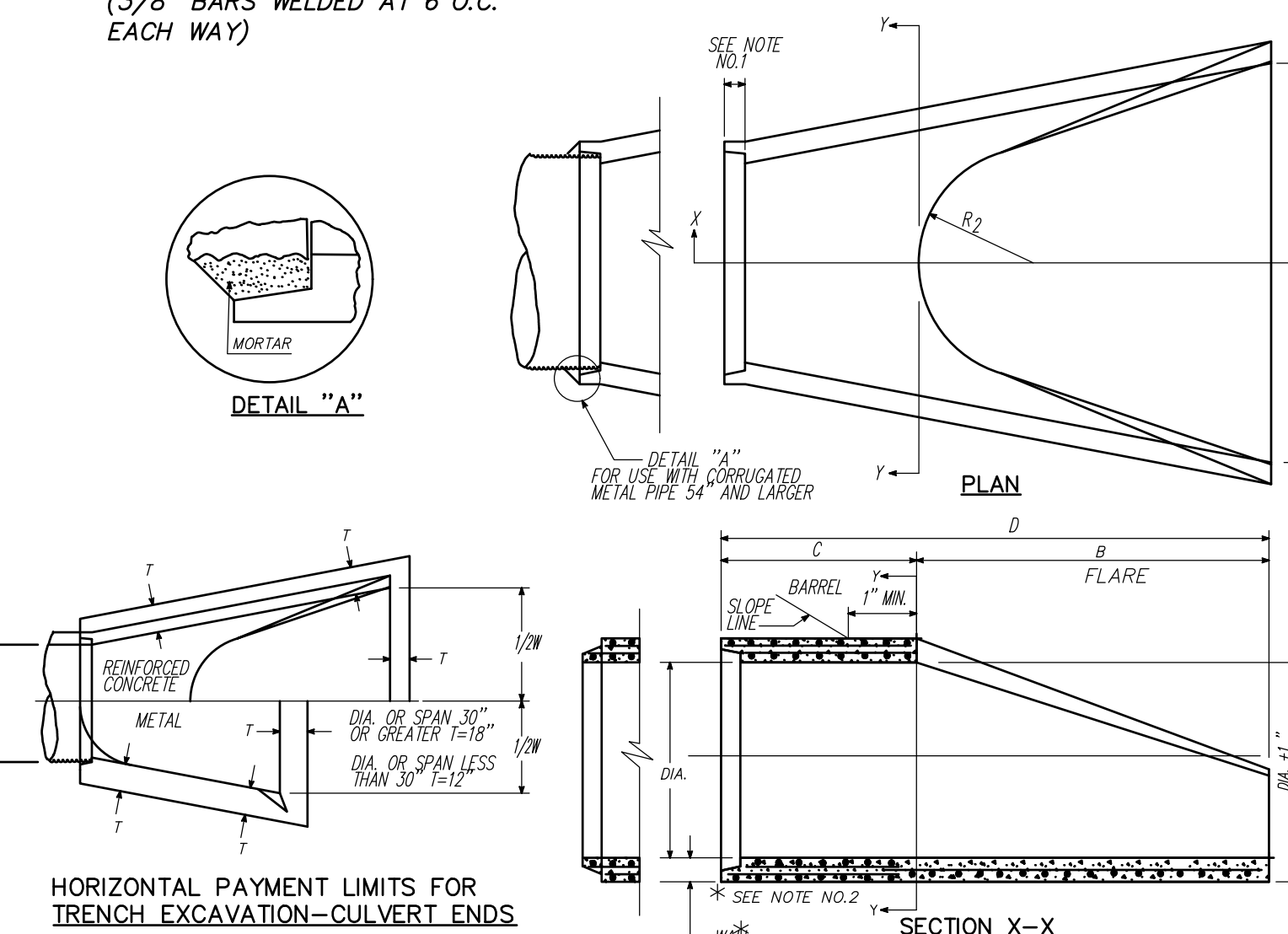
**RIP RAP OUTLET LEVEL SPREADER (RRLS)**  
N.T.S.



**INSTALL BAR GRATE ON PIPES 36" DIA. OR GREATER (3/8" BARS WELDED AT 6" O.C. EACH WAY)**

**NOTES:**

1. JOINTS SHALL BE TONGUE AND GROOVE OR BELL AND SPIGOT AS REQUIRED TO CONFORM TO PIPE INSTALLED.
2. WALL THICKNESS SHALL CONFORM TO PIPE THICKNESS.

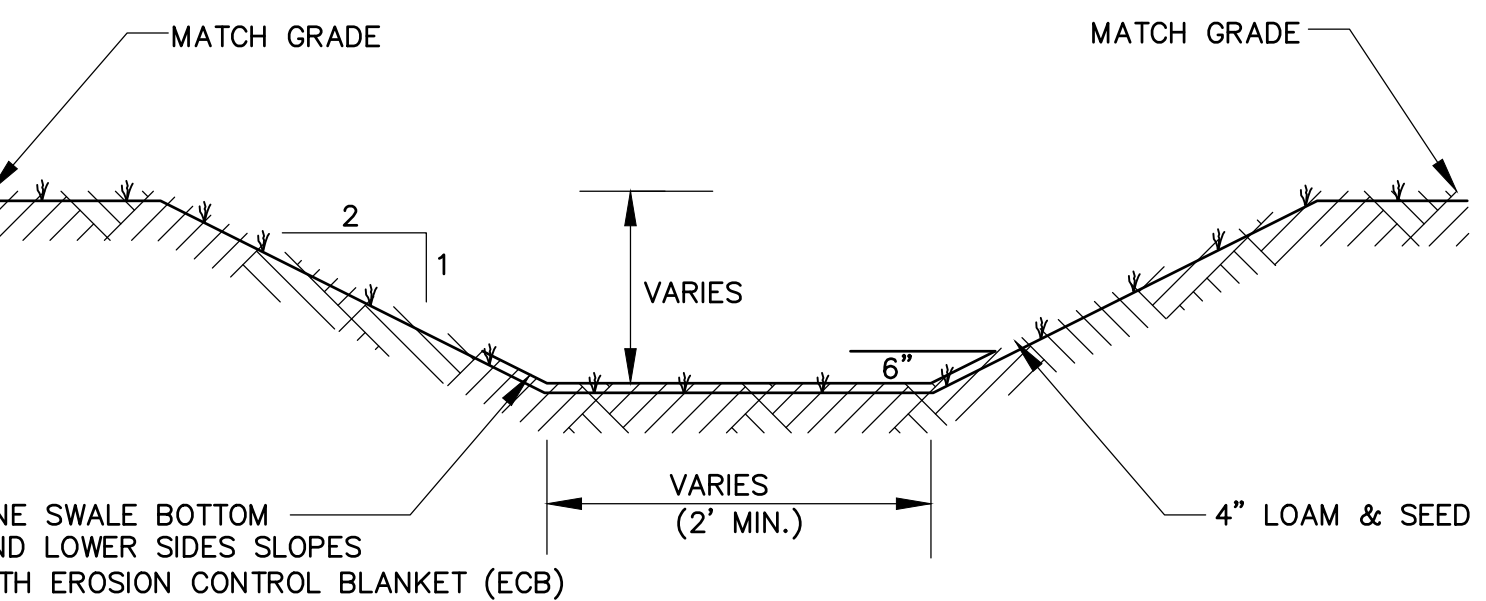


**HORIZONTAL PAYMENT LIMITS FOR TRENCH EXCAVATION-CULVERT ENDS**

**SECTION X-X**

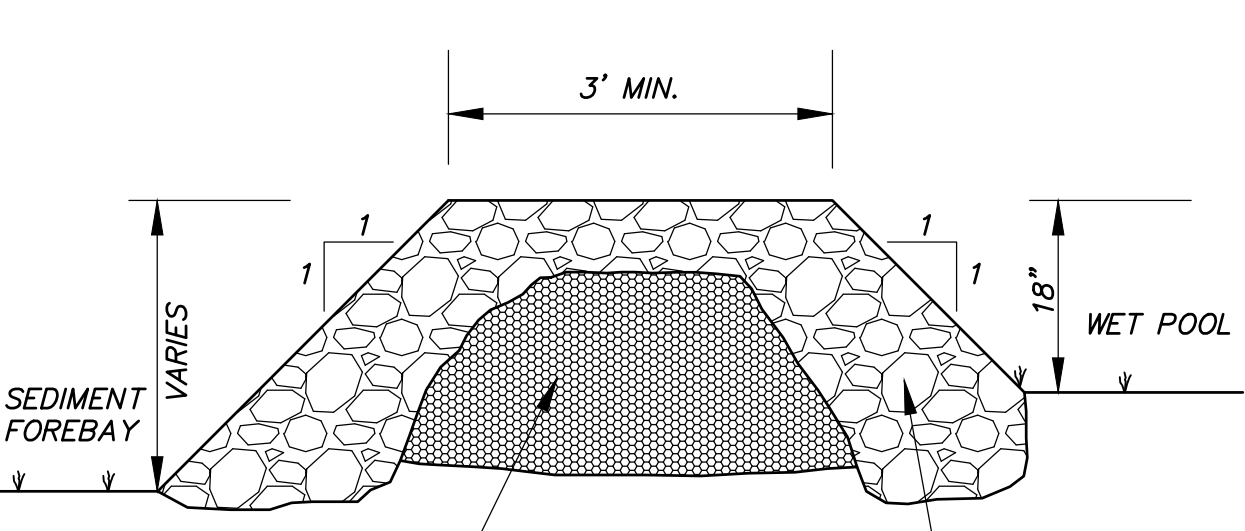
DIMENSIONS FOR REINFORCED CONCRETE CULVERT END										FLARE REINFORCEMENT	
DIA.	A	B	C	D	E	F	R <sub>1</sub>	R <sub>2</sub>		ONE LAYER ONLY IN CENTER OF WALL	
										MIN. AREA OF LONGITUDINALS SQ. IN. PER FT.	MIN. AREA OF TRANSVERSE STEEL SQ. IN. PER FT.
12"	4"	2'-0"	4'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"	10 1/4"	9"	0.048	0.048	
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 5/16"	1'-0 1/2"	11"	0.054	0.054	
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-5"	1'-3 1/2"	1'-0"	0.060	0.060	
21"	9"	2'-11"	3'-2"	6'-11"	3'-6"	2'-7 1/2"	1'-4"	1'-11"	0.066	0.066	
24"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	2'-9 3/16"	1'-4 13/16"	1'-2"	0.072	0.072	
30"	1'-0"	4'-8"	1'-7 3/4"	6'-1 3/4"	5'-0"	3'-1"	1'-6 1/2"	1'-3"	0.084	0.084	
36"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	3'-11 13/16"	2'-0 5/16"	1'-8"	0.096	0.096	

**REINFORCED CONCRETE CULVERT END**  
N.T.S.



**VEGETATED SWALE DETAIL (GRSW)**  
N.T.S.

- NOTES:**
1. INSTALL BETWEEN SEDIMENT FOREBAY AND WET POOL IN EACH WATER QUALITY BASIN.



**STONE CHECK DAM (SCD)**  
N.T.S.

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk \_\_\_\_\_

**REVISIONS:**

No.	Date	Description

**APPLICANT:**  
Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

**OWNER:**  
Anthony Quisanti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**FAH**  
CMT & Traffic Engineers - Planners - Landscape Architects

**PREPARED FOR**  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

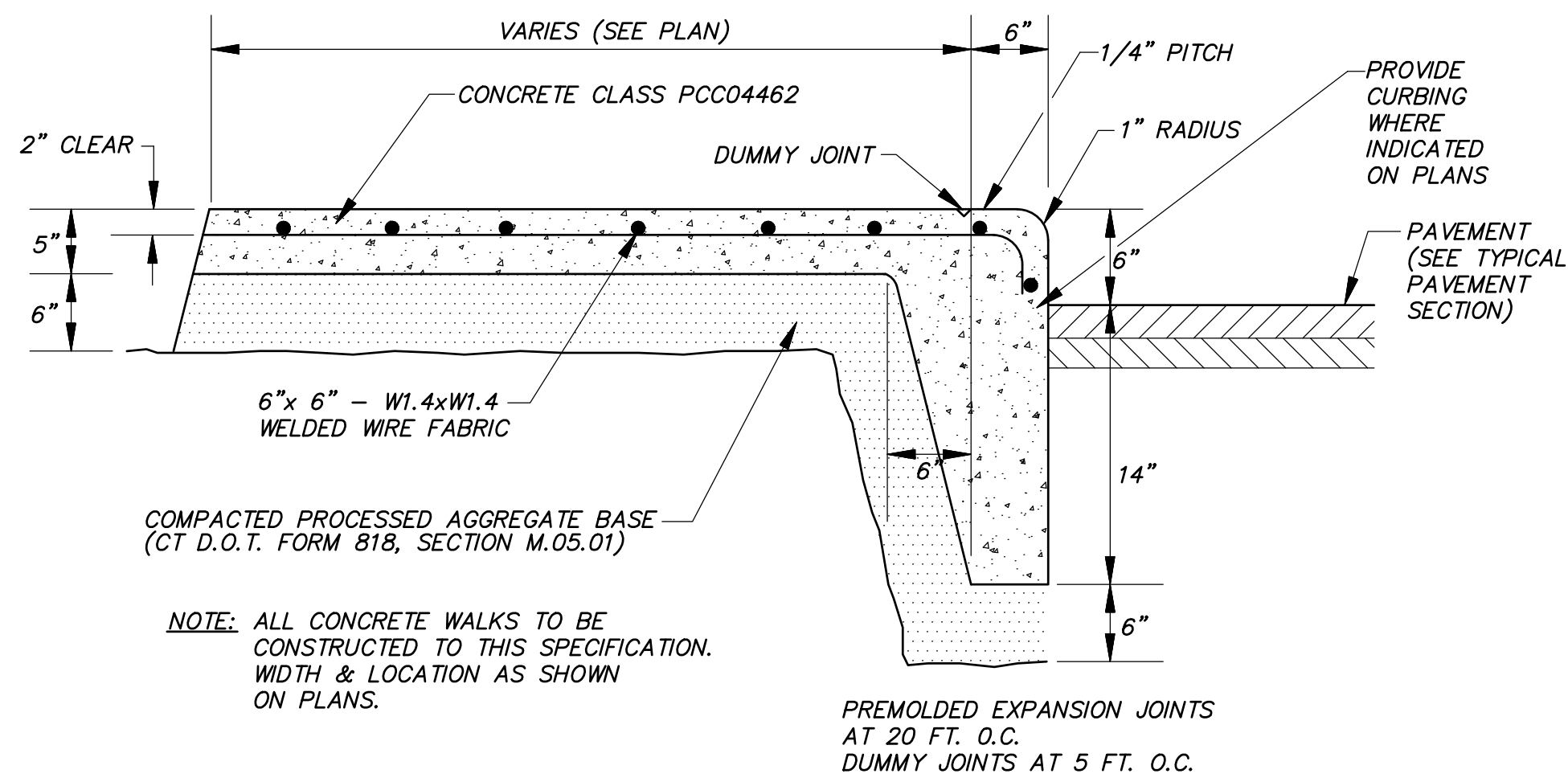
**Job no:** 23145  
**Drawn by:** DFT  
**Checked by:** GAH  
**Scale:** N.T.S.  
**Sheet no:** 1 OF 4  
**Date:** 09-29-2023  
**Submitted:** 2023-09-29/09-29-2023

**Permitted by:** Joneser's Express Transportation

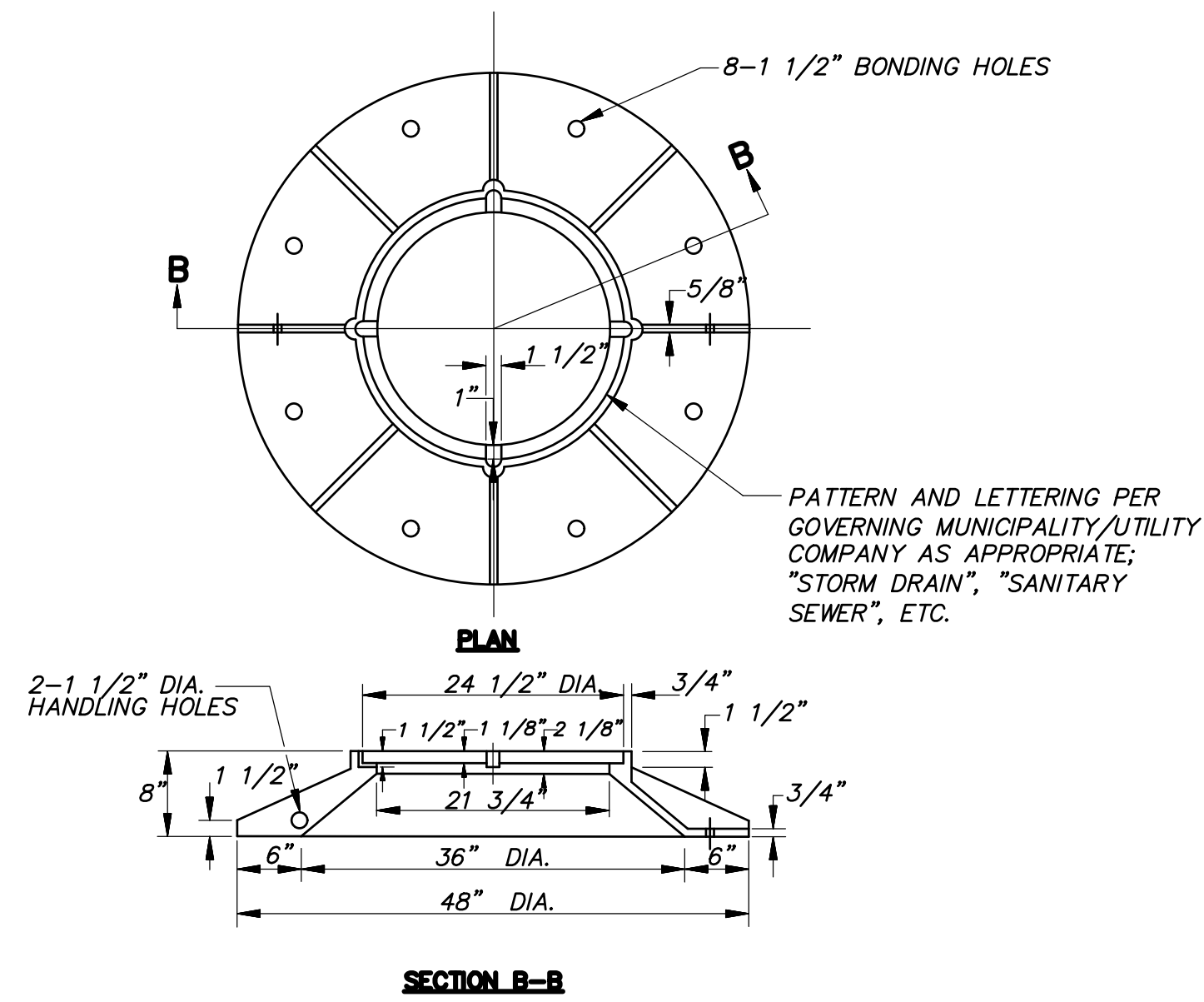
No.	Date	Description

**F. A. Hesketh & Associates, Inc.**  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahsketh.com mail@fahsketh.com

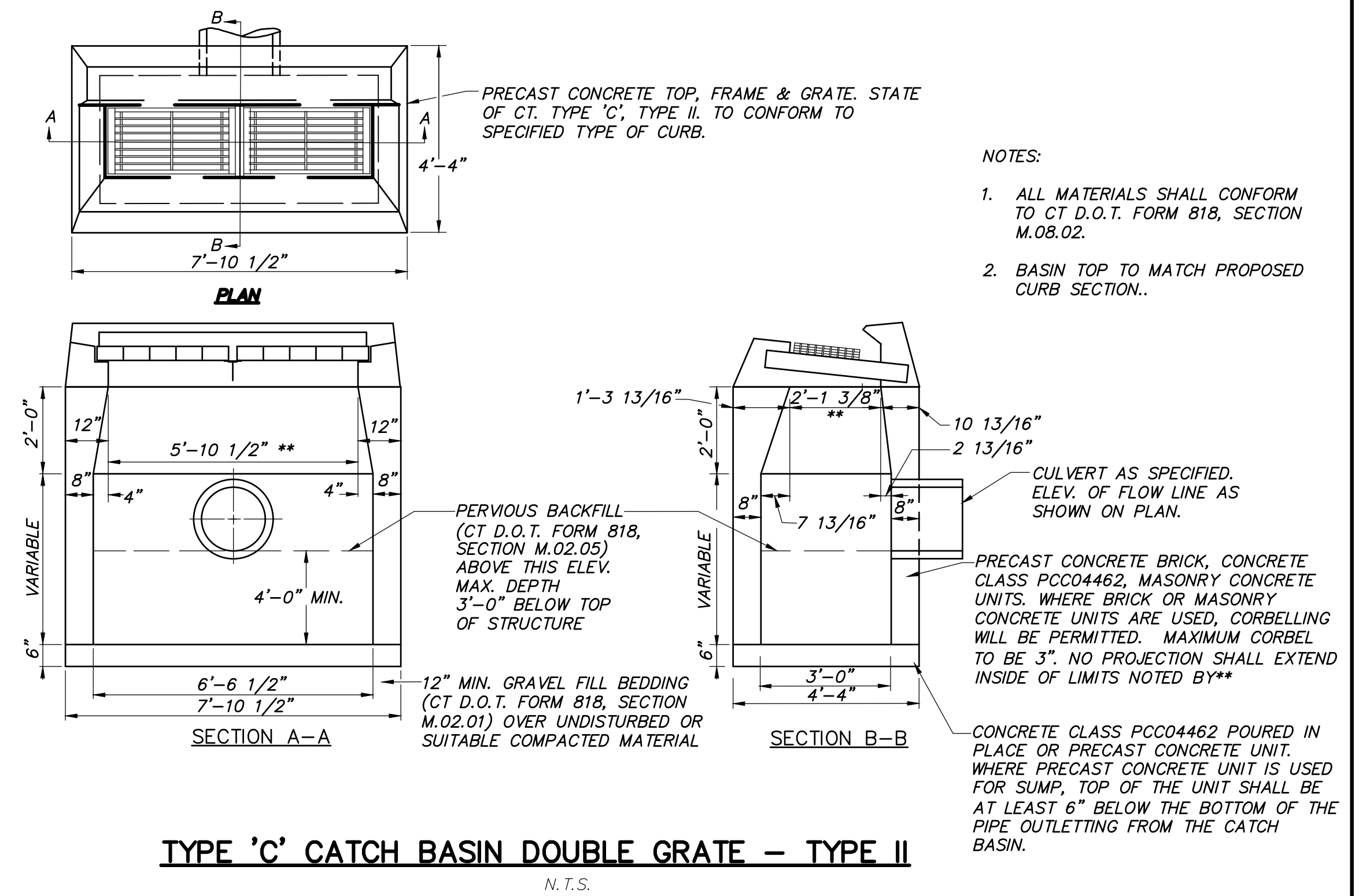
**SD-1**



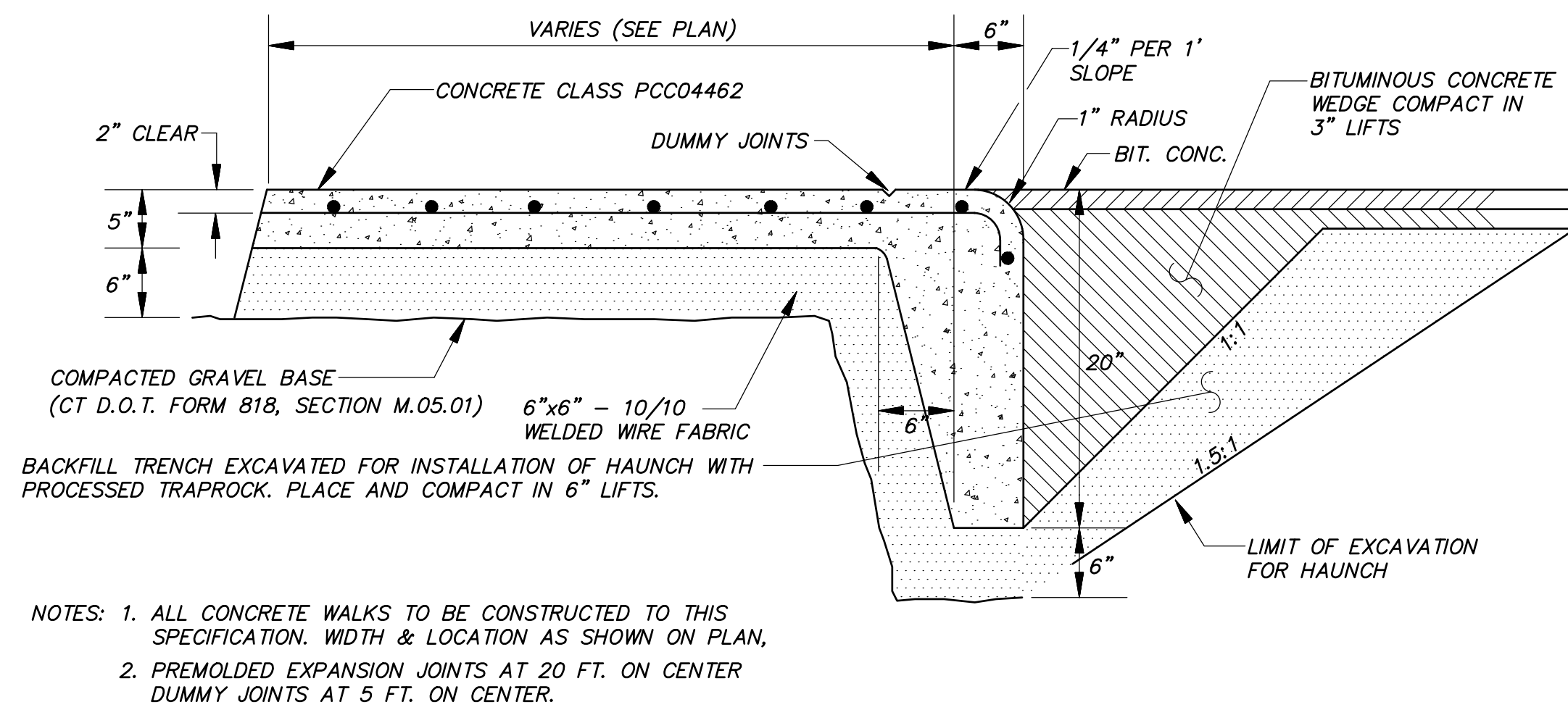
**CONCRETE SIDEWALK & CURB**  
N.T.S.



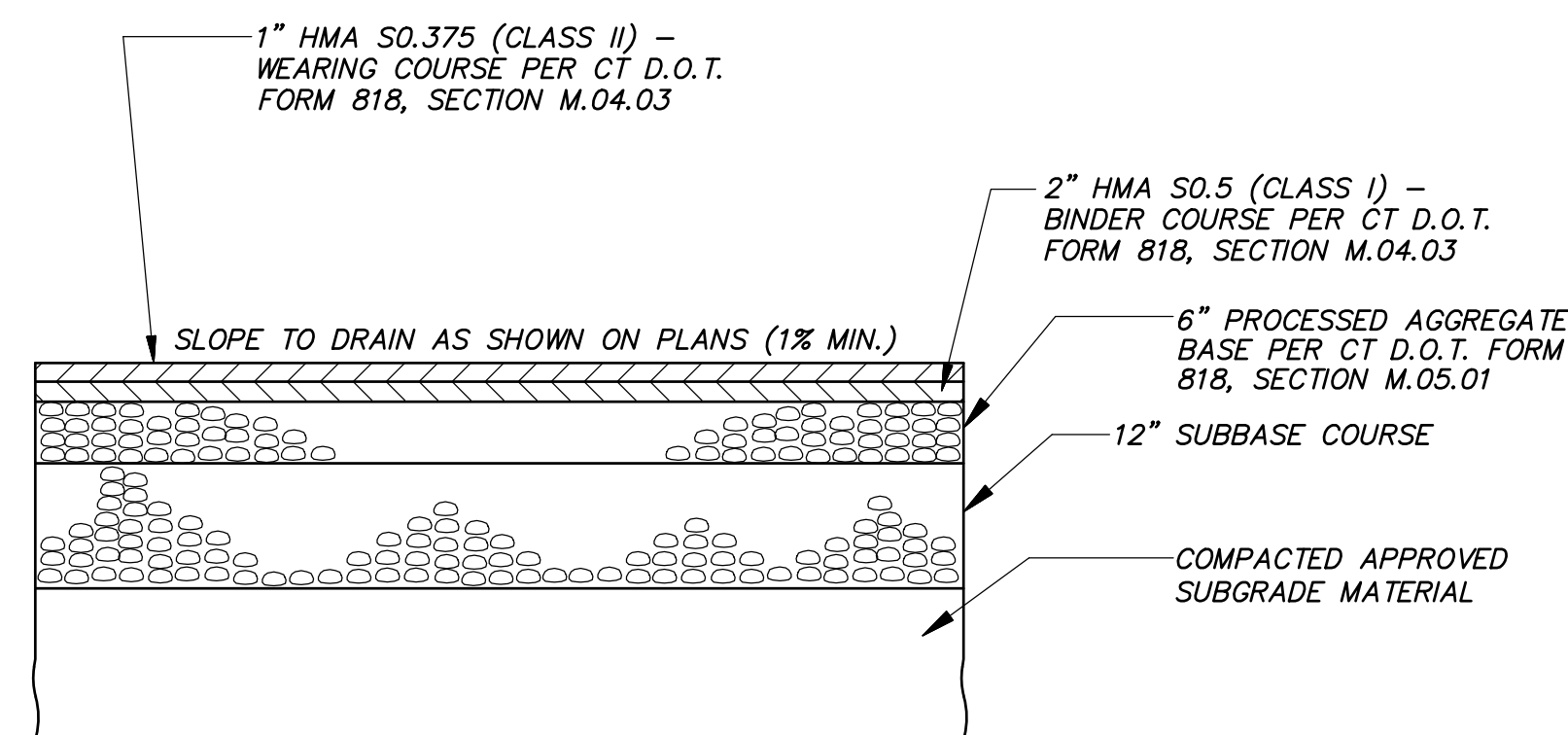
**STANDARD FRAME & COVER**  
N.T.S.



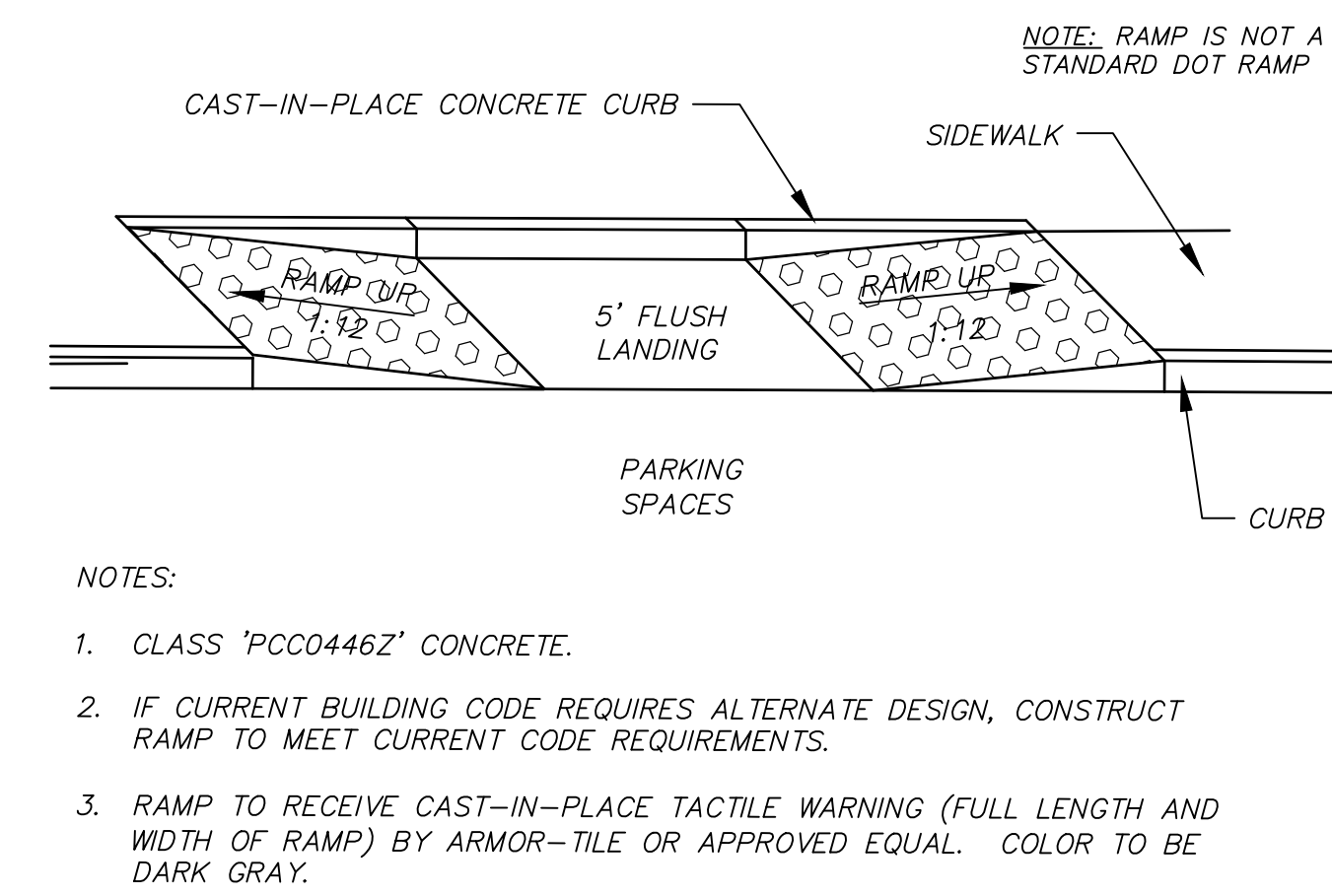
**TYPE 'C' CATCH BASIN DOUBLE GRATE - TYPE II**  
N.T.S.



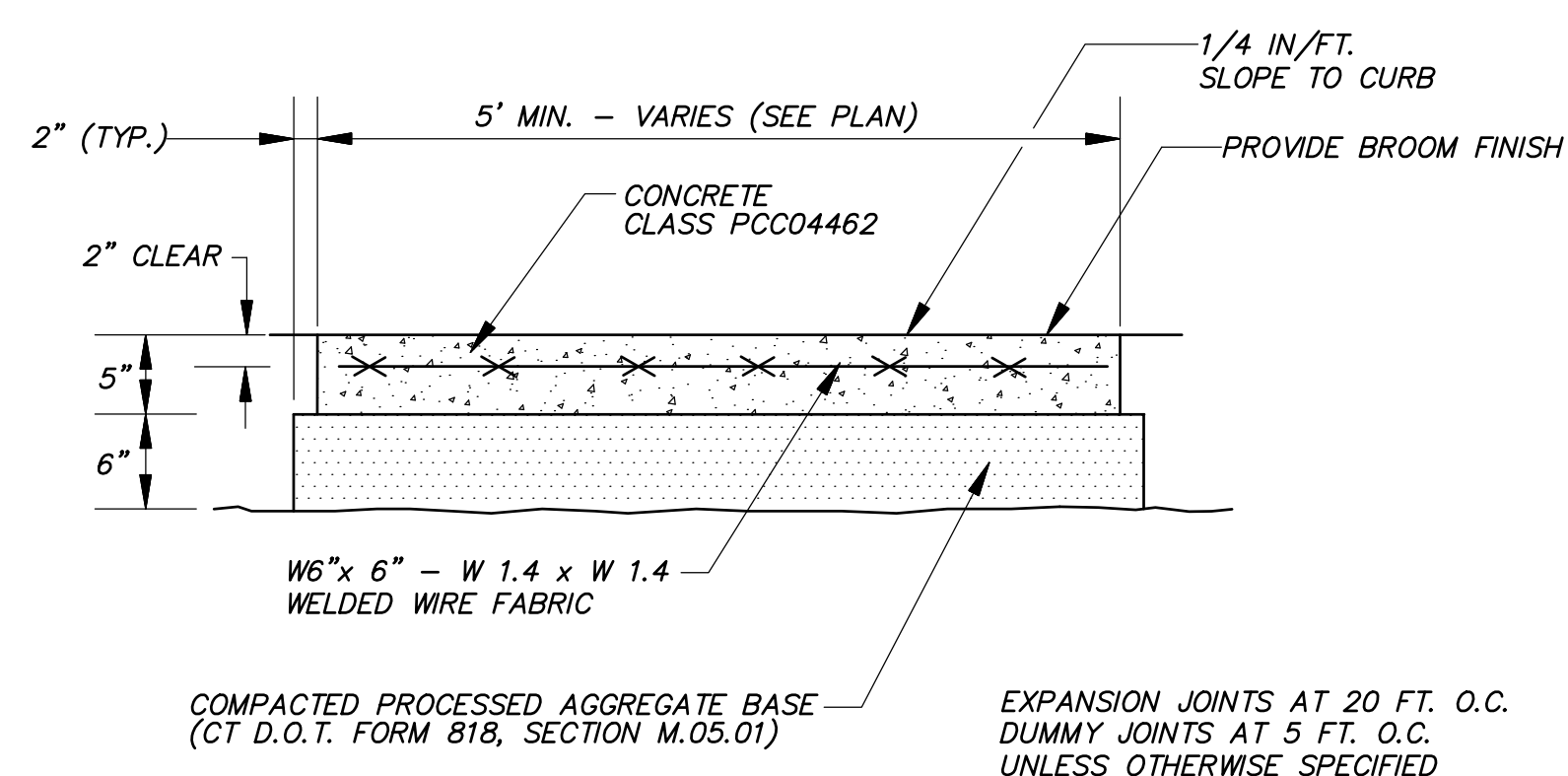
**CONCRETE SIDEWALK & FLUSH CURB**  
N.T.S.



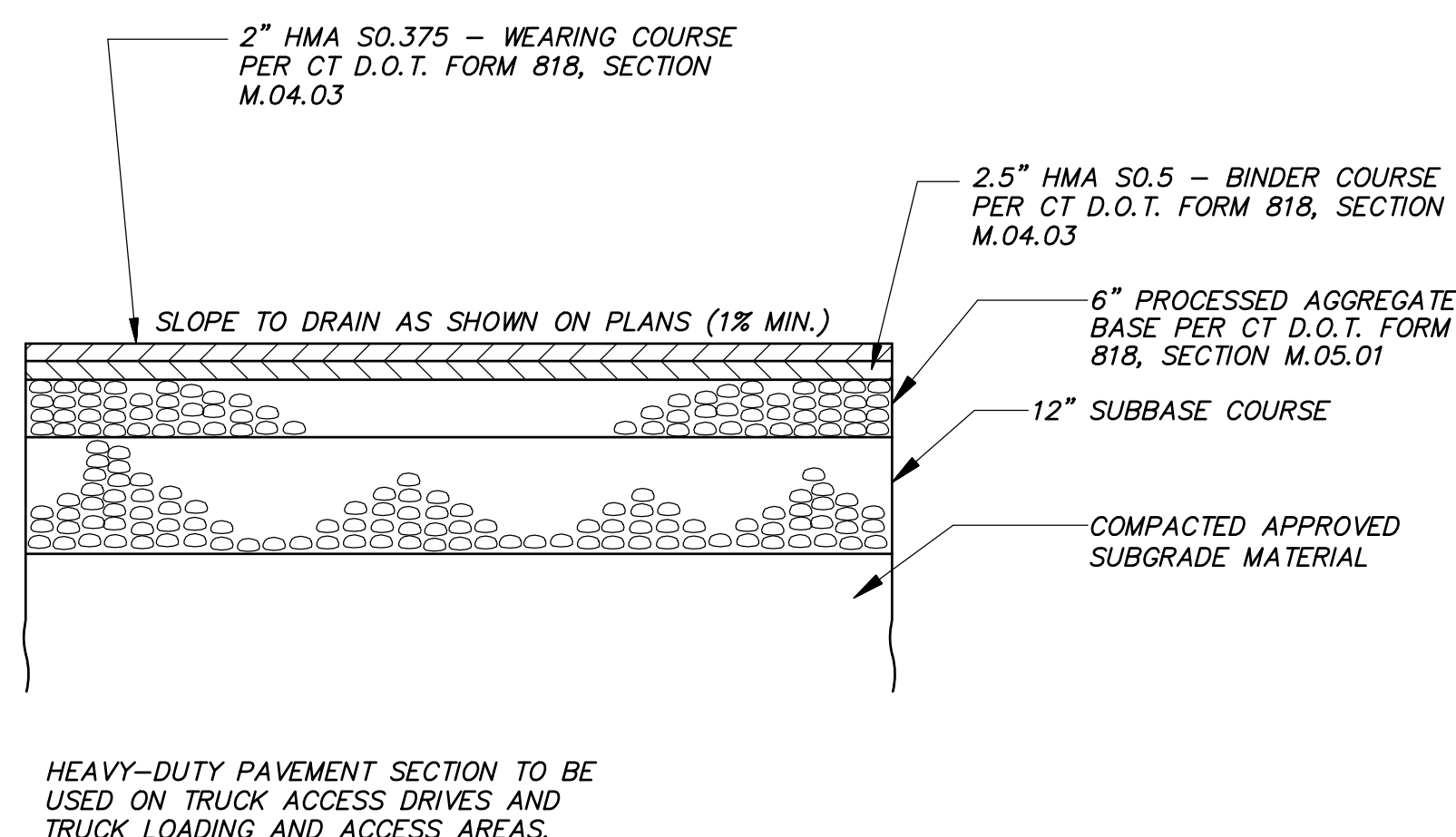
**STANDARD DUTY PAVEMENT SECTION**  
N.T.S.



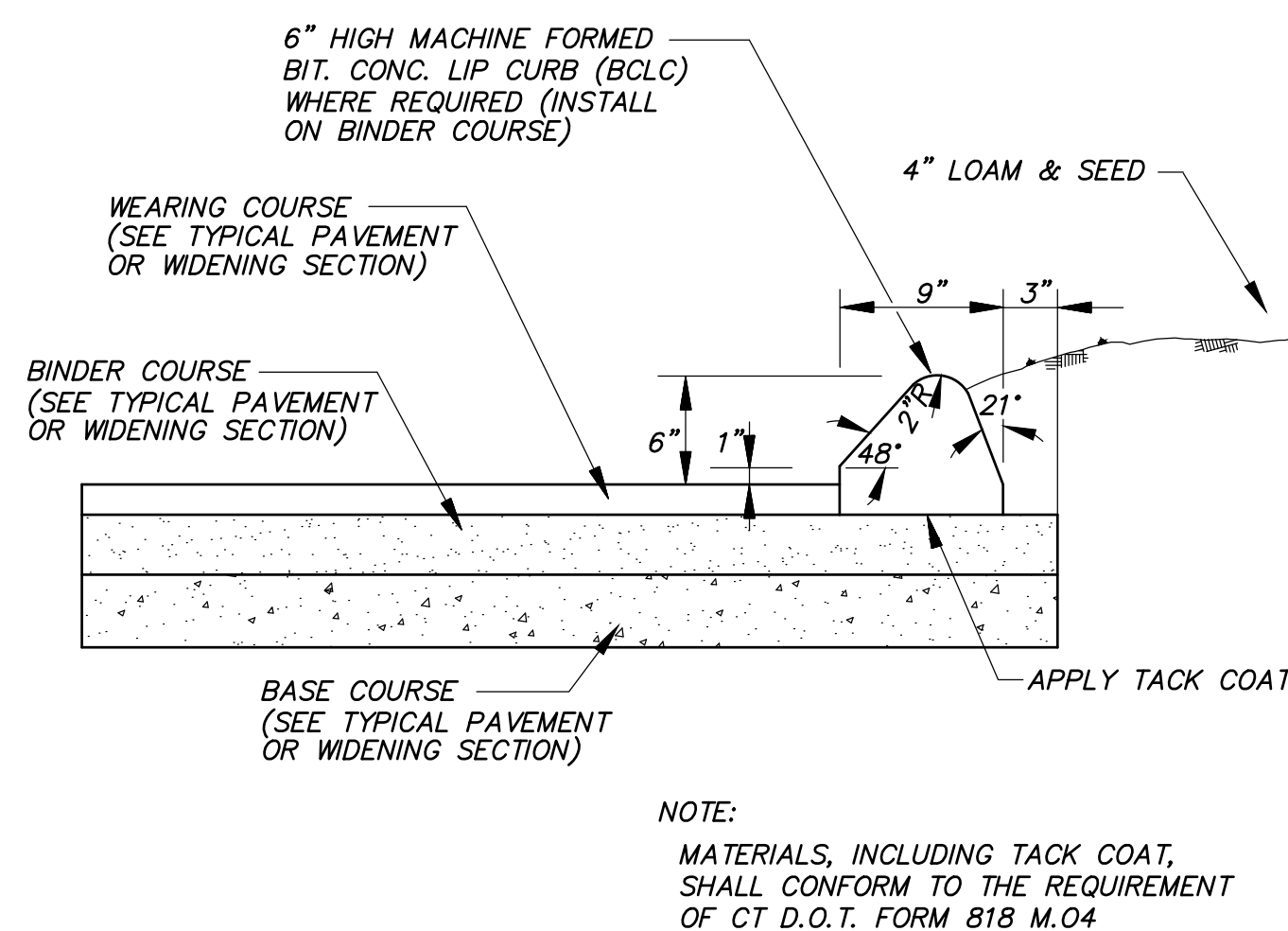
**RAMP**  
N.T.S.



**CONCRETE SIDEWALK**  
N.T.S.



**HEAVY DUTY PAVEMENT SECTION**



**BITUMINOUS CONCRETE LIP CURBING (BCLC)**  
N.T.S./N.T.S.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.1 of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

**APPLICANT:** Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

**OWNER:** Anthony Quisenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

**PREPARED FOR:** SITE DETAILS

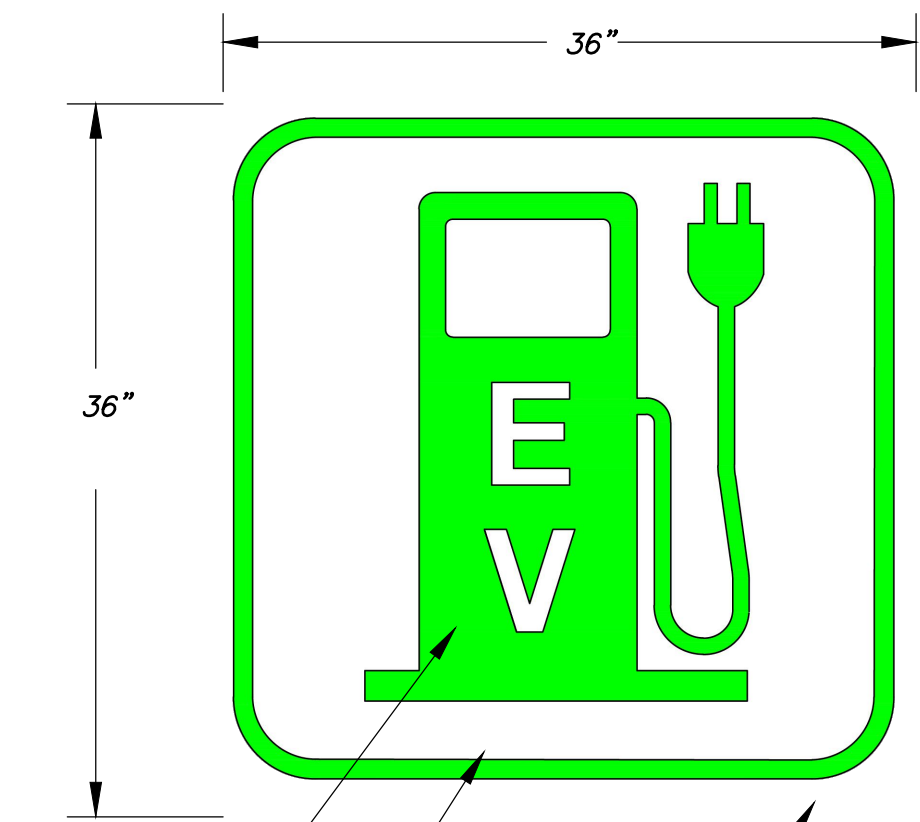
**PROJECT:** Joneser's Express Transportation  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

**DATE:** 09-29-2023  
**DRAWN BY:** DFT  
**CHECKED BY:** GAH  
**SHEET NO.:** 2 OF 4

**SCALE:** N.T.S.  
© 2023\23145 - East Russell Road\Submital 2023-09-29\SD-1 2023-09-29.dwg, SD-2, Sep. 25, 2023 - 9:26:54 AM

**FAH**  
F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahsketh.com mail@fahsketh.com

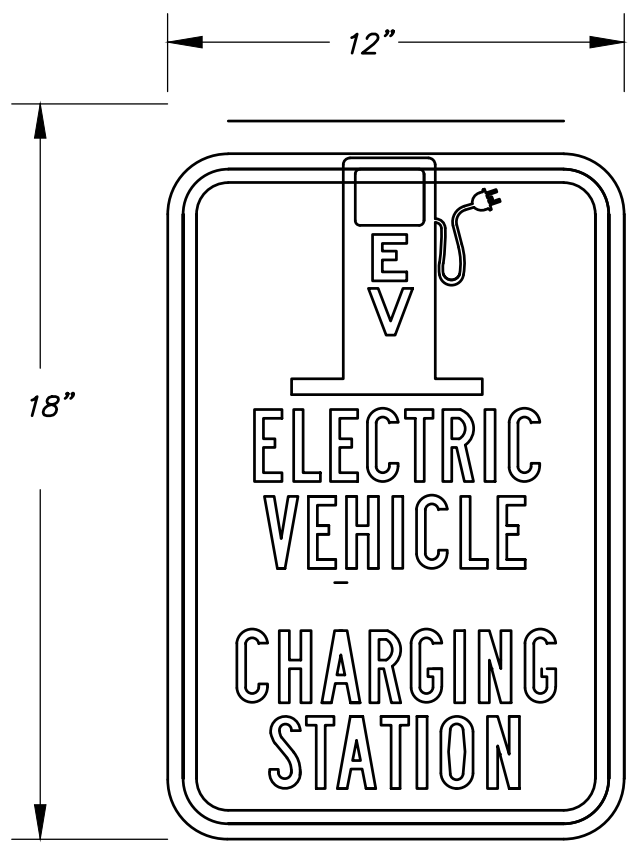
**SD-2**



- GREEN LOGO  
WHITE BACKGROUND  
GREEN STRIPING
- NOTES:  
1. GREEN = "KELLY GREEN" TRAFFIC PAINT  
2. COORDINATE INSTALLATION OF LINE STRIPING AND E.V. LOGO WITH OWNER

### EV PARKING SPACE GRAPHIC

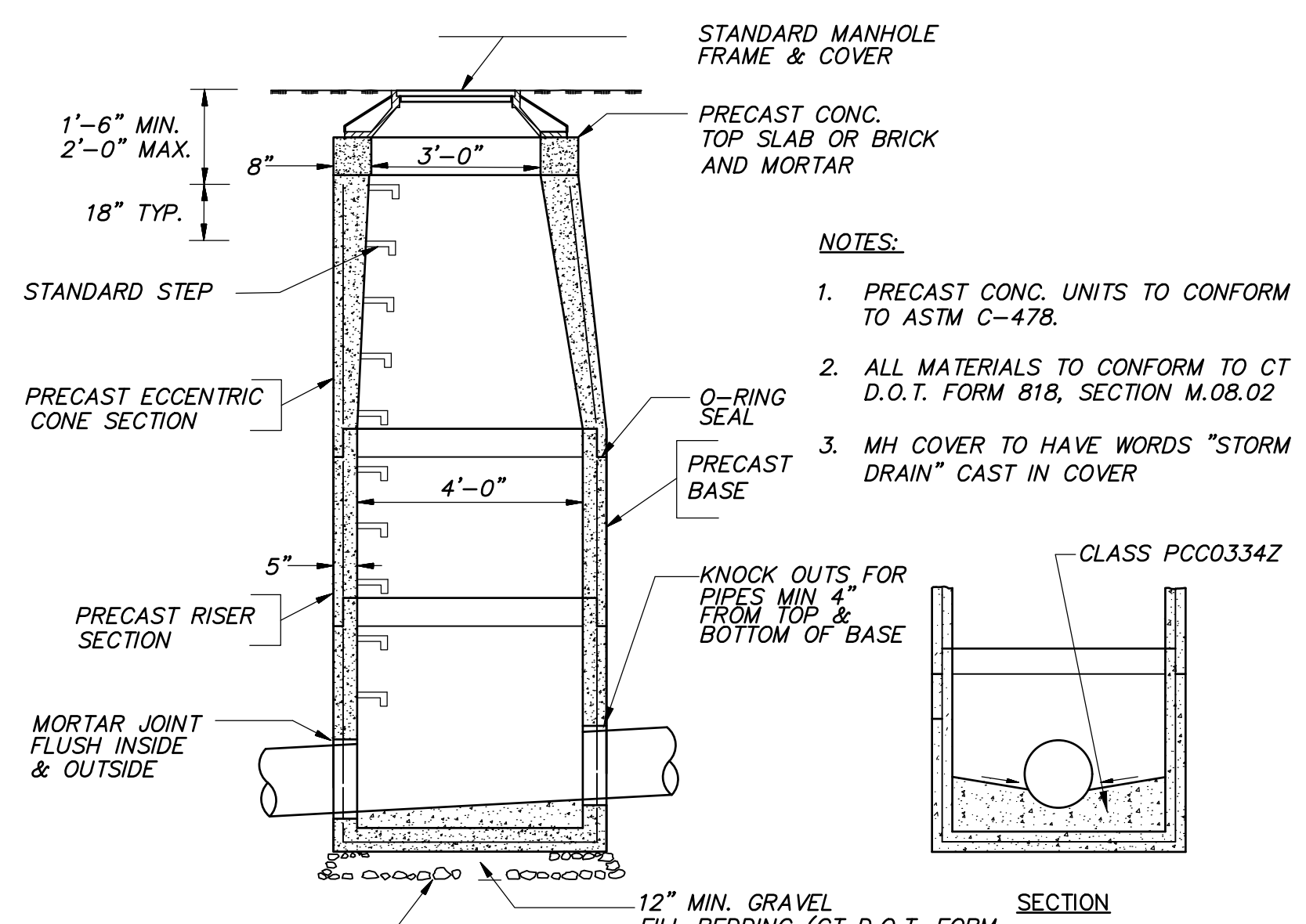
N.T.S.



- NOTES:  
1. SIGNS TO BE PROVIDED BY BIG Y.  
2. INSTALLATION OF SIGN POSTS AND MOUNTING OF SIGNS BY GENERAL CONTRACTOR.

### EV PARKING SPACE SIGN

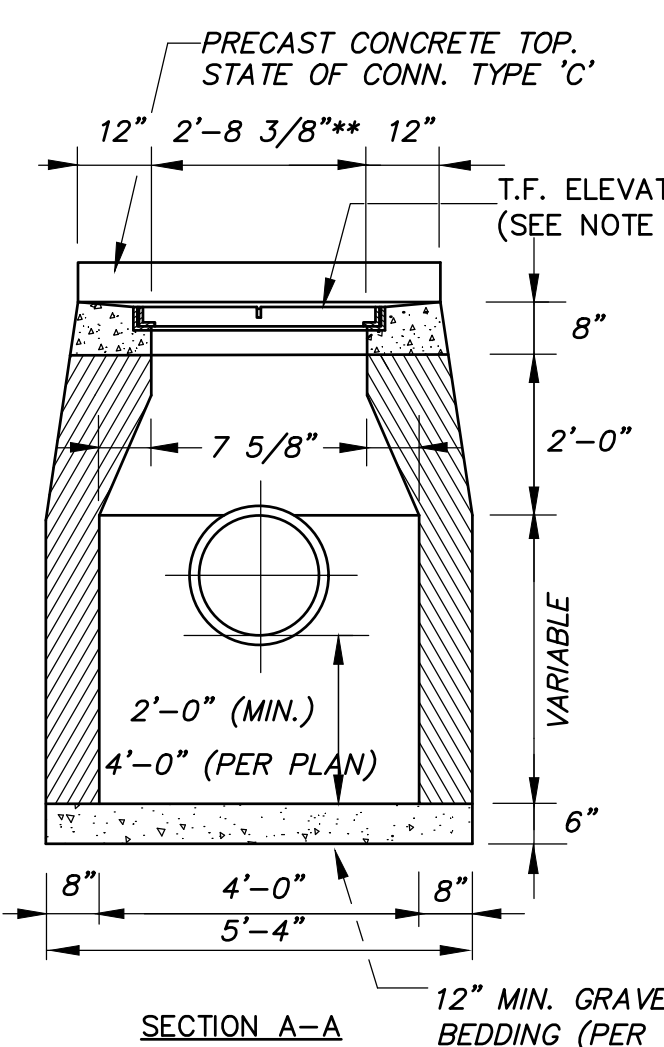
N.T.S.



### STORM SEWER MANHOLE

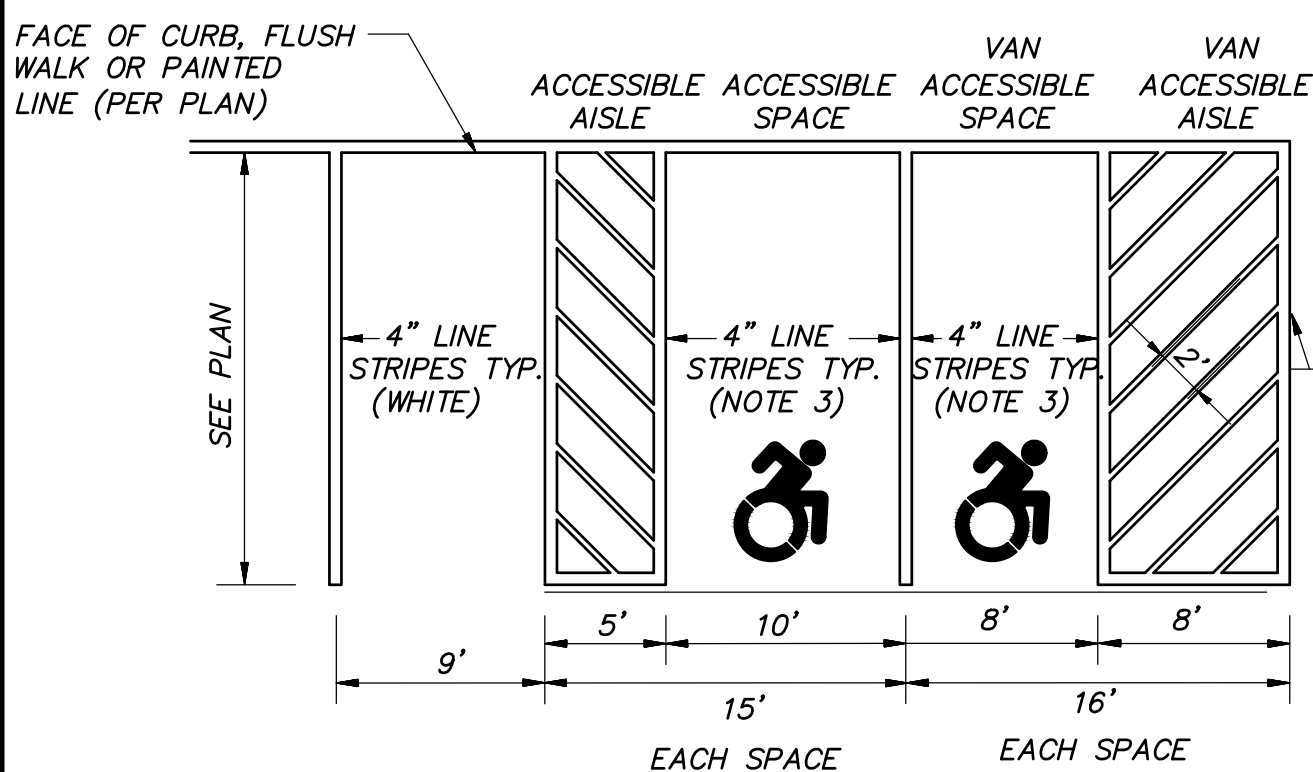
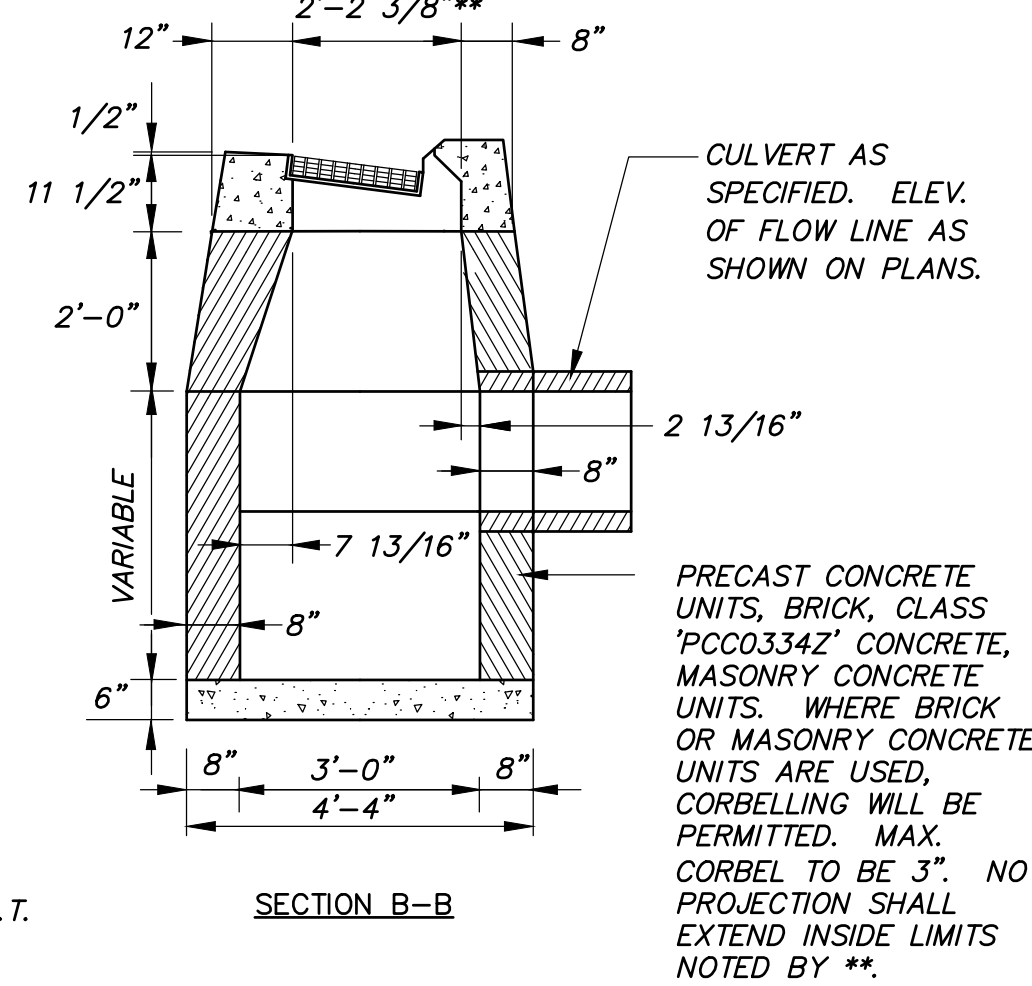
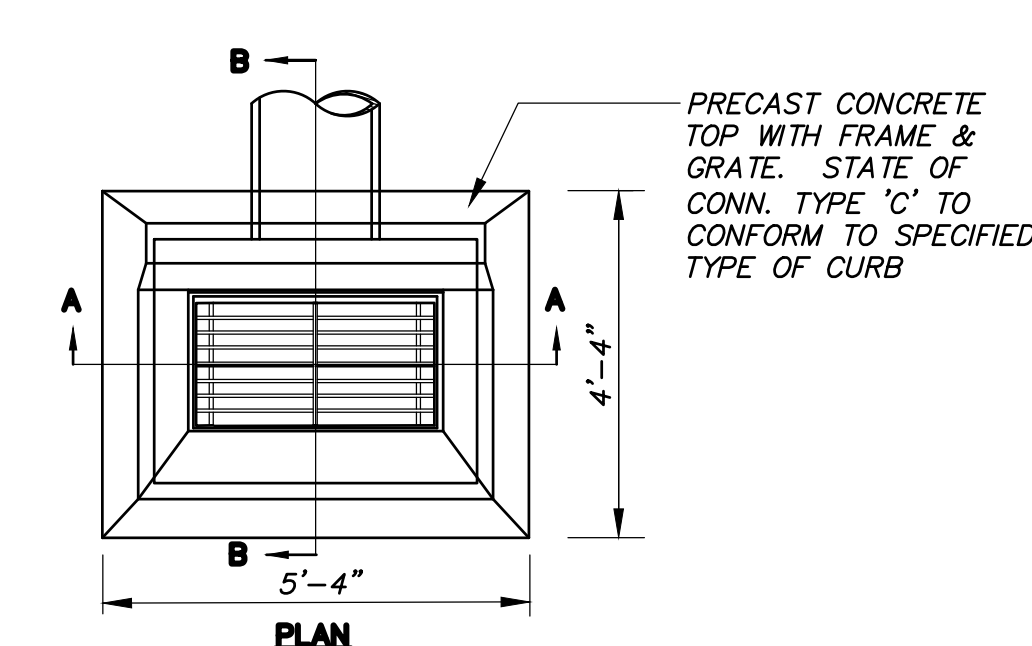
N.T.S.

- NOTES:  
1. ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02  
2. T.F. ELEV. SHOWN ON PLAN IS TOP-OF-FRAME ELEVATION OF THE CATCH BASIN GRATE AT THE GUTTERLINE. THIS T.F. ELEV. IS 2-INCHES BELOW GUTTERLINE ELEVATION AT CURB LINE.  
3. UNLESS NOTED OTHERWISE, SUMPS SHALL BE 2.0' MINIMUM  
4. GALVANIZED FRAME AND COVER.  
5. BASIN TOP TO MATCH PROPOSED CURB SECTION.



### TYPE 'C' CATCH BASIN

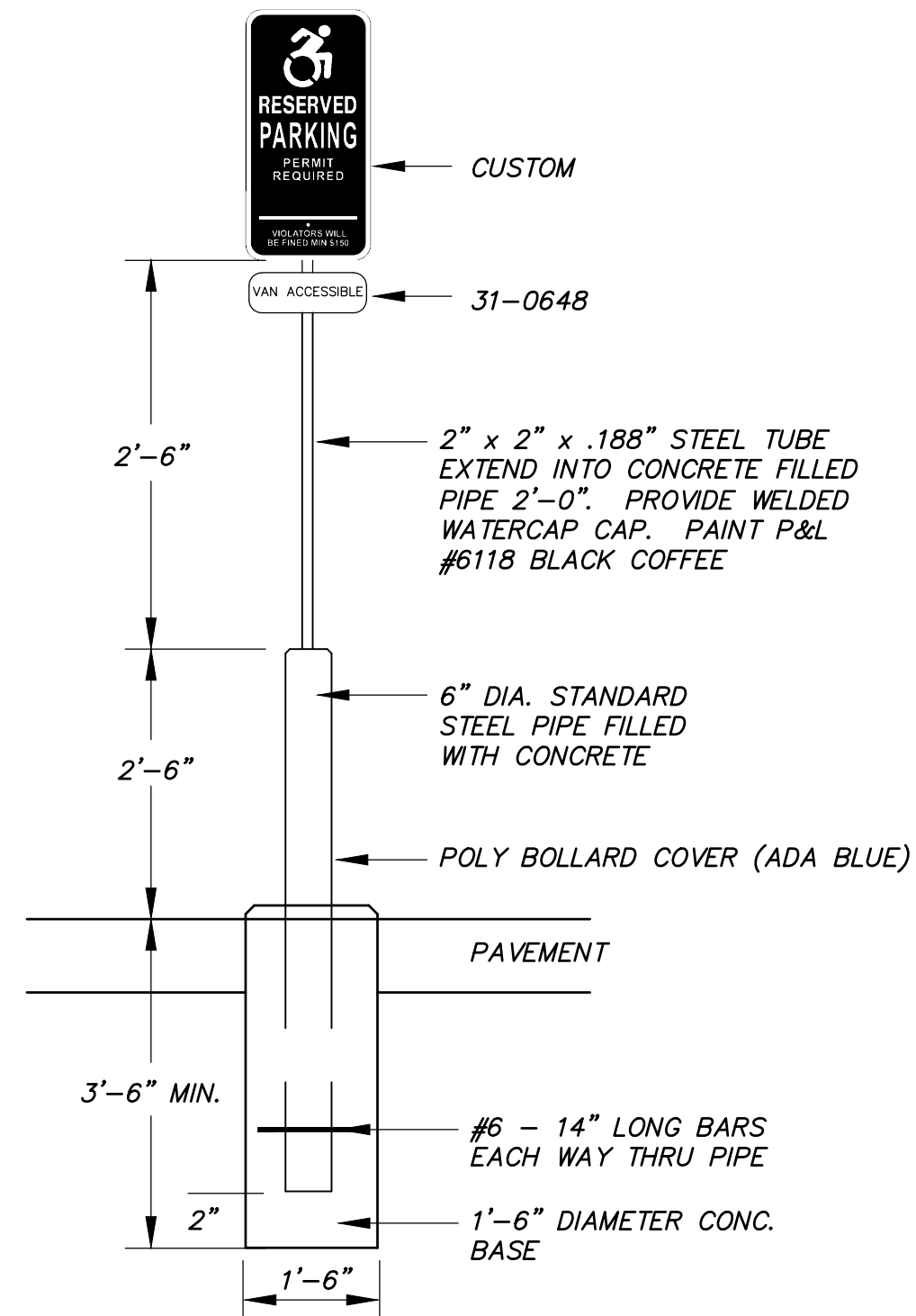
N.T.S.



- NOTES:  
1. AISLE CONFIGURATION PER PLAN.  
2. SIGN/BOLLARD LOCATION PER PLAN.  
3. LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH MIDDLETOWN BUILDING INSPECTOR BEFORE INSTALLATION

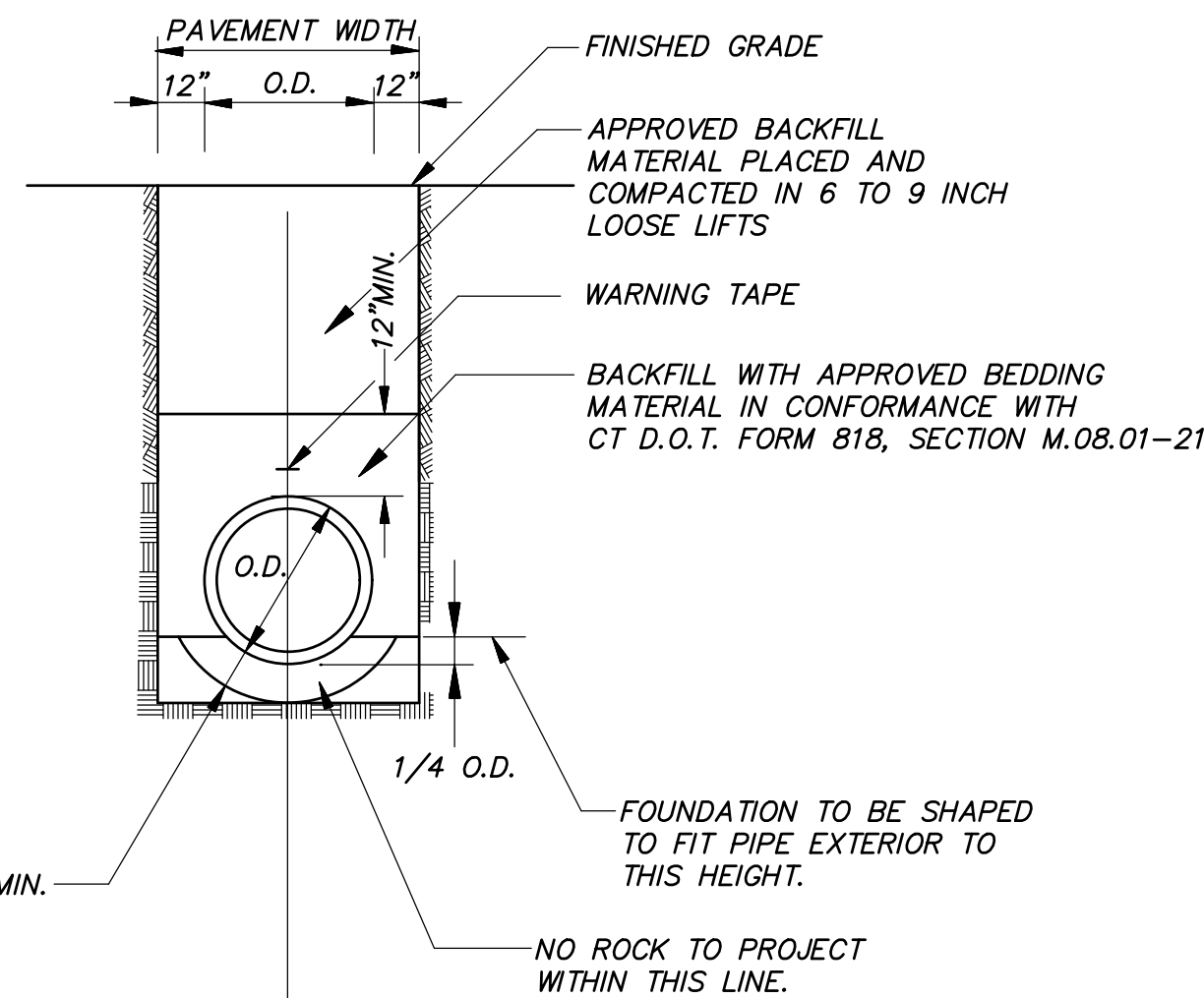
### ACCESSIBLE PARKING SPACE LAYOUT

N.T.S.



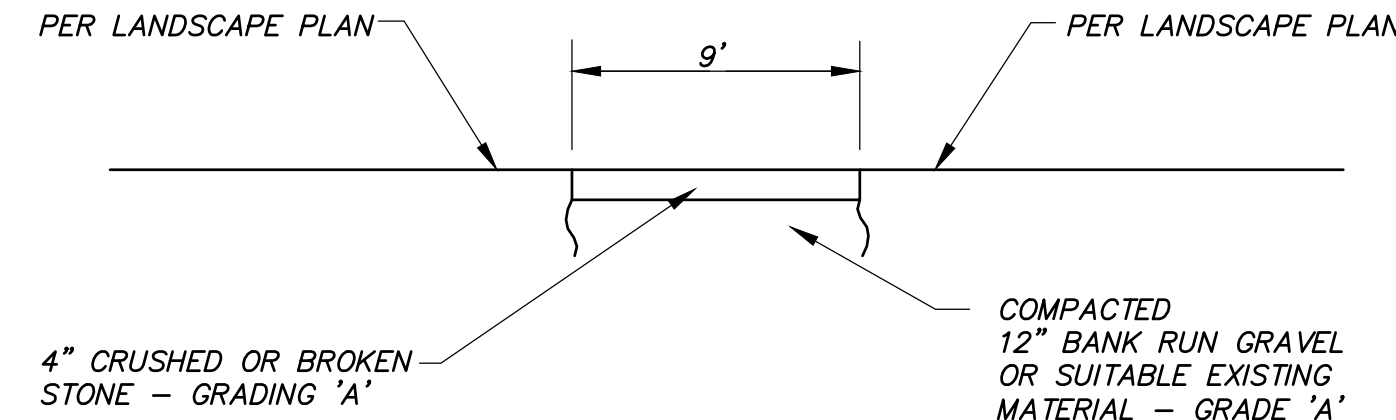
### ACCESSIBLE SPACE SIGN POST/BASE

N.T.S.



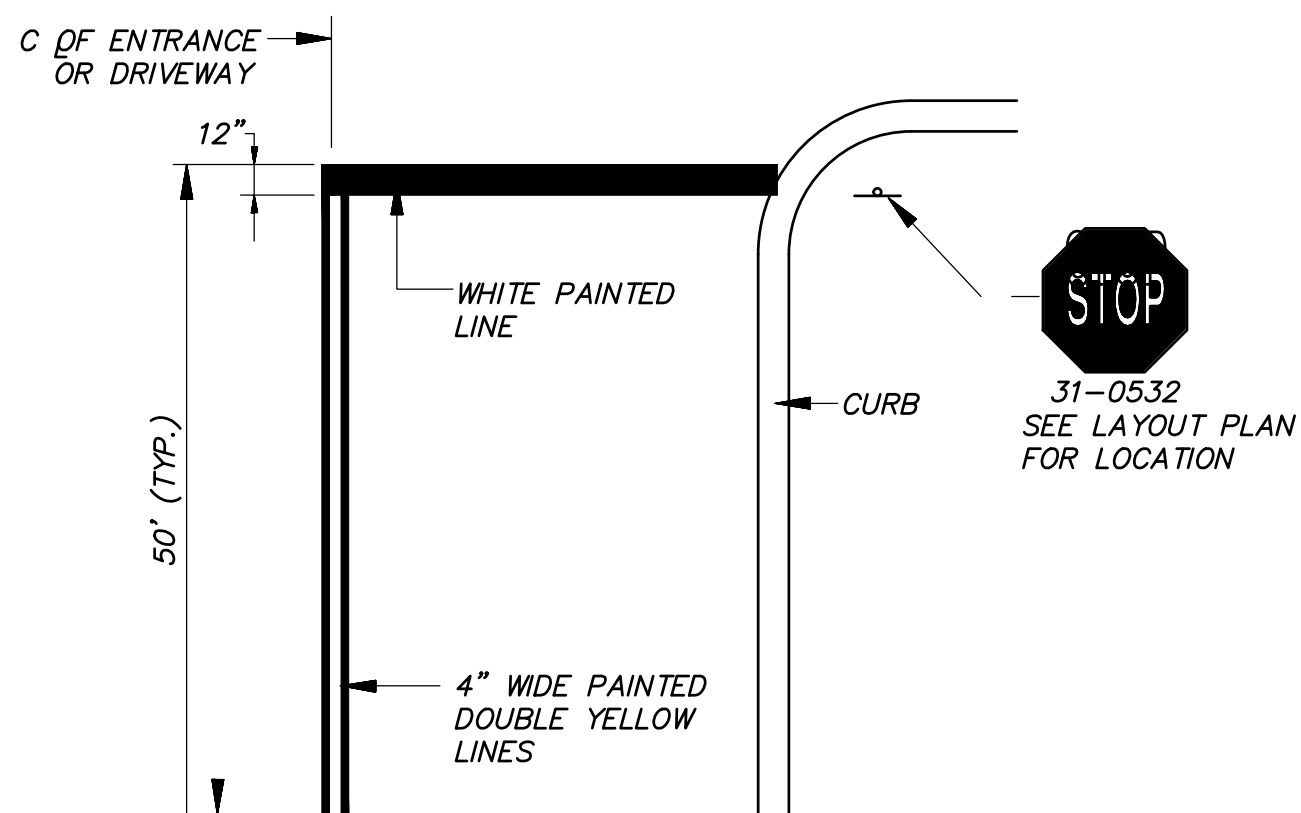
### STORM SEWER TRENCH DETAIL

N.T.S.



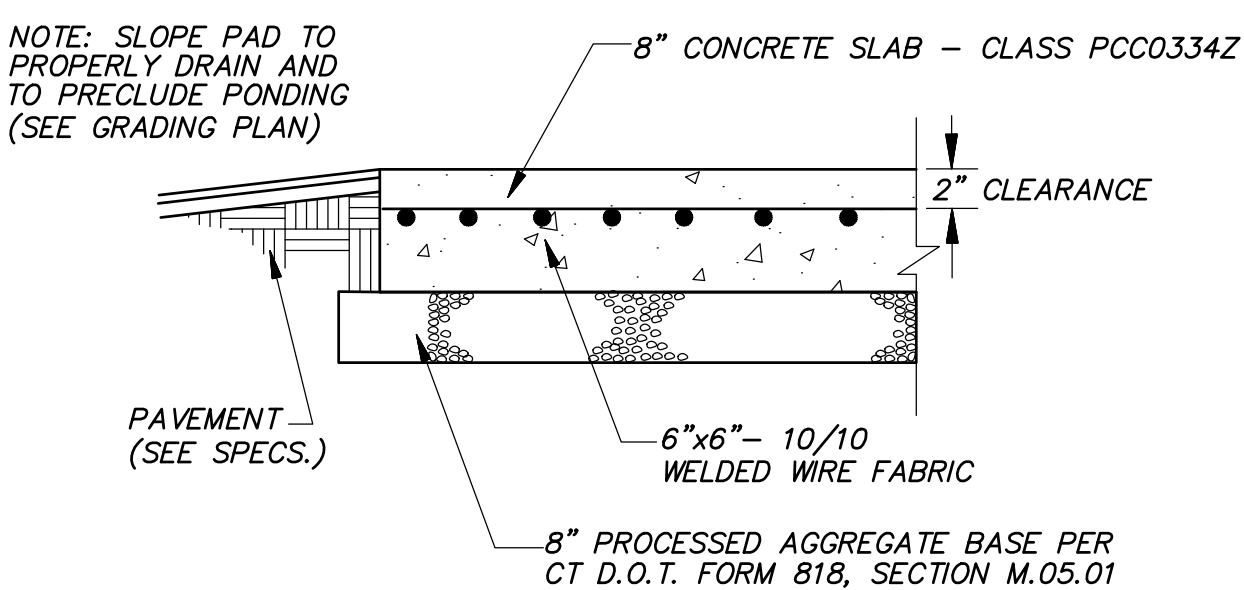
### GRAVEL BASIN ACCESS

N.T.S.



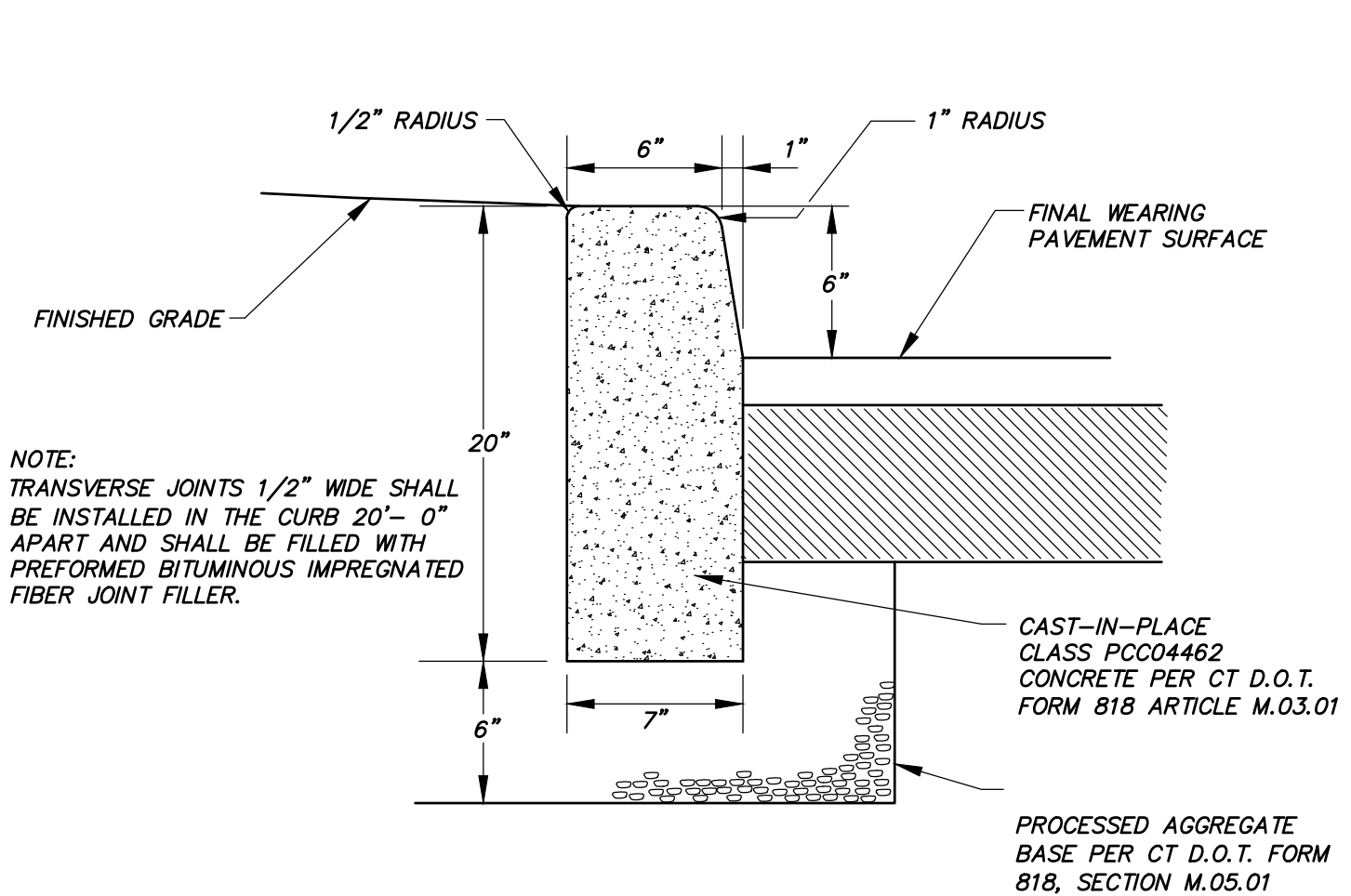
### TYPICAL PAVEMENT MARKINGS AT STOP BAR

N.T.S.



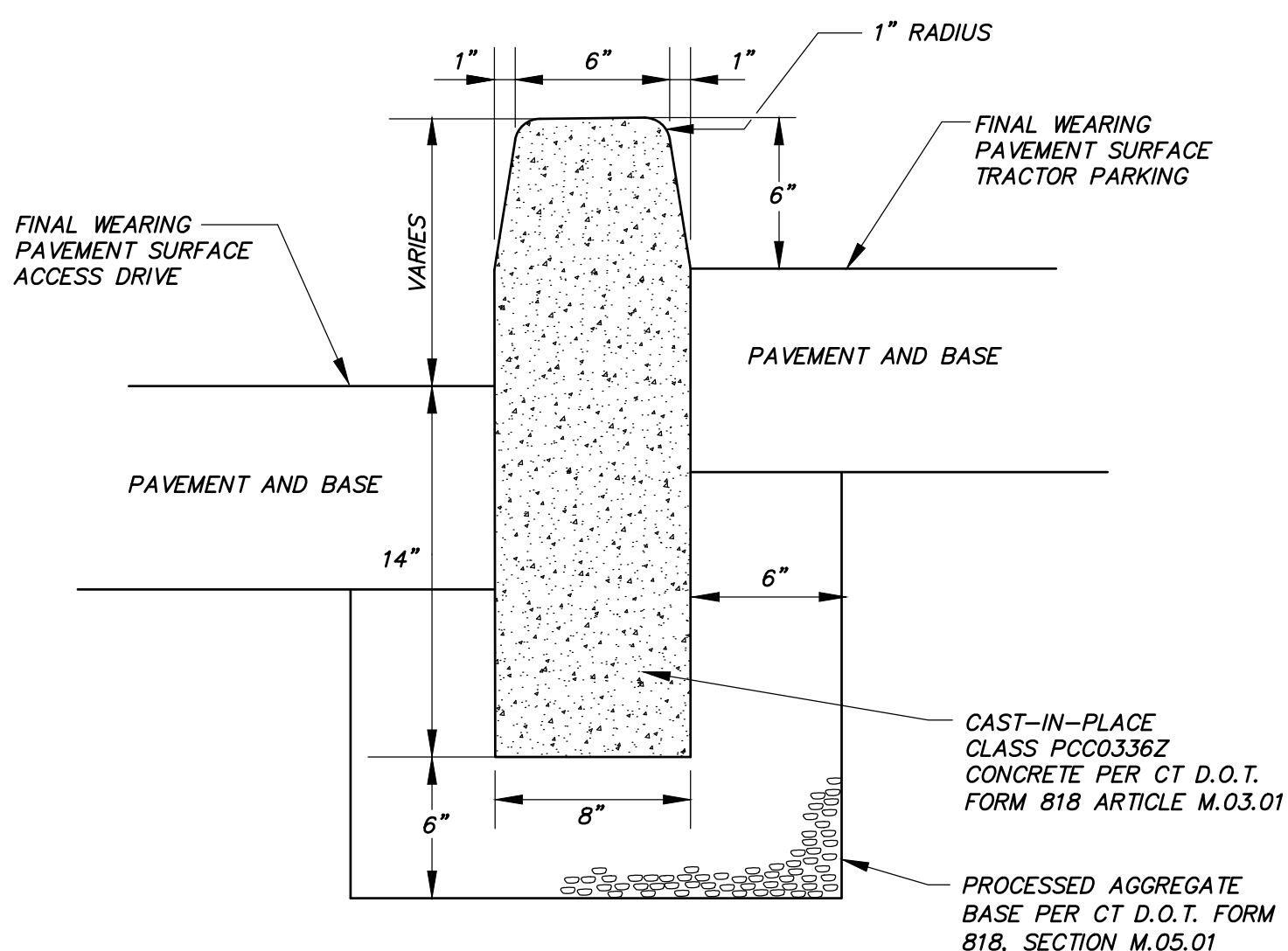
### COMPACTOR PAD SECTION

N.T.S.



### CONCRETE CURBING

N.T.S.



### CONCRETE CURB - RETAINING

N.T.S.

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_  
(1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

OWNER: Anthony Quiscenti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

APPLICANT: Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

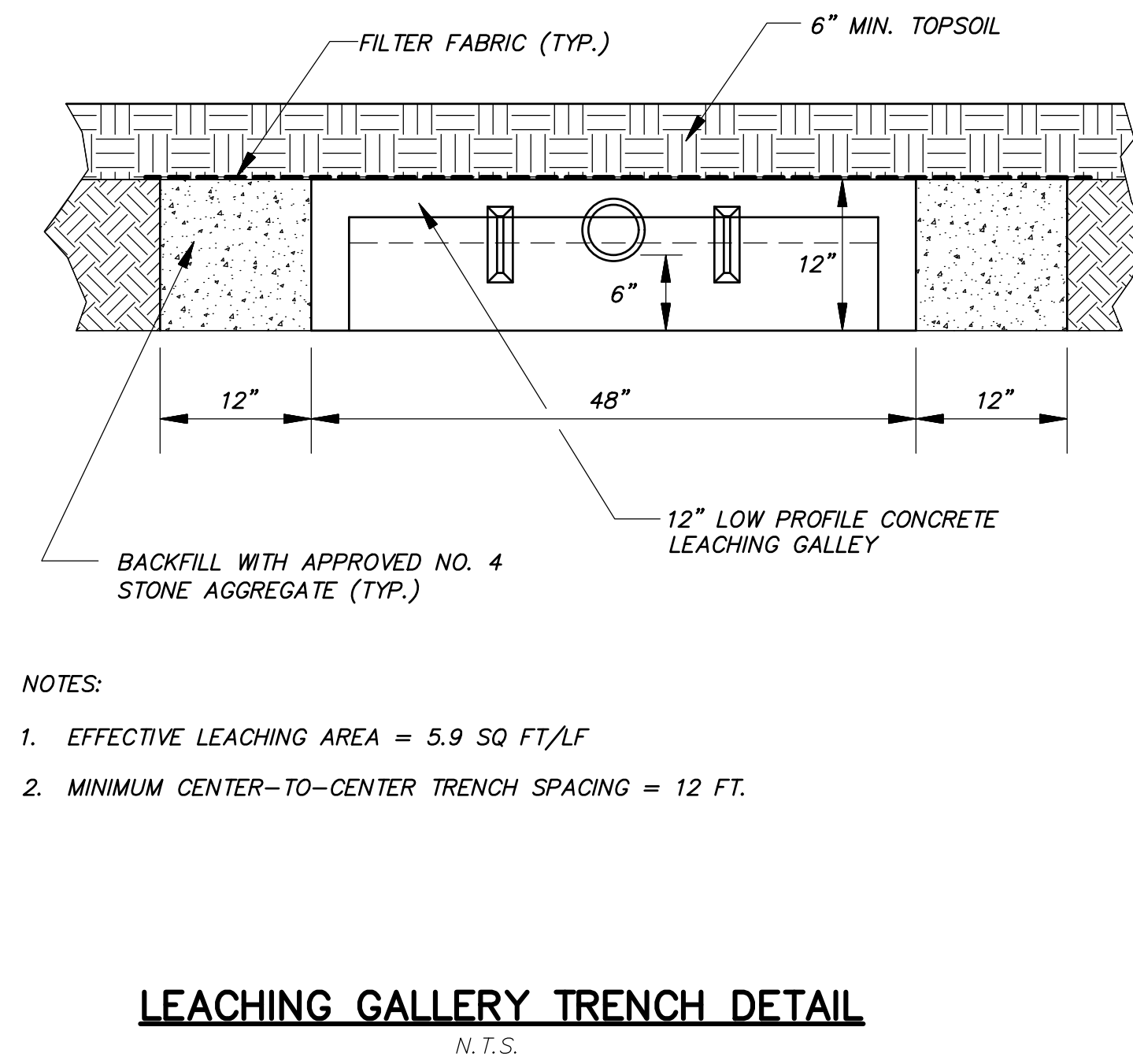
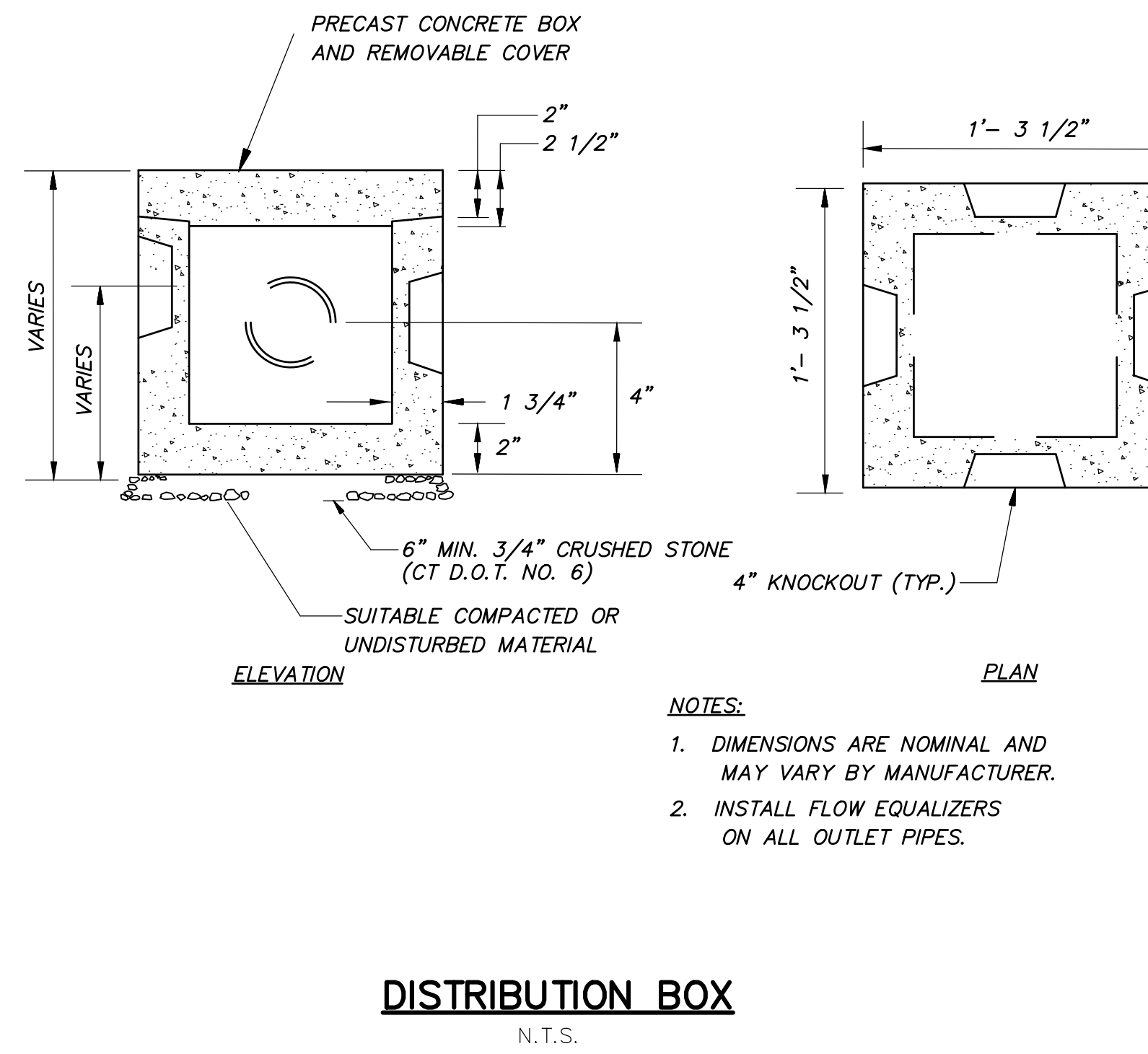
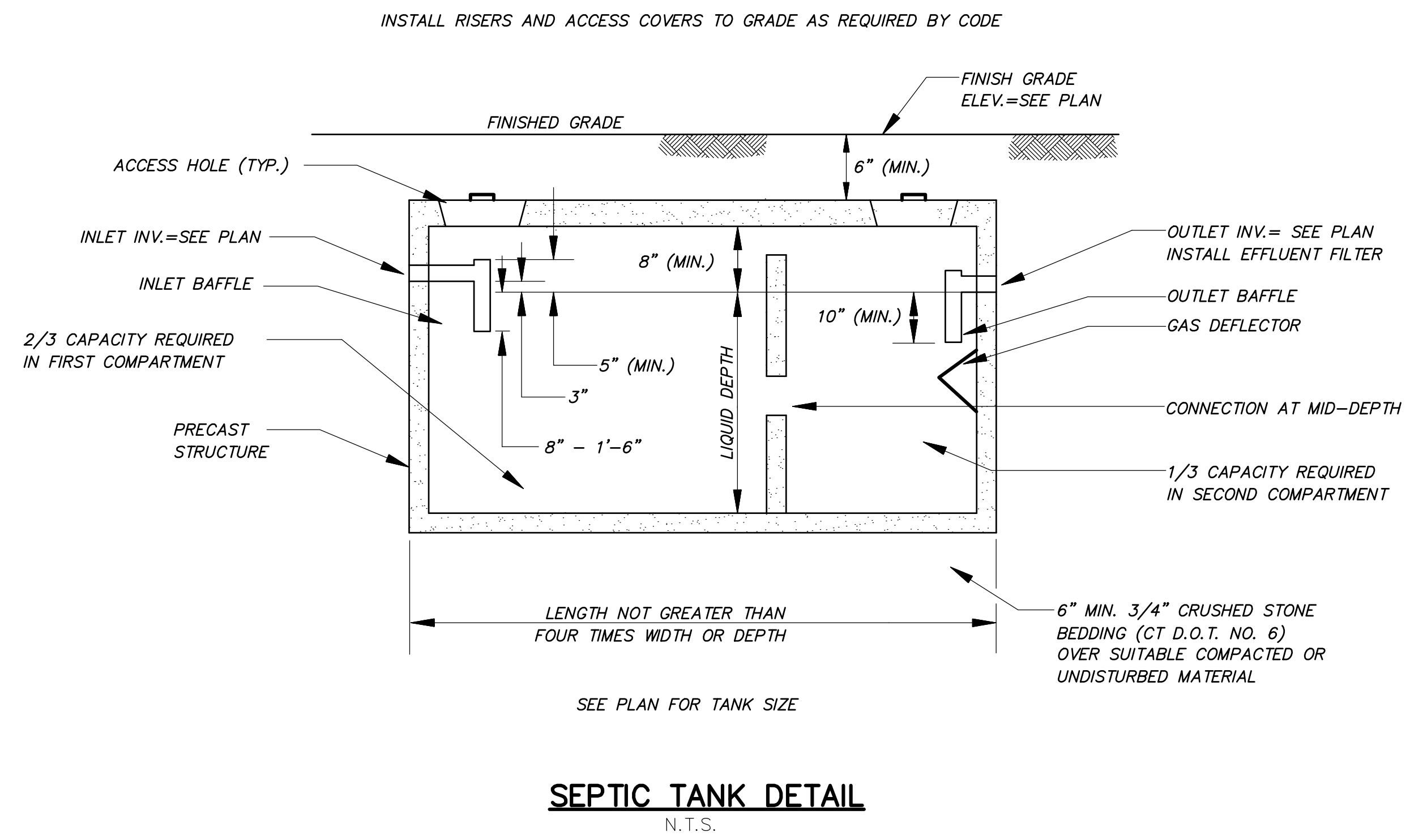
PREPARED FOR: SITE DETAILS

**Joneser's Express Transportation**  
10 RUSSELL ROAD  
EAST GRANBY, CONNECTICUT

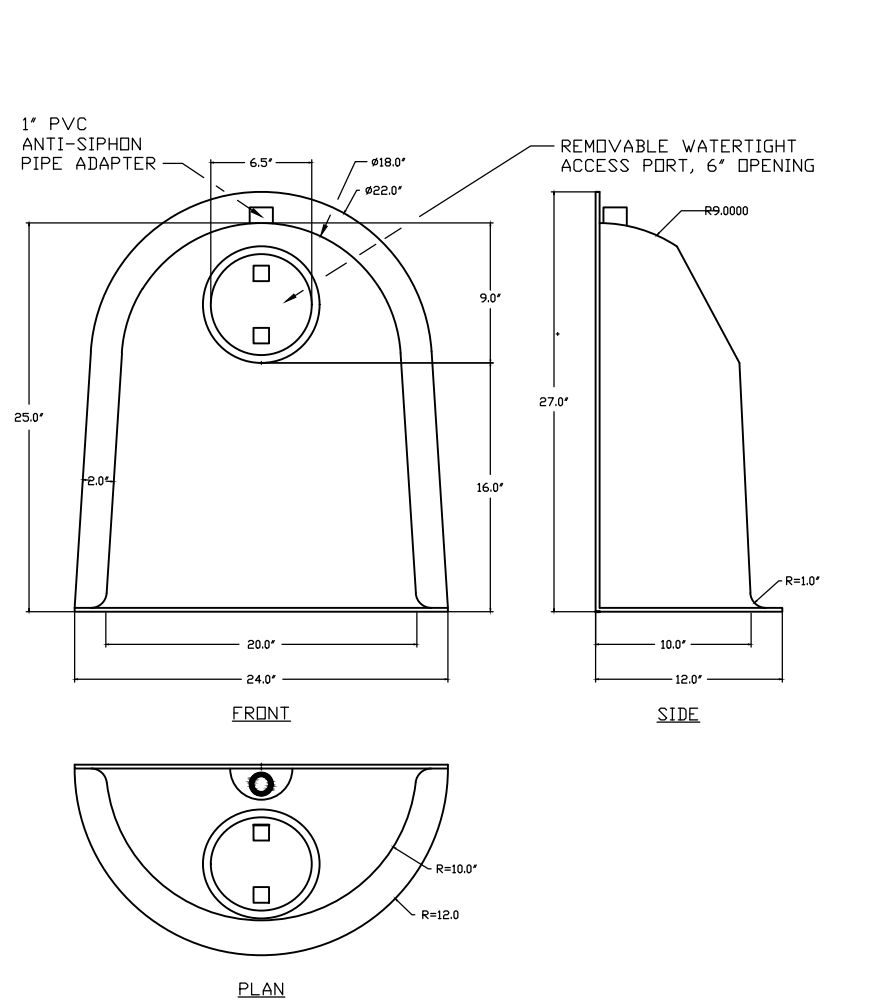
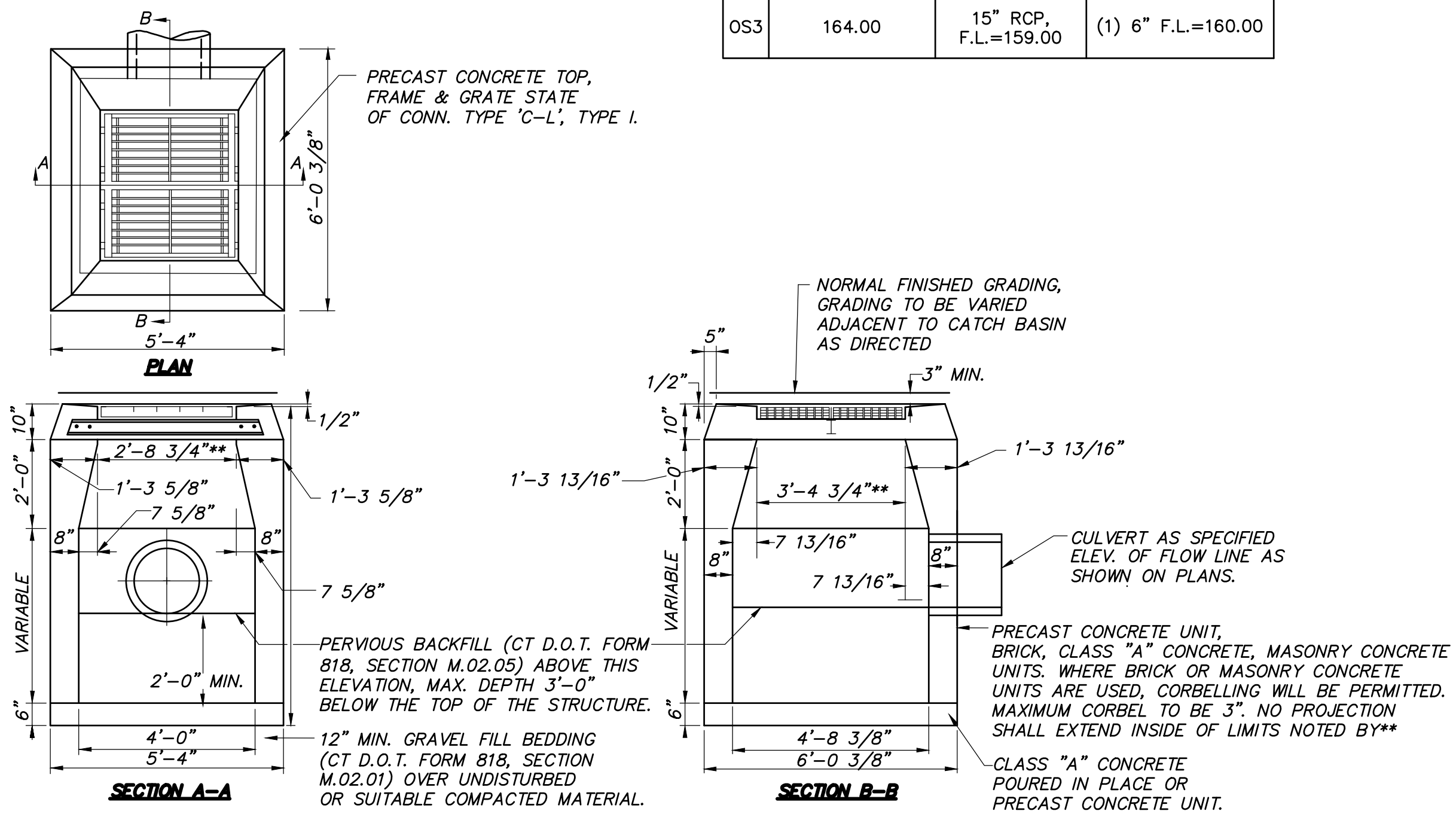
Date: 09-29-2023 Drawn by: DRT Job no: 23145  
Scale: N.T.S. Checked by: GAH Sheet no: 3 Of 4  
Road/Summit/2023/2023-09-29/50-1-2023-09-29.dwg, SD-3, Sep. 27, 2023 - 9:39:58 AM

**F.A.H.**  
F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 644-8600  
www.fahhsketh.com - malfrankhsketh.com  
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

**SD-3**

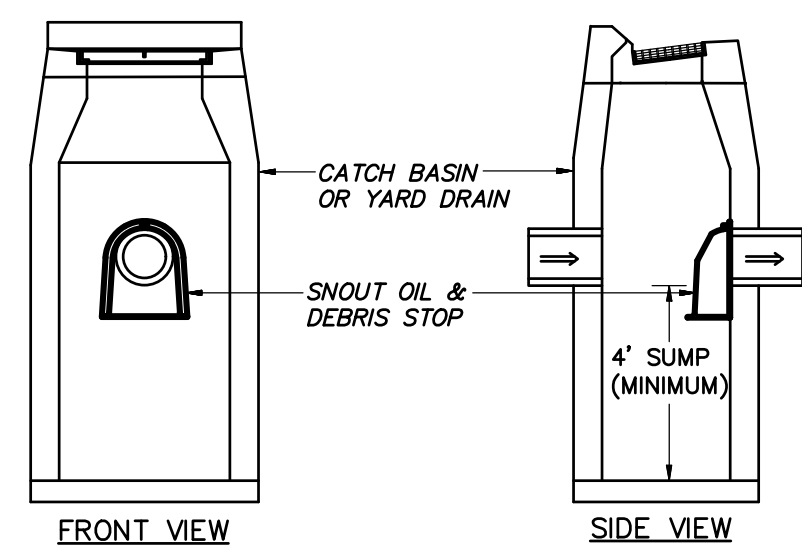


	T.F. ELEV.	OUTLET INFO	INLET INFO
OS1	152.75	24" RCP, F.L.=148.00	(2) 8" F.L.=149.00 (1) 10" F.L.=150.00
OS2	162.50	15" RCP, F.L.=159.00	(1) 6" F.L.=159.00
OS3	164.00	15" RCP, F.L.=159.00	(1) 6" F.L.=160.00

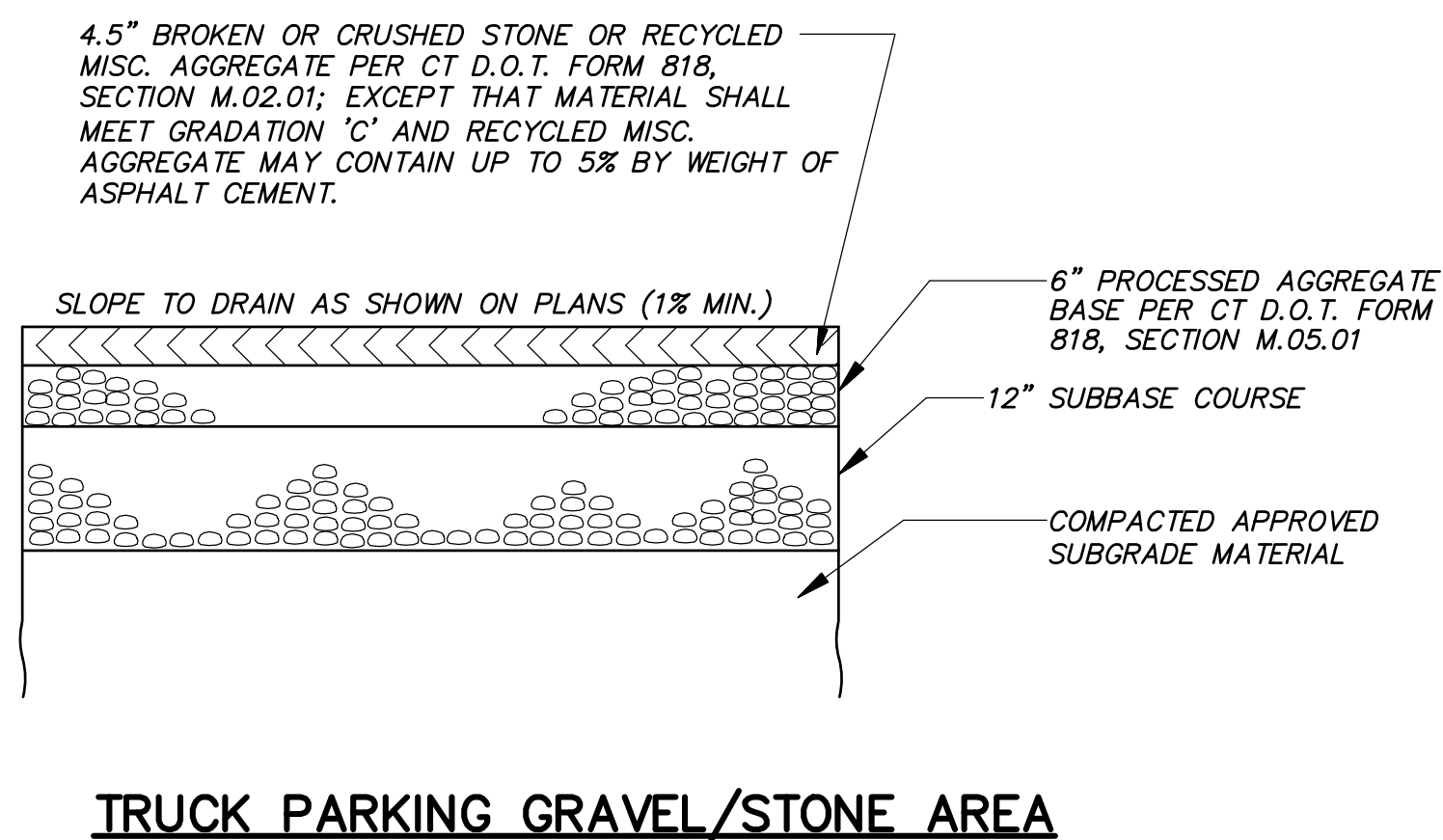


- NOTES:
- 18-INCH HOOD SHOWN.
  - USE APPROPRIATE SIZE HOOD FOR SPECIFIED OUTLET PIPE.

DESCRIPTION	DATE	SCALE
18\"/>		



- NOTES:
- CAST FLUSH VERTICAL SECTIONS IN CORBEL RISER TO FACILITATE INSTALLATION OF THE TRAP HOOD AGAINST A CONTINUOUS VERTICAL WALL WITHIN THE INTERIOR OF CATCHBASIN, AS REQUIRED.
  - CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS OF CATCHBASINS PRIOR TO CASTING CATCHBASINS TO HAVE 4' MINIMUM SUMPS.
  - INSTALL SIPHON RISER TUBE, PER MANUFACTURER'S RECOMMENDATIONS.



TRUCK PARKING GRAVEL/STONE AREA

**PERMIT - WETLANDS REGULATED ACTIVITY**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman \_\_\_\_\_ Date Signed \_\_\_\_\_

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by \_\_\_\_\_ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by \_\_\_\_\_ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to \_\_\_\_\_.

Received for filing on \_\_\_\_\_ by \_\_\_\_\_ Town Clerk

**SPECIAL PERMIT APPROVAL**

I hereby certify that at a meeting on \_\_\_\_\_, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section \_\_\_\_\_ of the East Granby Zoning Regulations.

Chairman \_\_\_\_\_ Date signed \_\_\_\_\_

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on \_\_\_\_\_ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

OWNER: Anthony Quisanti  
P.O. Box Z  
East Granby, CT 06026  
(860) 653-2551

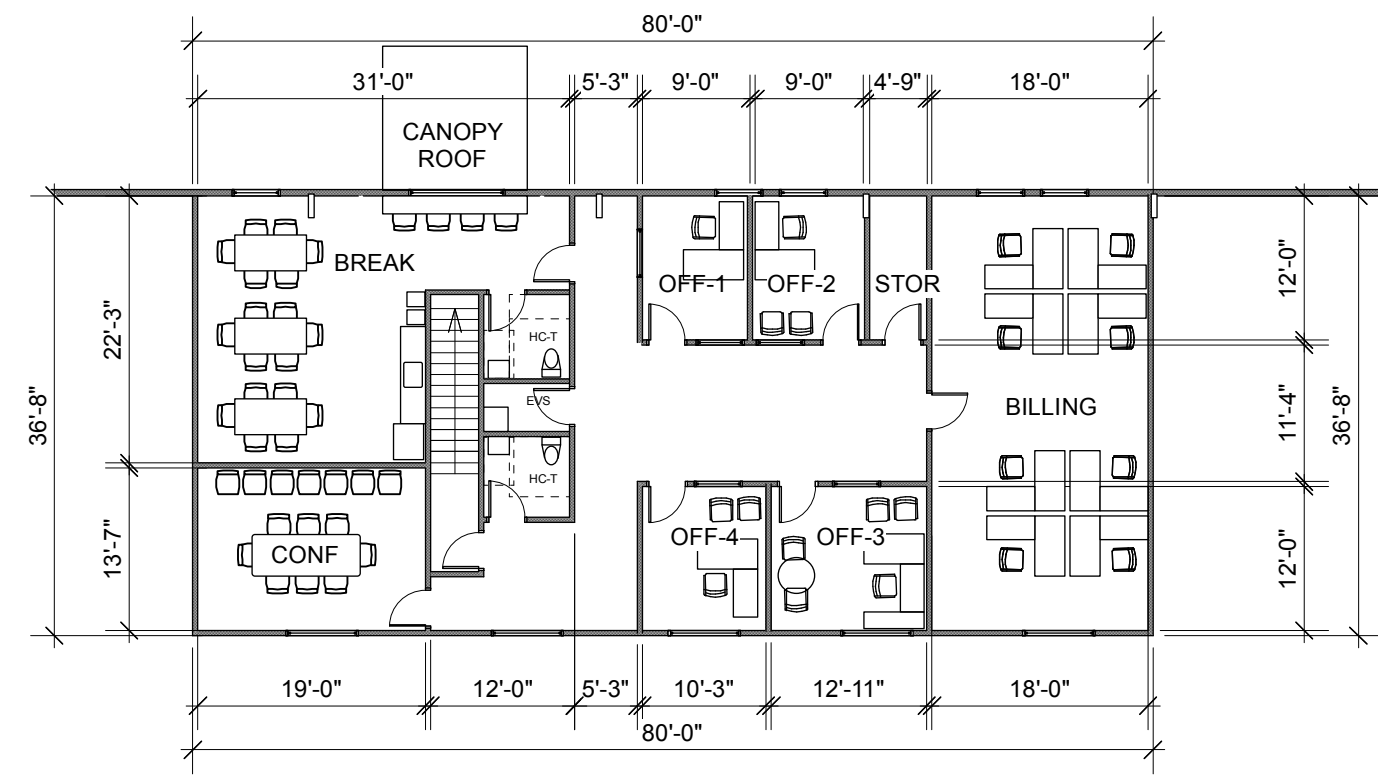
APPLICANT: Joneser's Express Transportation  
P.O. Box 872  
Windsor Locks, CT 06096  
(877) 966-3796

F.A.H. F. A. Hesketh & Associates, Inc.  
3 Creamery Brook, East Granby, CT 06026  
Phone (860) 653-8000 Fax (860) 844-8600  
www.fahsketh.com www.fahsketh.com

Scale: N.T.S.  
Date: 09-29-2023  
Job no: 23145  
Sheet no: 4 OF 4

SD-4

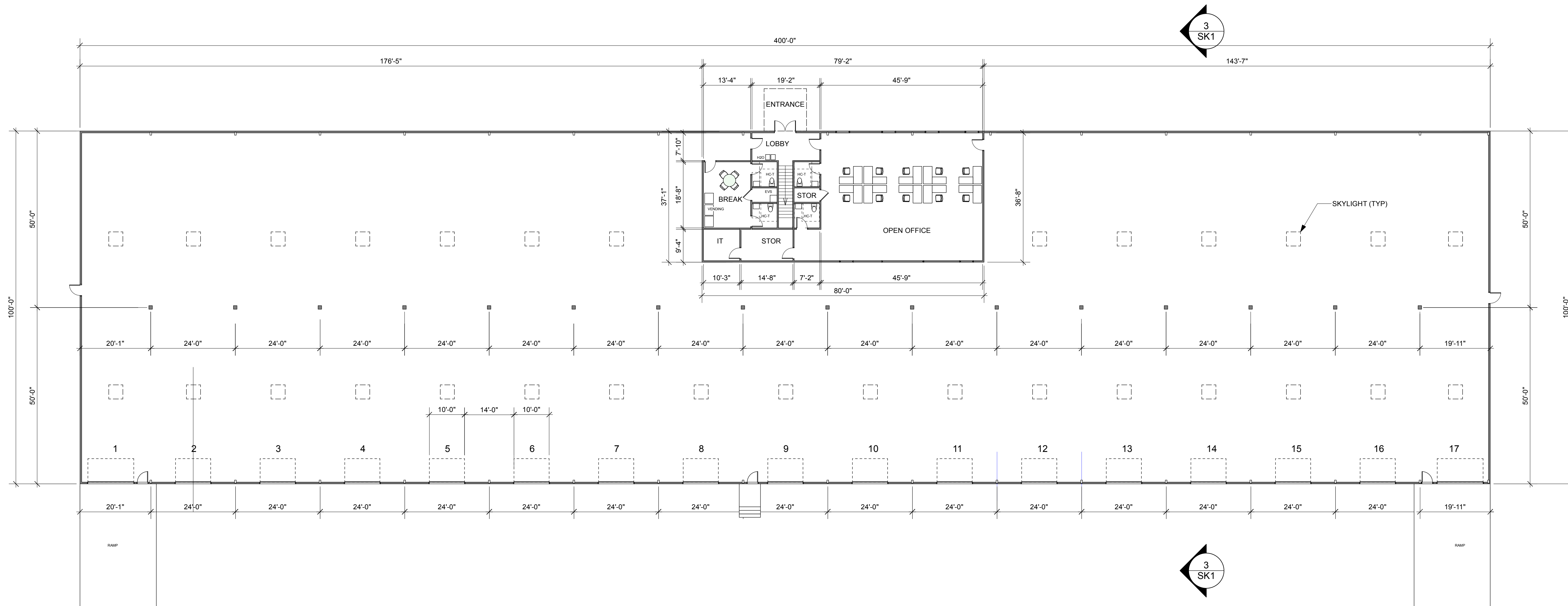




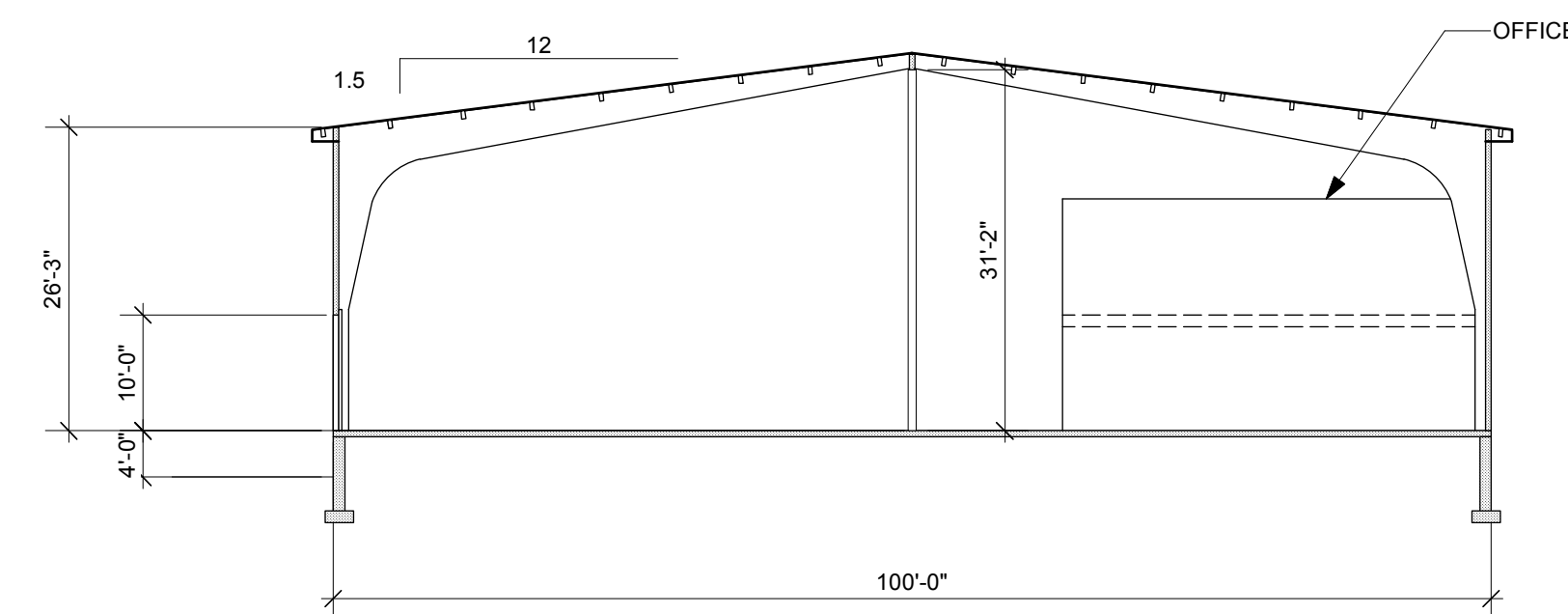
2  
SK-1 SCHEMATIC SECOND FLOOR PLAN  
Scale: 1/16" = 1'-0"

AREA CALCULATIONS

1ST FLOOR OFFICE	2,928 SF
2ND FLOOR OFFICE	2,928 SF
TOTAL OFFICE	5,856 SF
TOTAL WAREHOUSE	37,072 SF



1  
SK-1 SCHEMATIC FIRST FLOOR PLAN  
Scale: 1/16" = 1'-0"



3  
SK-1 SCHEMATIC SECTION  
Scale: 1/16" = 1'-0"

No.	Date	Issue Notes

Design Firm: VINCENT BABAK ARCHITECTURE LLC  
71 WHITFIELD STREET #2D  
GUILFORD, CT 06437  
860-604-4118

Consultant:  

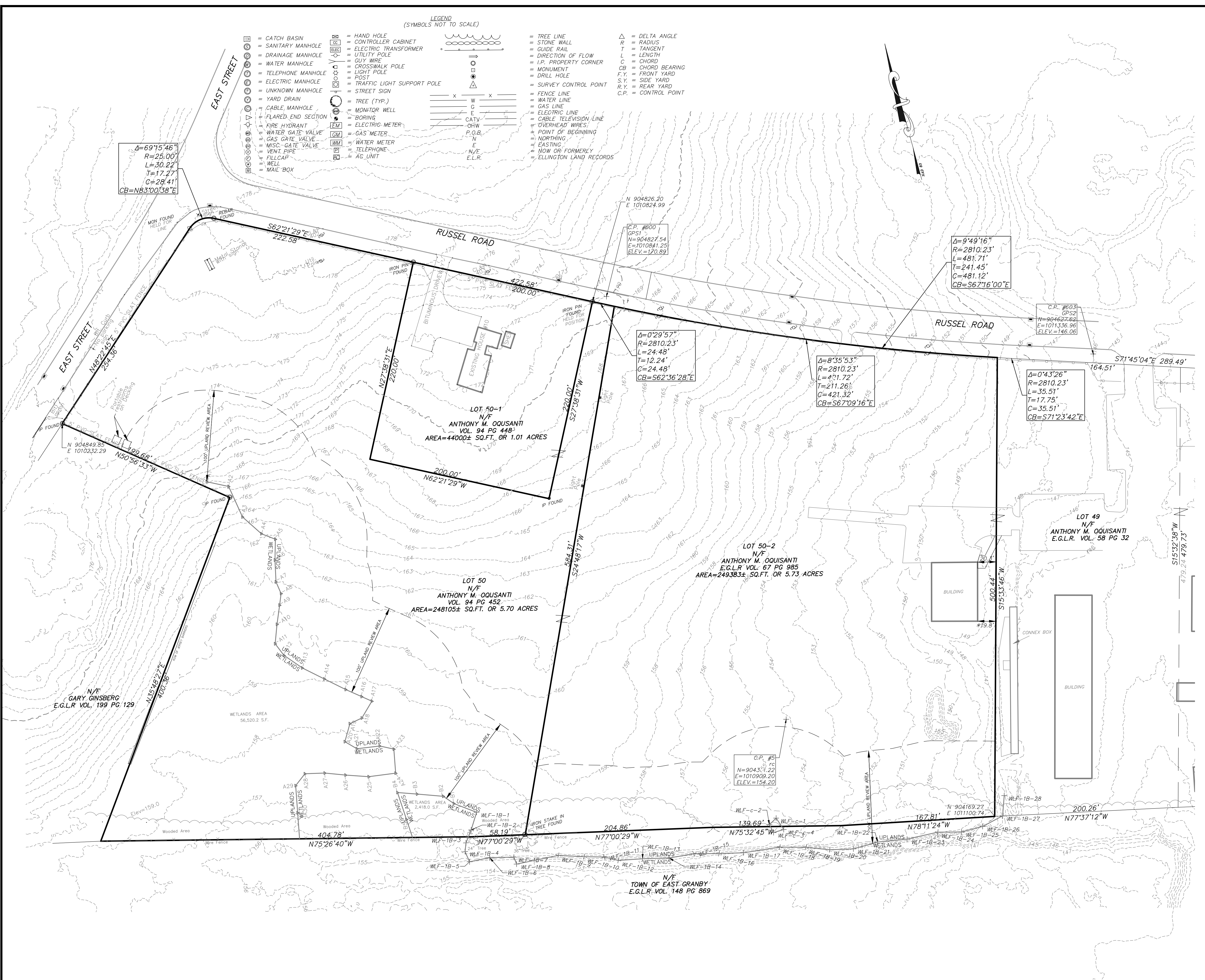
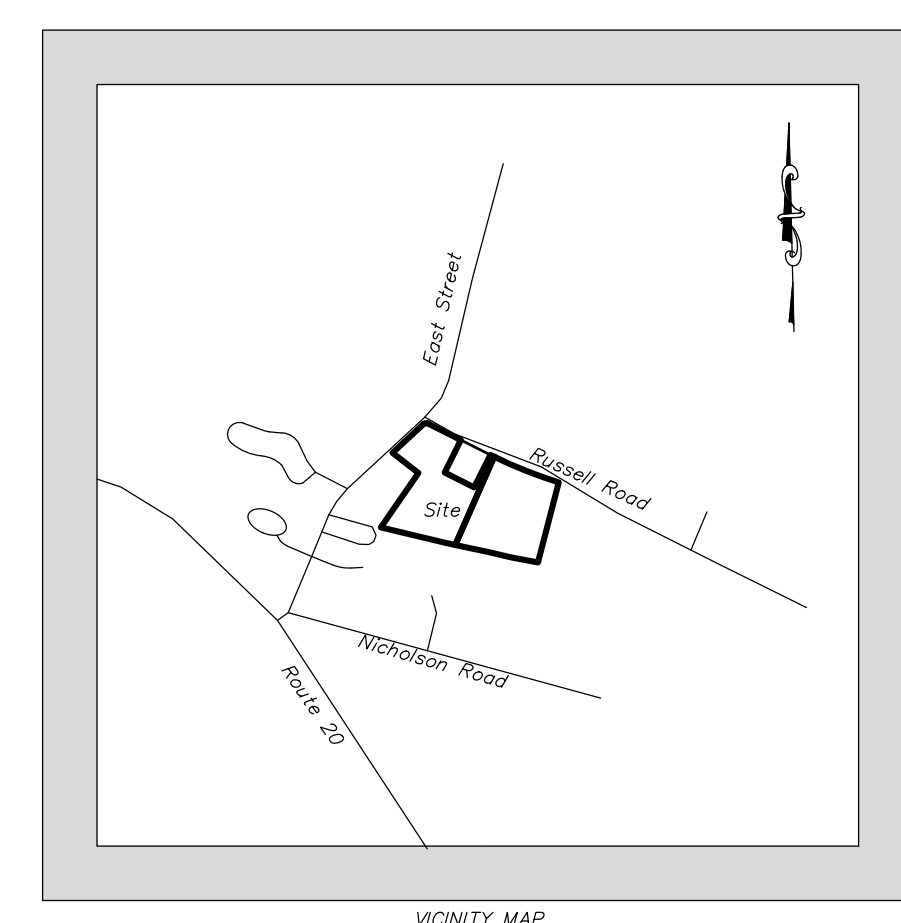
Project Title: NEW WAREHOUSE  
JONESER'S EXPRESS TRANSPORTATION

Sheet Title: SCHEMATIC FIRST FLOOR PLAN  
SCHEMATIC SECOND FLOOR PLAN

Project Manager: VB	Project ID: JET EAST GRANBY
Drawn By: VB	Scale: 1:96
Reviewed By: VB	Sheet No. SK-1
Date: 9/22/23	of 1
CAD File Name: JET.E.GRANBY.20230922.rvt	1

**LEGEND (SYMBOLS NOT TO SCALE)**

<ul style="list-style-type: none"> <li>○ = CATCH BASIN</li> <li>○ = SANITARY MANHOLE</li> <li>○ = DRAINAGE MANHOLE</li> <li>○ = WATER MANHOLE</li> <li>○ = TELEPHONE MANHOLE</li> <li>○ = ELECTRIC MANHOLE</li> <li>○ = UNKNOWN MANHOLE</li> <li>○ = YARD DRAIN</li> <li>○ = CABLE MANHOLE</li> <li>○ = FLARED END SECTION</li> <li>○ = FIRE HYDRANT</li> <li>○ = WATER GATE VALVE</li> <li>○ = GAS GATE VALVE</li> <li>○ = MISC. GATE VALVE</li> <li>○ = VENT PIPE</li> <li>○ = FILL CAP</li> <li>○ = WELL</li> <li>○ = MAIL BOX</li> </ul>	<ul style="list-style-type: none"> <li>○ = HAND HOLE</li> <li>○ = CONTROLLER CABINET</li> <li>○ = UTILITY POLE</li> <li>○ = GUY WIRE</li> <li>○ = CROSSWALK POLE</li> <li>○ = LIGHT POLE</li> <li>○ = POST</li> <li>○ = TRAFFIC LIGHT SUPPORT POLE</li> <li>○ = STREET SIGN</li> <li>○ = TREE (TYP.)</li> <li>○ = MONITOR WELL</li> <li>○ = BORING</li> <li>○ = ELECTRIC METER</li> <li>○ = GAS METER</li> <li>○ = WATER METER</li> <li>○ = FILL CAP</li> <li>○ = AC UNIT</li> </ul>	<ul style="list-style-type: none"> <li>○ = TREE LINE</li> <li>○ = GUIDE RAIL</li> <li>○ = DIRECTION OF FLOW</li> <li>○ = I.P. PROPERTY CORNER</li> <li>○ = MONUMENT</li> <li>○ = DRILL HOLE</li> <li>○ = SURVEY CONTROL POINT</li> <li>○ = FENCE LINE</li> <li>○ = WATER LINE</li> <li>○ = GAS LINE</li> <li>○ = ELECTRIC LINE</li> <li>○ = CABLE TELEVISION LINE</li> <li>○ = OVERHEAD WIRES</li> <li>○ = POINT OF BEGINNING</li> <li>○ = NORTHING</li> <li>○ = EASTING</li> <li>○ = NOW OR FORMERLY</li> <li>○ = ELLINGTON LAND RECORDS</li> </ul>	<ul style="list-style-type: none"> <li>△ = DELTA ANGLE</li> <li>R = RADIUS</li> <li>T = TANGENT</li> <li>L = LENGTH</li> <li>C = CHORD</li> <li>CB = CHORD BEARING</li> <li>F.Y. = FRONT YARD</li> <li>S.Y. = SIDE YARD</li> <li>R.Y. = REAR YARD</li> <li>C.P. = CONTROL POINT</li> </ul>
--	--	--	--

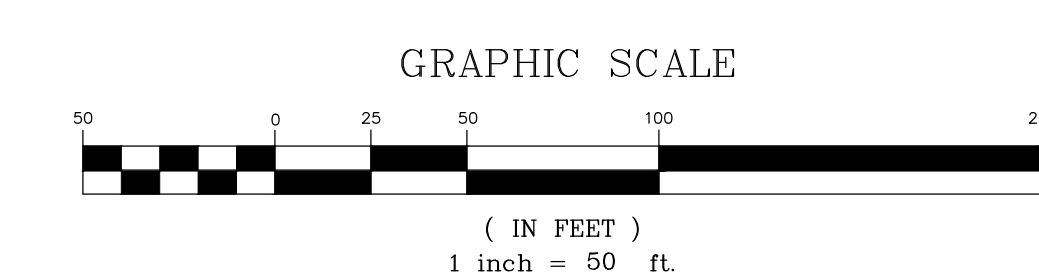


- NOTES:**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
  - IT IS A PROPERTY/TOPOGRAPHIC SURVEY INTENDED TO BE USED FOR PRELIMINARY PLANNING PURPOSES AND TO LOCATE WETLAND FLAGS SET BY A CERTIFIED WETLANDS SOIL SCIENTIST.
  - THIS SURVEY FALLS INTO THE BOUNDARY RESURVEY DETERMINATION CATEGORY.
  - THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS AND T-D TOPOGRAPHIC ACCURACY STANDARDS.
  - THE SUBJECT PARCELS ARE CURRENTLY OWNED BY ANTHONY M. OQUISANTI VOL. 67 PG. 985, VOL. 94 PG. 448, AND VOL. 94 PG. 452.
  - THE SUBJECT PARCEL IS LOCATED IN THE COMMERCE PARK TRANSITION ZONE IN THE TOWN OF EAST GRANBY, CT, BASED THE TOWN OF EAST GRANBY ZONING MAP, ADOPTED ON APRIL 30, 1993 WITH AMENDMENTS TO OCTOBER 2022.
  - BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83). ELEVATIONS (IF ANY) DEPICTED HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE BASED UPON OPUS RAPID STATIC OBSERVATIONS PERFORMED ON AUGUST 1, 2023, RESULTING IN THE FOLLOWING VALUES. CONTROL POINT #600 N=904827.54, E=1010841.25, ELEV.=170.89' AND CONTROL POINT #603 N=904627.62, E=1011366.96, ELEV.=146.06'.
  - WETLAND FLAGS A-1 TO A-30 AND B-1 TO B-4 DEPICTED HEREON ARE BASED UPON MAP REFERENCE #2. WETLAND DELINEATION FLAG SERIES 1B-1 TO 1B-28 AND C-1 TO C-4 WERE PLACED BY WILLIAM A. JACKSON, L.E.P. ON 7/15/2023 AND 7/20/2023.
  - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROLE TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- MAP REFERENCES:**
- AGRICULTURAL ZONE PROPERTY OF JENNIE M. CAGUE ESTATE OF MAITLAND J. CAGUE 10 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' FEBRUARY 1989 SANDERSON & WASHBURN
  - SITE PLAN ANTHONY M. OQUISANTI 22 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 40' MAY 1984 SANDERSON AND WASHBURN
  - LOT LINE REVISION PROPERTY OF ANTHONY M. OQUISANTI & MARK OQUISANTI 18-22 & 30 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' DECEMBER 5, 2018 BARRESI ASSOCIATES, LLC
  - PROPERTY SURVEY PROPERTY OF RONCARI INDUSTRIES, INC. RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' 9/23/03 CLOSE JENSON & MILLER, P.C.

**COMMERCE PARK TRANSITION ZONE**

ZONING DISTRICT	MINIMUM REQUIRED LOT AREA (S.F.)	MAXIMUM PERMITTED LOT WIDTH (FT)	MINIMUM REQUIRED YARDS (FT.)			MAX. BLDG. COVERAGE	MAX. PERMITTED HEIGHT
			FRONT	SIDE	REAR		
CPT	80,000	N/A	100	30	30	65%	45 FT

\*NON-CONFORMING TO CURRENT ZONING REGULATIONS, SEE CT GENERAL STATUTE 8-13a



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

TODD S. HESKETH LS 17945

PROPERTY/TOPOGRAPHIC SURVEY  
 PROPERTY OF  
**ANTHONY M. OQUISANTI**  
 RUSSELL ROAD  
 EAST GRANBY, CONNECTICUT  
 Date: 05-25-2023 Drawn by: WKD Job no: 23145  
 Scale: 1" = 50' Checked by: TSH Sheet no: 1 OF 1  
 Q:\2023\23145 - East Russell Road\SURVEY\BASE MAP 2023-09-29.dwg, layout: Sep. 2023 - 3:24:03 PM

Revisions:  
 Description  
 No. Date

**F. A. Hesketh & Associates, Inc.**  
 3 Creamery Brook, East Granby, CT 06026  
 Phone (860) 653-8000 Fax (860) 844-8600  
 www.fahesketh.com mail@fahesketh.com  
**FAH**  
 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

**ILP-1**