

J.E.T. WAREHOUSE and DISTRIBUTION CENTER

10 Russell Road

East Granby, Connecticut

Inland Wetlands & Special Permit Application

September 29, 2023

Revised thru December 22, 2023



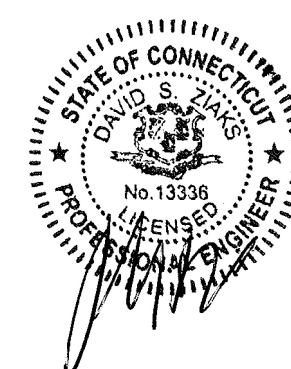
VICINITY MAP
(1" = 2000')

DEVELOPMENT TEAM

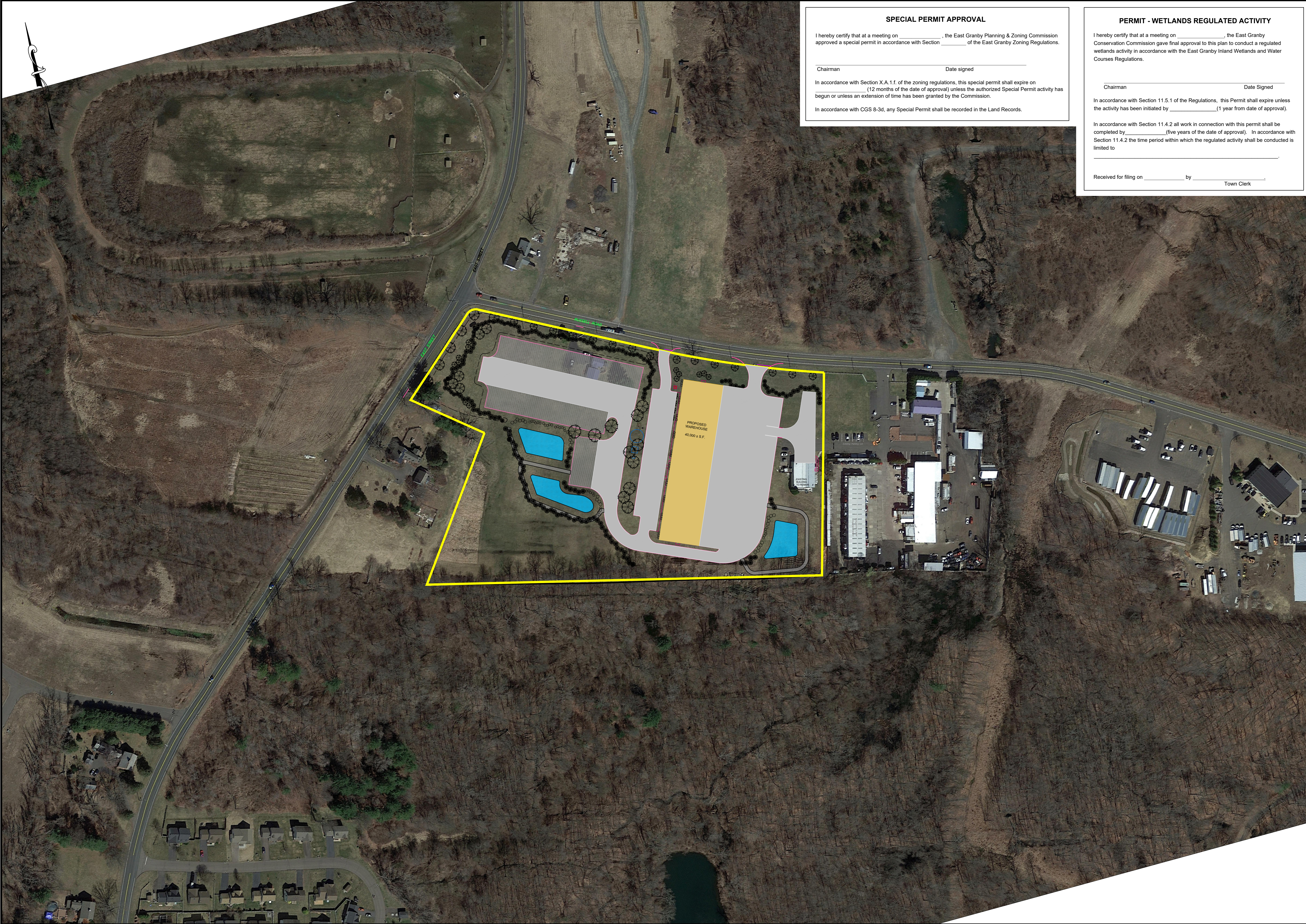
Property Owner	Anthony Oquisanti
Applicant/Developer	Joneser's Express Transportation
Building Design	Centek Engineering, Inc.
Civil Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	F. A. Hesketh & Associates, Inc.
Wetland Consultant	Jackson Environmental, LLC

LIST OF DRAWINGS

	Title Sheet
AP-1	Area Plan
LA-1	Layout Plan
LS-1 thru LS-3	Landscape Plan
GR-1 GR-2	Grading, Drainage and Utility Plan Subsurface Disposal Design
EC-1	Soil Erosion & Sedimentation Control Plan
SD-1 thru SD-4	Site Details
NT-1	Notes
ILP-1	Property/Topographic Survey
SL-1 & SL-2	Site Lighting Plan
	Architectural Plans



David S. Ziaks P.E. #13336



SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

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PERMIT - WETLANDS REGULATED ACTIVITY

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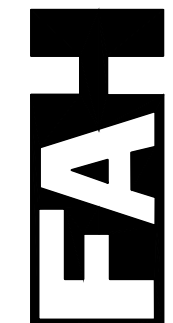
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Received for filing on _____ by _____
Town Clerk

AP-1	AREA PLAN PREPARED FOR Joneser's Express Transportation 10 RUSSELL ROAD EAST GRANBY, CONNECTICUT Date: 09-29-2023 Drawn by: RJK Job no: 23145 Scale: 1" = 100' Checked by: DSZ Sheet no: 1 of 1 <small>Q:\2023\23145 - East Russell Road\Submital 2023-09-29\VP-1 2023-09-29.dwg, VP-1, Sep. 28, 2023 - 12:35:54 PM</small>	Revisions: <table border="1"> <thead> <tr> <th>No.</th> <th>Date</th> <th>Description</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	No.	Date	Description												
	No.	Date	Description														
APPLICANT: Joneser's Express Transportation P.O. Box 872 Windsor Locks, CT 06096 (877) 966-3796	OWNER: Anthony Quisenti P.O. Box Z East Granby, CT 06026 (860) 653-2551	F. A. Hesketh & Associates, Inc. 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects www.fahesketh.com - mail@fahesketh.com															



SIGNAGE AND PAVEMENT MARKING NOTES

1. Stop bars shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818-M.07.21
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau of Engineering and Highway Operations, Catalog of Signs", October 12, 2021. Contractor to confirm sign types prior to installation.
10. Additional fire lane markings and signage shall be installed as required by the Town of East Granby Fire Marshal.

CURB TYPE LEGEND

Symbol	Type
CONC.	Concrete Curb
BCLC	Bituminous Concrete Lip Curb

PAVEMENT TYPE

All new pavement shall be heavy duty except where indicated.

PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Centerline
SB	Painted Stop Bar (12 Inches Wide)
SGL	Painted Green Line (4 inches wide) "Kelly Green" Traffic Paint

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ZONING DATA TABLE

Zone: Commerce Park Transition
Use: Warehouse and Distribution Center

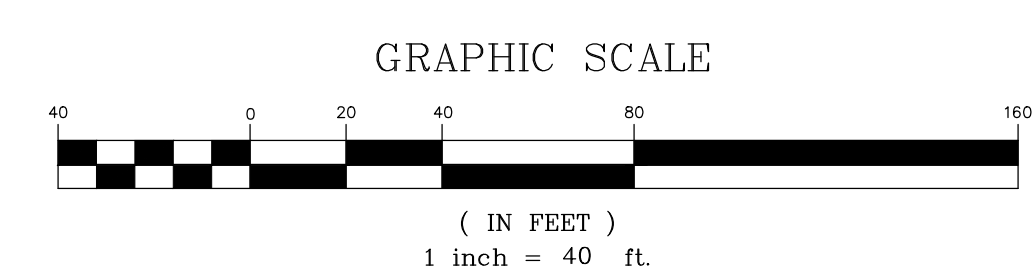
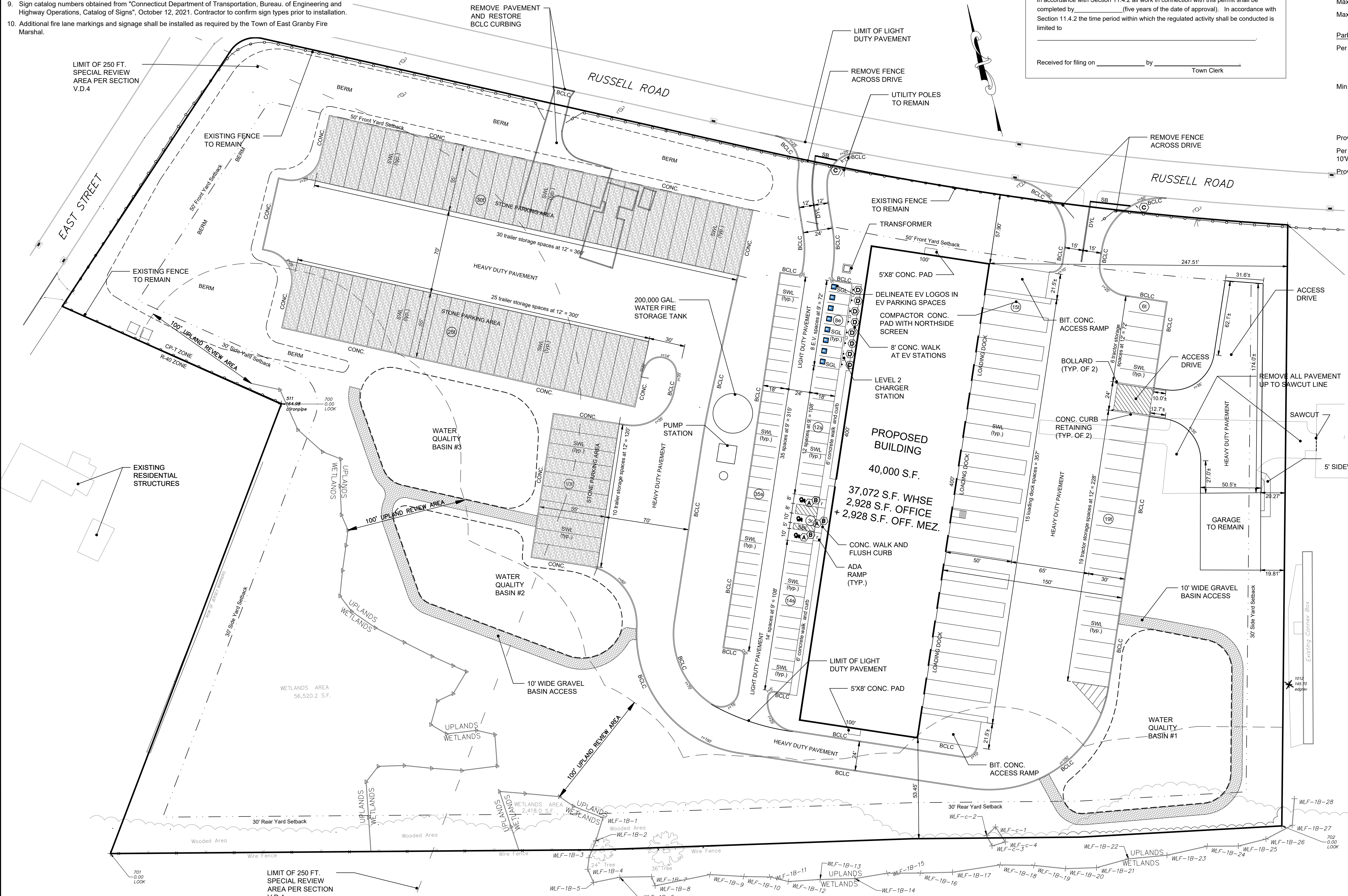
Regulation - Section V.D.6	Required	Proposed
Minimum Lot Area	80,000 Sq. Ft.	541,488 Sq. Ft.
Minimum Lot Frontage	100 Feet	1153± Feet
Minimum Front Yard	50 Feet	57.90 Feet
Minimum Side Yard	30 Feet	247.51 Feet
		19.81 Feet (existing)
Minimum Rear Yard	30 Feet	53.45 Feet
Maximum Lot Coverage	65 Percent	42.7 Percent
Maximum Building Height	35 Feet	2 Stories - 24 ± Feet

Parking and Loading Analysis

Per Section VII.B.2
Warehouse and storage, 0.5 spaces per 1,000 S.F.
Business Office, 4 spaces per 1,000 S.F.
Min. Rqd Parking Spaces
37,072 S.F. x 0.5 spaces/1,000 S.F. = 19 Spaces
5,856 S.F. x 4 spaces/1,000 S.F. = 24 Spaces
Total required = 43 Spaces
Provided Parking Spaces = 72 Spaces
Per Section VII.B.5 - Loading space = adequate number 10'Wx25'Lx14'H
Provided Loading Spaces = 92 spaces 12'Wx55'Lx14'H

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
(A)		New Reserved Sign (CT Building Code)	3
(B)		31-0648	2
(C)		31-0532	2
(D)		CUSTOM (12" X 18")	8



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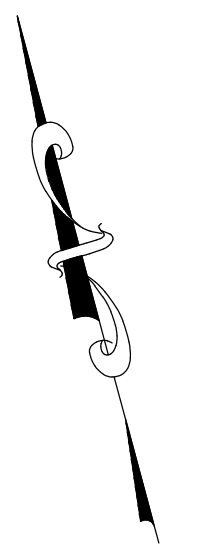
Revisions:

No.	Date	Description
11-09-2023	11-09-2023	Misc. Revisions

LAYOUT PLAN
PREPARED FOR
Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1
Road/Submitter: 2023\2023-11-09\LA-1 2023-11-09.dwg, LA-1, Nov. 09, 2023 = 10:45:40 AM

F.A.H.
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects
www.fahhsketch.com



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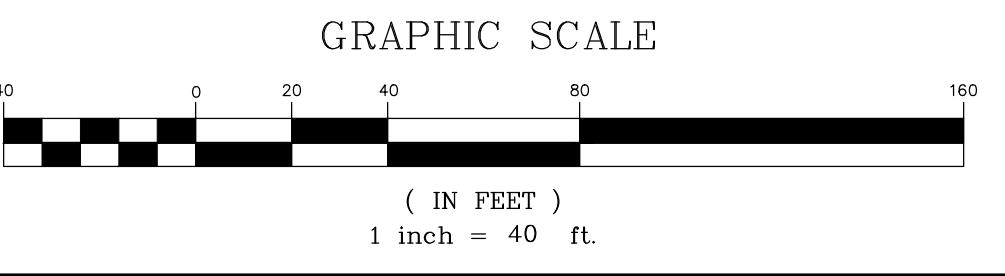
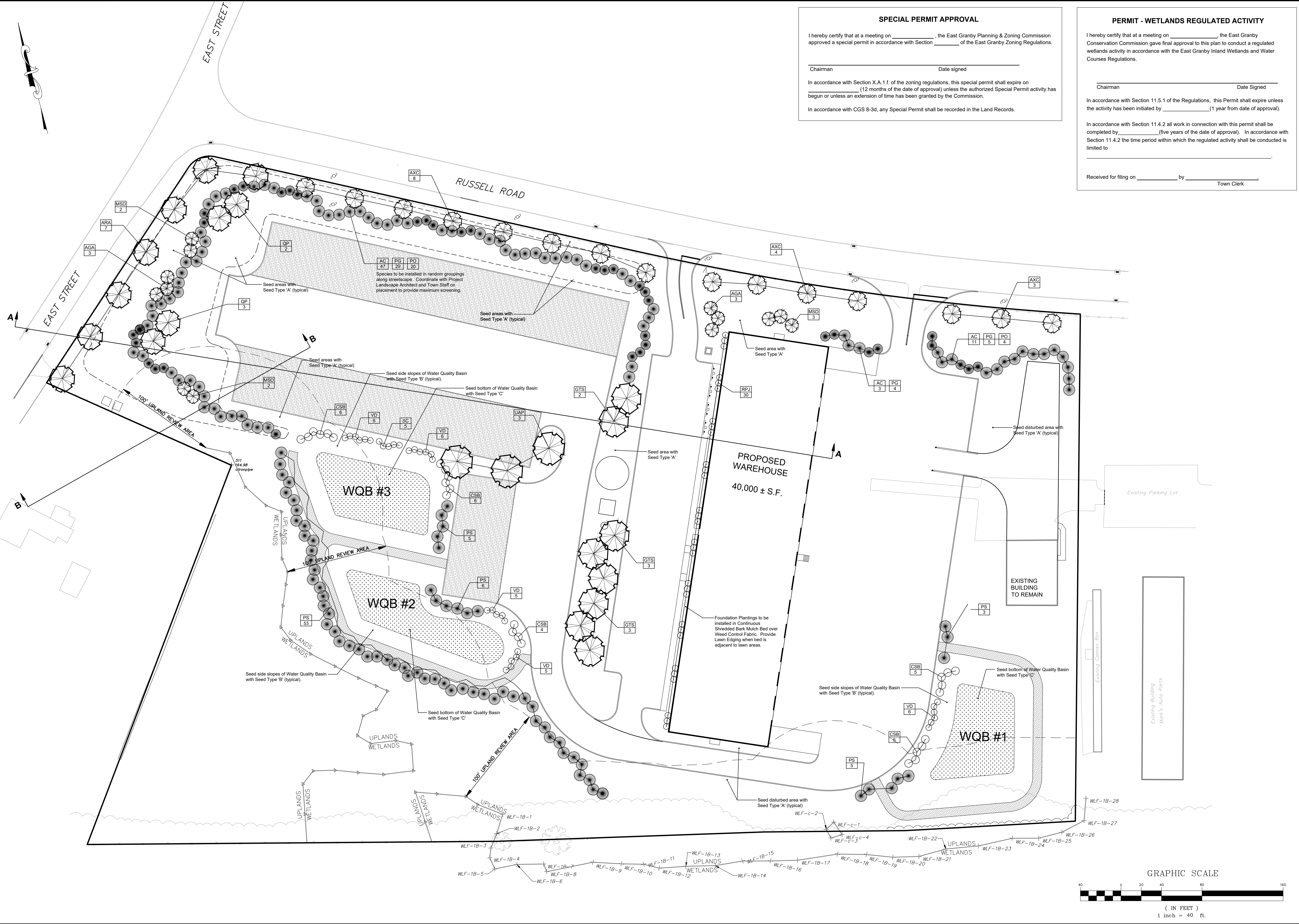
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No.	Date	Description

LANDSCAPE PLAN
PREPARED FOR
Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145
Checked by: GAH Sheet no: 1 OF 3
Scale: 1" = 40'

LS-1

0:\2023\23145 - East Russell Road\Submit\2023-09-29\LS-1 2023-09-29.dwg, LS-1, Sep. 28, 2023 8:26:38 AM

LANDSCAPE SCHEDULE

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AXA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	7	3 to 3 1/2 inch caliper	Balled and Burlapped	50 Feet
AXC	<i>Acer x freemanii</i> 'Celebration'	Celebration Maple	15	3 to 3 1/2 inch caliper	Balled and Burlapped	45 Feet
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	8	2 1/2 to 3 inch caliper	Balled and Burlapped	40 Feet
QP	<i>Quercus palustris</i>	Pin Oak	5	2 1/2 to 3 inch caliper	Balled and Burlapped	60 Feet
UAP	<i>Ulmus americana</i> 'Princeton'	Princeton American Elm	3	2 1/2 to 3 inch caliper	Balled and Burlapped	70 Feet

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AGA	<i>Amelanchier x grand</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet
MSD	<i>Malus x</i> 'Snowdrift'	Snowdrift Crabapple	7	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AC	<i>Abies concolor</i>	White Fir	61	5 to 6 foot height	Balled and Burlapped	50 Feet
PG	<i>Picea glauca</i>	White Spruce	39	5 to 6 foot height	Balled and Burlapped	50 Feet
PO	<i>Picea omorika</i>	Serbian Spruce	24	5 to 6 foot height	Balled and Burlapped	55 Feet
PS	<i>Pinus strobus</i>	Eastern White Pine	74	5 to 6 foot height	Balled and Burlapped	60 Feet

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CSB	<i>Cornus sericea</i> 'Bailey'	Bailey's Red Twig Dogwood	26	18 to 24 inch height	#3 Container	8 Feet
SC	<i>Sambucus canadensis</i>	Elderberry	5	18 to 24 inch height	#3 Container	10 Feet
VD	<i>Viburnum dentatum</i>	Arrowwood	28	18 to 24 inch height	#3 Container	8 Feet

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
RPJ	<i>Rhododendron x</i> 'P.J.M.'	P.J.M. Rhododendron	30	18 to 24 inch spread	#3 Container	5 Feet

SEED TYPES

Seed Type A - General Lawn

Sun & Shade Mixture
 By: Jonathan Green or approved equal
 Seed rate: 25 pounds per 9,375 square feet
 20% Darkstar II Perennial Ryegrass
 20% Carmen Chewings Fescue
 15% Deepblue Kentucky Bluegrass
 15% Eugene Creeping Red Fescue
 15% Yorkshire Dales Perennial Ryegrass
 15% Salisbury Chewings Fescue

Seed Type B - Conservation Mix

New England Erosion Control / Restoration Mix
 By: New England Wetland Plants, Inc. or approved equal
 Seed rate: 35 pounds per Acre
 Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-marigold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)

Seed Type C - WetMix

New England Wetmix
 by New England Wetland Plants, Inc.
 www.newp.com
 413-548-8000
 Application Rate: 1 lbs per 2,500 square feet
 Fox Sedge (*Carex vulpinoidea*), Hop Sedge (*Carex lupulina*), Bearded Sedge (*Carex comosa*), Lurid Sedge (*Carex lurida*), Nodding Bur Marigold (*Bidens cernua*), Soft Rush (*Juncus effusus*), Grass-leaved Goldenrod (*Solidago graminifolia*), Blue Vervain (*Verbena hastata*), Boneset (*Eupatorium perfoliatum*), Flat-top Aster (*Aster umbellatus*), Hard-stem Bultush (*Scirpus acutus*), Green Bultush (*Scirpus atrovirens*), Woolgrass (*Scirpus cypripinus*), Sensitive Fern (*Onoclea sensibilis*), Spotted Joe-Pye Weed (*Eupatorium maculatum*), Water Plantain (*Alisma plantago-aquatica*), Soft-Stem Bultush (*Scirpus validus*), Dilch Stonecrop (*Penthorum sedoides*)

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FAH
 Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

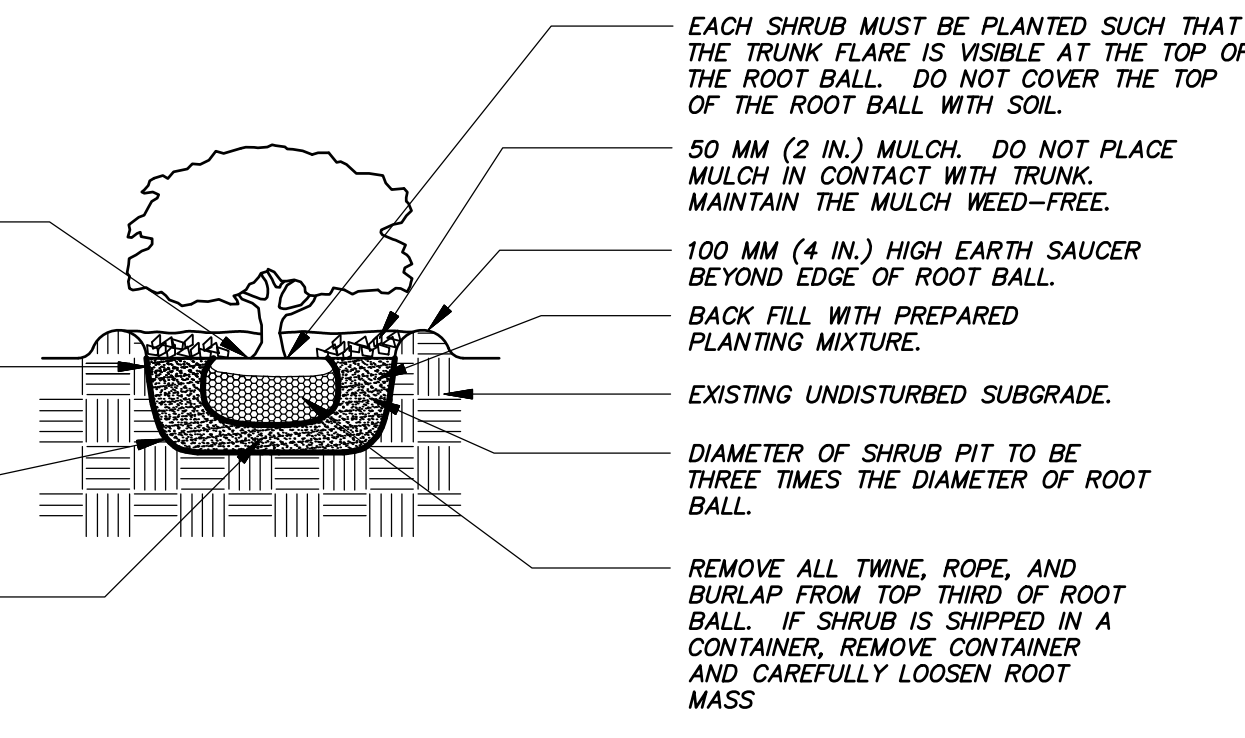
FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



SHRUB PLANTING DETAIL
 N. T.S.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

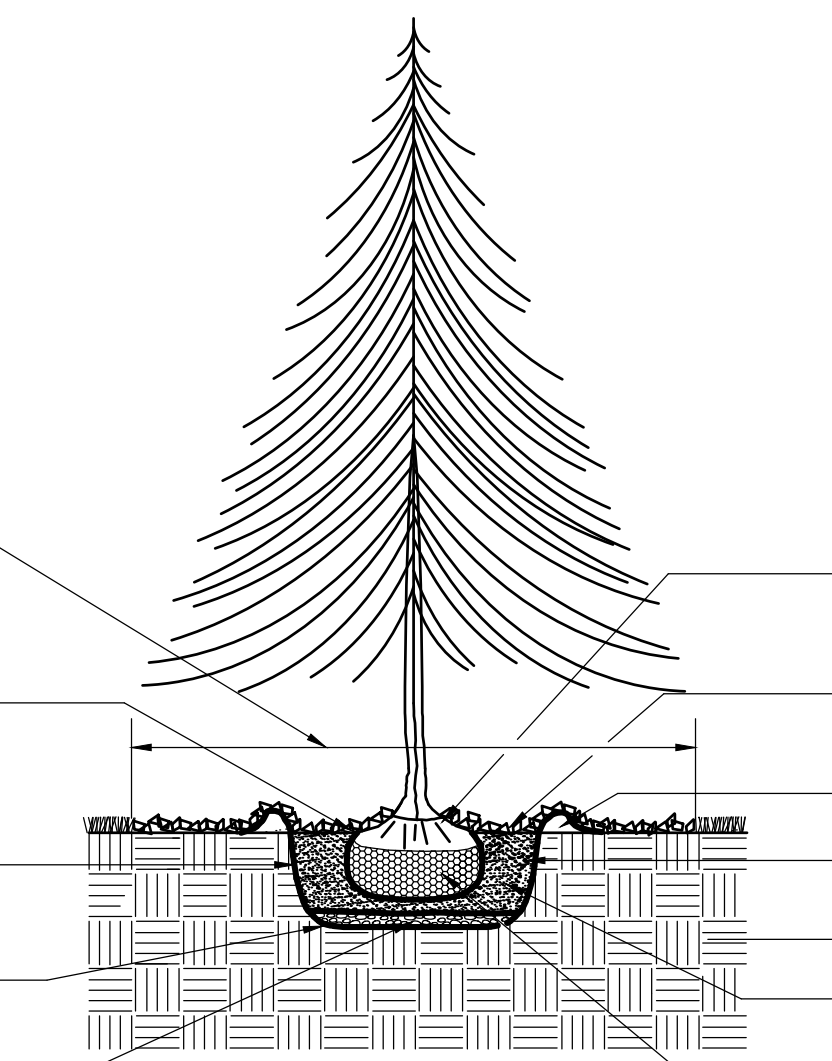
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



EVERGREEN B&B TREE PLANTING DETAIL
 N. T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

EXISTING UNDISTURBED SUBGRADE.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

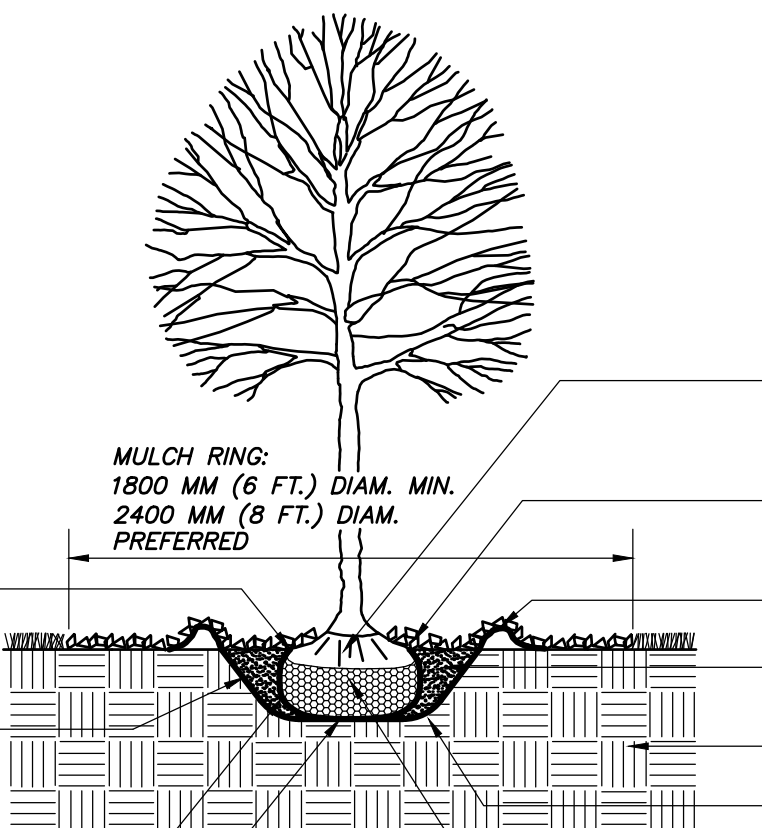
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



B&B TREE PLANTING DETAIL
 N. T.S.

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

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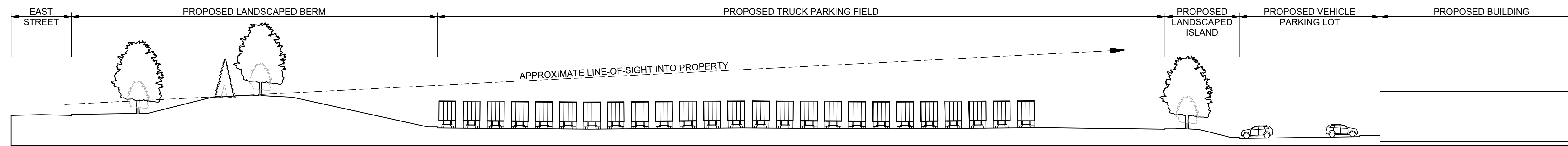
No.	Date	Description

LANDSCAPE SCHEDULE, DETAILS AND NOTES

PREPARED FOR
Joneser's Express Transportation
 10 RUSSELL ROAD
 EAST GRANBY, CONNECTICUT

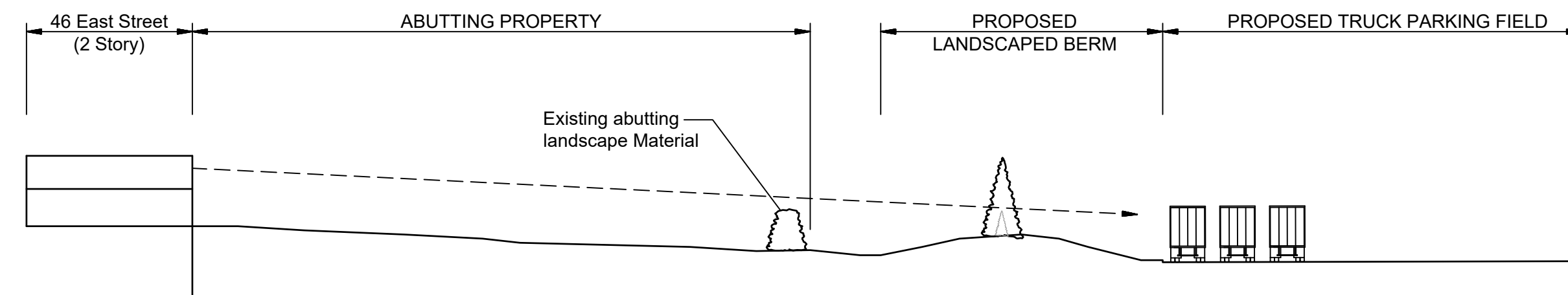
Date: 09-29-2023 Drawn by: DRT Job no: 23145
 Scale: NO SCALE Checked by: GAH Sheet no: 2 OF 3
 (Submitter: 2023\09-29\LS-1\2023-09-29.dwg, LS-2, Sep. 24, 2023 - 4:40:24 PM)

LS-2



CROSS SECTION A:A THRU LANDSCAPE BERM

SCALE: 1" = 30'



CROSS SECTION B:B THRU LANDSCAPE BERM

SCALE: 1" = 30'

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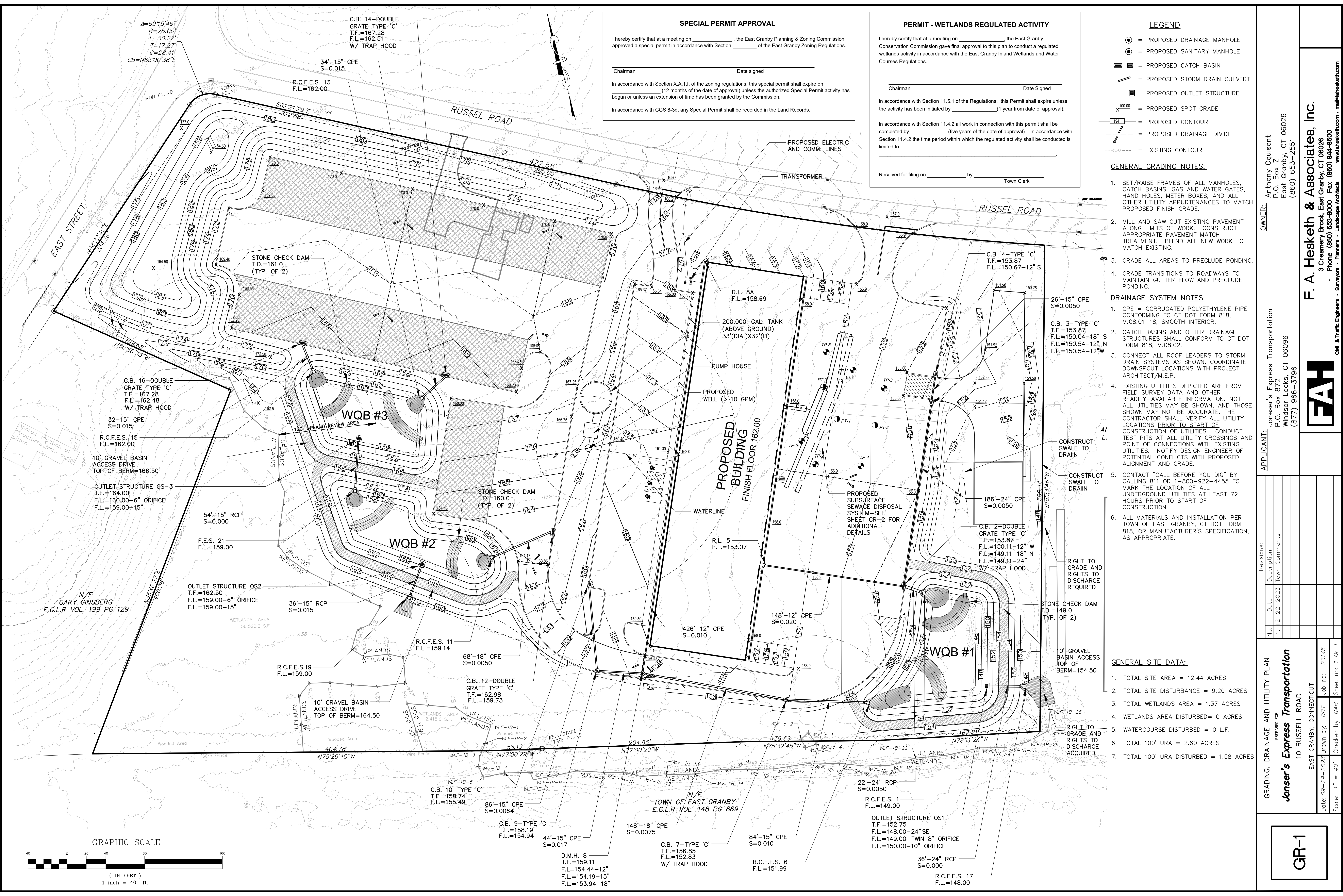
PREPARED FOR: Joneser's Express Transportation
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Date: 09-29-2023 Drawn by: DFT Job no: 23145
Checked by: GAH Sheet no: 3 OF 3
Scale: 1" = 30'

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Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects
www.fahhsketh.com

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahhsketh.com mail@fahhsketh.com

LANDSCAPE CROSS SECTIONS

LS-3



SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.1. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____

Received for filing on _____ by _____ Town Clerk

- LEGEND**
- = PROPOSED DRAINAGE MANHOLE
 - = PROPOSED SANITARY MANHOLE
 - ▣ = PROPOSED CATCH BASIN
 - = PROPOSED STORM DRAIN CULVERT
 - ▣ = PROPOSED OUTLET STRUCTURE
 - X 100.00 = PROPOSED SPOT GRADE
 - = PROPOSED CONTOUR
 - - - = PROPOSED DRAINAGE DIVIDE
 - - - = EXISTING CONTOUR

- GENERAL GRADING NOTES:**
- SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
 - MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. CONSTRUCT APPROPRIATE PAVEMENT MATCH TREATMENT. BLEND ALL NEW WORK TO MATCH EXISTING.
 - GRADE ALL AREAS TO PRECLUDE PONDING.
 - GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW AND PRECLUDE PONDING.

- DRAINAGE SYSTEM NOTES:**
- CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT FORM 818, M.08.01-18, SMOOTH INTERIOR.
 - CATCH BASINS AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CT DOT FORM 818, M.08.02.
 - CONNECT ALL ROOF LEADERS TO STORM DRAIN SYSTEMS AS SHOWN. COORDINATE DOWNSPOUT LOCATIONS WITH PROJECT ARCHITECT/M.E.P.
 - EXISTING UTILITIES DEPICTED ARE FROM FIELD SURVEY DATA AND OTHER READILY-AVAILABLE INFORMATION. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY ALL UTILITY LOCATIONS PRIOR TO START OF CONSTRUCTION OF UTILITIES. CONDUCT TEST PITS AT ALL UTILITY CROSSINGS AND POINT OF CONNECTIONS WITH EXISTING UTILITIES. NOTIFY DESIGN ENGINEER OF POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE.
 - CONTACT "CALL BEFORE YOU DIG" BY CALLING 811 OR 1-800-922-4455 TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION.
 - ALL MATERIALS AND INSTALLATION PER TOWN OF EAST GRANBY, CT DOT FORM 818, OR MANUFACTURER'S SPECIFICATION, AS APPROPRIATE.

- GENERAL SITE DATA:**
- TOTAL SITE AREA = 12.44 ACRES
 - TOTAL SITE DISTURBANCE = 9.20 ACRES
 - TOTAL WETLANDS AREA = 1.37 ACRES
 - WETLANDS AREA DISTURBED = 0 ACRES
 - WATERCOURSE DISTURBED = 0 L.F.
 - TOTAL 100' URA = 2.60 ACRES
 - TOTAL 100' URA DISTURBED = 1.58 ACRES

OWNER: Anthony Quisenti
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East Granby, CT 06026
(860) 653-2551

APPLICANT: Jonser's Express Transportation
P.O. Box 872
Windsor Locks, CT 06096
(877) 966-3796

Revisions:

No.	Date	Description
1.	12-22-2023	Town Comments

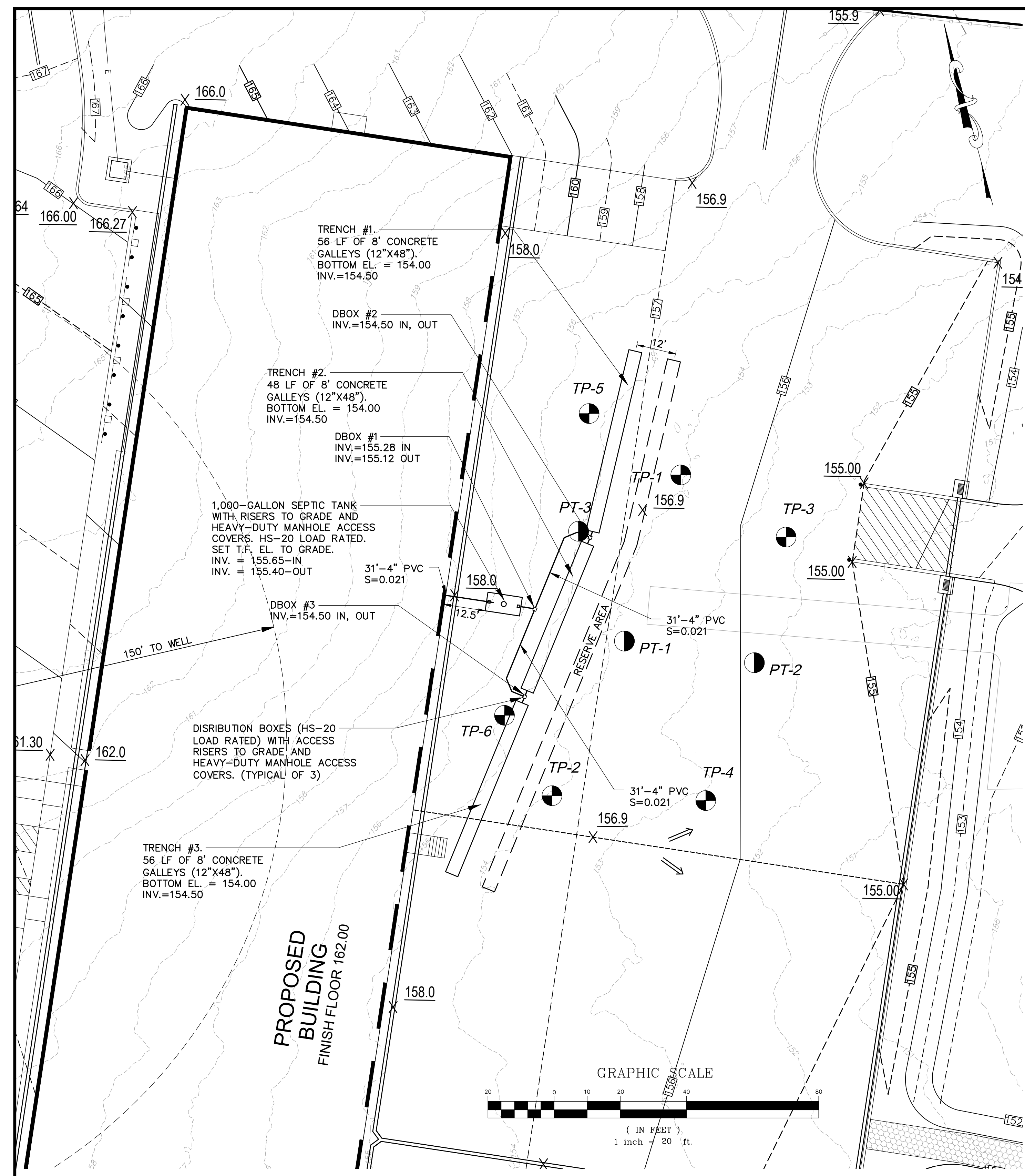
GRADING, DRAINAGE AND UTILITY PLAN

Jonser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1
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GR-1

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SEPTIC DESIGN COMPUTATIONS

Analysis Per CT Public Health Code On-site Sewage Disposal Regulations and Technical Standards for Subsurface Sewage Disposal Systems, January 2018, as revised. (CT PHC)
 Type of System: Commercial Building **

Office Space = 2,934 S.F. (second floor) + 2,420.94 (first floor)
 22 total office employees **

Warehouse and Distribution Space = 40,000 S.F.
 10 total warehouse employees **

Per Table 4 of CT PHC, design flow estimates:
 Office, per employee = 20 GPD **
 Warehouse and Distribution Space - None listed. (10 employees)

** Design flows may be reduced if documentation (building floor/plans, statement of use, etc.) supports the reduction.
 Calculated generated wastewater flow:

Office = 22 employees x 20 GPD/person = 440 GPD
 Warehouse/Dist. Space: 10 employees @ 20 GPD/person = 200 GPD
 Total estimated wastewater generation = 440 GPD + 200 GPD = 640 GPD

Required Septic Tank Capacity: 24 hour design flow = 640 GPD, or 1,000 Gallon minimum. Use 1,000 gallon tank

Per Table 8 of CT PHC:
 Percolation Rate = 20.1 to 30.0 minutes/inch
 Application Rate = 0.9 GPD per SF of ELA
 Required ELA = 640 GPD/0.9 GPD/SF = 712 SF

Required Leaching Area to meet ELA:
 Using 12" Concrete Leaching Galleys @ 5.9 SF/LF
 LF Galleys Required = 712 SF/5.9 SF/LF = 120.7 LF
 number of galleys required = 120.7 LF/8 LF/Galley = 15.1 galleys
 MLSS Calculation: MLSS (feet) = HP x FF x PF

HF = 48
 Depth to Restrictive Layer: 18.0 - 22.0 inches,
 hydraulic gradient = 3'/87"=0.034%
 FF = Design flow (GDP) / 300 = 640/300 = 2.13
 PF = 1.5 ((20.1 - 30.0 min./inch)
 MLSS = 48 x 2.13 x 1.5 = 154 LF

Required Leaching Area to meet MLSS:
 Using 12" Concrete Leaching Galleys @ 8 LF/galley
 number of galleys required = 154 LF/8 LF/galley = 19 galleys
 Use 19 galleys in 7-6-7 configuration.

ELA provided = 20 galleys x 8 LF/galley x 5.9 SF/LF = 944 SF > 712 SF

LEGEND

- TP-3 = TEST PIT LOCATION AND I.D.
- PT-2 = PERC TEST LOCATION AND I.D.

PERC TEST RESULTS

PT-1	20.1 MIN./IN.
PT-2	49.0 MIN./IN.
PT-3	25.7 MIN./IN.

GENERAL NOTES

- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES BY CALLING "CALL-BEFORE-YOU-DIG" AT 1-800-922-4455 AT LEAST TWO WORKING DAYS IN ADVANCE.
- THE LOCATION OF ALL UTILITIES SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES ON THE SITE PRIOR TO THE START OF ANY CONSTRUCTION ACTIVITY AND NOTIFYING THE DESIGN SITE ENGINEER OF ANY ADJUSTMENTS TO THE PLANS WHICH ARE NECESSARY. TEST PITS MAY BE REQUIRED IN ORDER TO DETERMINE UNDERGROUND UTILITY LOCATIONS.
- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE STATE OF CONNECTICUT PUBLIC HEALTH CODE, JANUARY, 2018, AS AMENDED, STATE OF CONNECTICUT DOT FORM 818, AS AMENDED, AND ALL REQUIREMENTS OF THE FARMINGTON VALLEY HEALTH DISTRICT (FVHD).
- CONSTRUCTION SHALL BE PERFORMED BY A LICENSED SEPTIC SYSTEM INSTALLER.
- STRIP ALL TOPSOIL AND ANY NOTED FILL SOILS OVER AREA OF PROPOSED SEPTIC LEACHFIELDS, INCLUDING FIVE FEET UP-GRADE, DOWN-GRADE AND ALONG SIDES OF GALLEYS. SCARIFY SUBSOILS AND INSTALL CT DOT SELECT FILL TO PROPOSED GRADE OF BOTTOM OF GALLEY UNITS OVER FOOTPRINT.
- INSTALL RISERS AND MANHOLE ACCESS COVERS (HEAVY-DUTY) ON SEPTIC TANK ACCESS PORTS AND ALL DISTRIBUTION BOXES TO PROVIDE ACCESS FROM FINISH GRADE.
- INSTALL FLOW EQUALIZERS ON ALL OUTLET PIPES.
- INSTALL EFFLUENT FILTER ON OUTLET PIPE OF SEPTIC TANK. (POLYLOCK PL-22 OR APPROVED ALTERNATE)
- CONTRACTOR SHALL COORDINATE FIELD OBSERVATIONS, EARTHWORK AND INSTALLATION OF THE SEPTIC SYSTEM WITH THE SANITARIAN AND THE DESIGN ENGINEER.
- CONTRACTOR TO PROVIDE BALLAST AS REQUIRED TO COUNTERACT BUOYANCY EFFECTS RELATED TO SEASONAL HIGH GROUNDWATER CONDITIONS.
- CONTRACTOR TO PROCURE ALL NECESSARY PERMITS FROM TOWN DEPARTMENTS AND THE FVHD PRIOR TO INITIATING CONSTRUCTION.
- PROPOSED SEPTIC SYSTEM LOCATION AND ELEVATION TO BE STAKED BY THE DESIGN ENGINEER.

DOH SELECT FILL MATERIAL SPECIFICATION

SELECT FILL PLACED WITHIN AND ADJACENT TO LEACHING SYSTEM AREAS SHALL BE COMPRISED OF CLEAN SAND, OR SAND AND GRAVEL, FREE FROM ORGANIC MATTER AND FOREIGN SUBSTANCES. THE SELECT FILL SHALL MEET THE FOLLOWING REQUIREMENTS UNLESS OTHERWISE APPROVED BY THE DESIGN ENGINEER. SELECT FILL EXCEEDING 6% PASSING THE #200 SIEVE BASED ON A WET SIEVE TEST CANNOT BE APPROVED BY THE DESIGN ENGINEER.:

- THE SELECT FILL SHALL NOT CONTAIN ANY MATERIAL LARGER THAN THE THREE (3) INCH SIEVE.
- UP TO 45% OF THE DRY WEIGHT OF THE REPRESENTATIVE SAMPLE MAY BE RETAINED ON THE #4 SIEVE. NOTE: THIS IS THE GRAVEL PORTION OF THE SAMPLE.
- THE MATERIAL THAT PASSES THE #4 SIEVE IS THEN REWEIGHED AND THE SIEVE ANALYSIS STARTED.
- THE REMAINING SAMPLE SHALL MEET THE FOLLOWING GRADATION CRITERIA:

SIEVE SIZE	PERCENT PASSING	
	WET SIEVE	DRY SIEVE
#4	100	100
#10	70-100	70-100
#40	10-50*	10-75
#100	0-20	0-5
#200	0-5	0-2.5

*PERCENT PASSING THE #40 SIEVE CAN BE INCREASED TO NO GREATER THAN 75% IF THE PERCENT PASSING THE #100 SIEVE DOES NOT EXCEED 10% AND THE #200 SIEVE DOES NOT EXCEED 5%.

DOH-APPROVED STONE AGGREGATE SPEC.

STONE AGGREGATE UTILIZED IN LEACHING SYSTEMS SHALL MEET THE FOLLOWING GRADATIONS FOR EITHER NO. 4 OR NO. 6 STONE AGGREGATE.

SIEVE SIZE	NO. 4 STONE AGGREGATE (A.K.A. 1 1/4" STONE)	NO. 6 STONE AGGREGATE (A.K.A. 3/4" STONE)
	PERCENT PASSING (BY WEIGHT)	PERCENT PASSING (BY WEIGHT)
2-INCH	100	N/A
1.5-INCH	90-100	N/A
1-INCH	20-55	100
3/4-INCH	0-15	90-100
1/2-INCH	N/A	20-55
3/8-INCH	0-5	0-15
#4	N/A	0-5
#40	0-3	0-3
#200	0-1.5	0-1.5

PRELIMINARY - FOR REVIEW

TEST PIT DATA

TEST PIT I.D.	SOIL PROFILE
TP-1	
Ap 0-16"	TOPSOIL, DARK BROWN FINE SANDY LOAM, VERY FRIABLE, MOIST
B 16-26"	LIGHT BROWN FINE SANDY LOAM, FIRM, MOIST
C 26-84"	REDDISH-BROWN FINE SANDY LOAM, VERY FIRM, MOIST
REDOX FEATURES NOTED AT 26" NO GROUNDWATER, NO LEDGE, NO ROOTS	
TP-2	
Ap 0-14"	TOPSOIL/MIX, DARK BROWN FINE SANDY LOAM, VERY FRIABLE, MOIST
B 14-25"	LIGHT BROWN FINE SANDY LOAM, FIRM, MOIST
C1 25-48"	LIGHT BROWN FINE SANDY LOAM, VERY FIRM, MOIST, GREY AND RUST-COLORED REDOX FEATURES THROUGHOUT
C2 48-72"	REDDISH COMPACT TILL
REDOX FEATURES NOTED AT 25" GROUNDWATER @ 68", NO LEDGE, NO ROOTS	
TP-3	
Ap 0-10"	TOPSOIL, DARK BROWN FINE SANDY LOAM, VERY FRIABLE, MOIST
B 10-20"	LIGHT BROWN FINE SANDY LOAM, FIRM, MOIST
C1 20-72"	REDDISH-BROWN FINE SANDY LOAM, VERY FIRM, MOIST TO SATURATED.
REDOX FEATURES NOTED AT 16"-18" FAINT NO GROUNDWATER, NO LEDGE, NO ROOTS	
TP-4	
Ap 0-10"	TOPSOIL, DARK BROWN FINE SANDY LOAM, VERY FRIABLE, MOIST
B 10-26"	TAN/BROWN FINE SANDY LOAM, FIRM, MOIST
C1 26-84"	TAN/GREY FINE SANDY LOAM /LOAMY FINE SAND, VERY FIRM, MOIST
REDOX FEATURES NOTED AT 24-26" NO GROUNDWATER, NO LEDGE, NO ROOTS	
TP-5	
A 0"	FILL SOILS
B 0"-19"	EVIDENCE OF RESIDUAL TOPSOIL (DARK ORGANIC STAINING)
C 19"-60"	RED HARD-PACK SANDY LOAM TILL WITH GRAVEL, FIRM, MOIST.
NO NOTED REDOX FEATURES GROUNDWATER SEEPS NOTED AT 28" BELOW A HORIZON (40" FROM GROUND SURFACE), NO LEDGE, NO ROOTS	
TP-6	
AP 0"-10"	TOPSOIL, DARK BROWN FINE SANDY LOAM, VERY FRIABLE, MOIST
B 10"-26"	RED/BROWN LOAMY, GRAVELLY HARD-PACKED FINE SAND, FIRM, MOIST.
C1 26"-38"	LIGHT BROWN/TAN LOAMY LOAMY FINE SAND, FIRM MOIST.
C2 38"-60"	REDDISH GRAVELLY, LOAMY FINE SAND W/ STONES (RED TILL) FIRM, MOIST TO SATURATED
POSSIBLE REDOX FEATURES @ 24-26" NO GROUNDWATER, NO LEDGE, NO ROOTS	

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

OWNER: Anthony Quisanti
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 East Granby, CT 06026
 (860) 653-2351

APPLICANT: Joneser's Express Transportation
 P.O. Box 872
 Windsor Locks, CT 06096
 (877) 966-3796

PREPARED FOR: **Jonser's Express Transportation**
 10 RUSSELL ROAD
 EAST GRANBY, CONNECTICUT

Date: 12-22-2023 Drawn by: DRT Job no: 23145
 Checked by: GAH Sheet no: 2 OF 2
 Scale: 1" = 20'

Subsurface Sewage Disposal System Plan
 GR-2

F.A.H. **F. A. Hesketh & Associates, Inc.**
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Received for filing on _____ by _____ Town Clerk _____

- LEGEND - PROPOSED**
- = CATCH BASIN
 - = SANITARY MANHOLE
 - = DRAINAGE MANHOLE
 - = STORM DRAIN CULVERT
 - = SPOT GRADE
 - = CONTOUR
 - = CONSTRUCTION EXIT (CE)
 - = CATCH BASIN INLET PROTECTION (IP)
 - = SILT FENCE EROSION CONTROL (SFEC)
 - = SEDIMENT FENCE EROSION CONTROL (SFEC)
 - = SEDIMENTATION LOG (SL)
 - = TEMP. DIVERSION (TD)
 - = VEGETATIVE SWALES (GRSW)
 - = EROSION CONTROL BLANKET (ECB)
 - = INLET PROTECTION (IP)
 - = CONSTRUCTION ENTRANCE (CE)
 - = SILT FENCE EROSION CONTROL (SFEC)
 - = SEDIMENT LOG (SL)
 - = RIPRAP PLUNGE POOL (RRPP)
 - = TEMP. DIVERSION (TD)
 - = TEMP. SEDIMENT TRAP (TST)
 - = CLEARING LIMIT (CL)
 - = TEMP. SOIL STOCKPILE (TSS)
 - = SOIL TYPE FROM LEGEND
 - = RIPRAP LEVEL SPREADER (RRLS)

TEMPORARY SEDIMENT TRAPS

	ACRES	VOLUME REQUIRED *	
		CU	TOTAL (CF) WET STORAGE
TST-1	3.18	426	11512
TST-2	1.80	241	6515
TST-3	2.82	378	10199

* 134 CU PER ACRE TOTAL WITH A MIN. OF ONE HALF IN WET STORAGE

	VOLUME PROVIDED	
TST-1	22449	13441
TST-2	22009	13369
TST-3	30537	21288

SOIL TYPE LEGEND

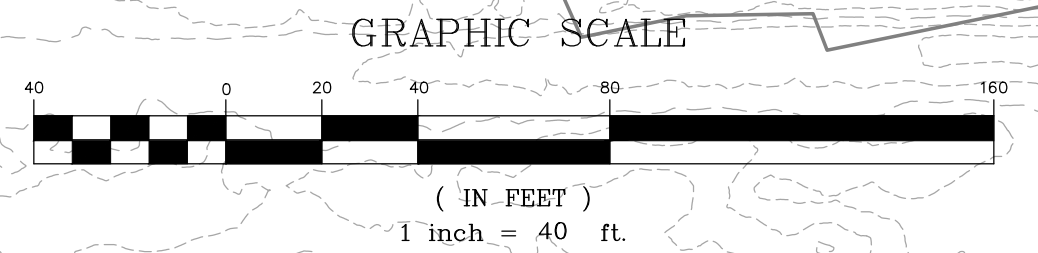
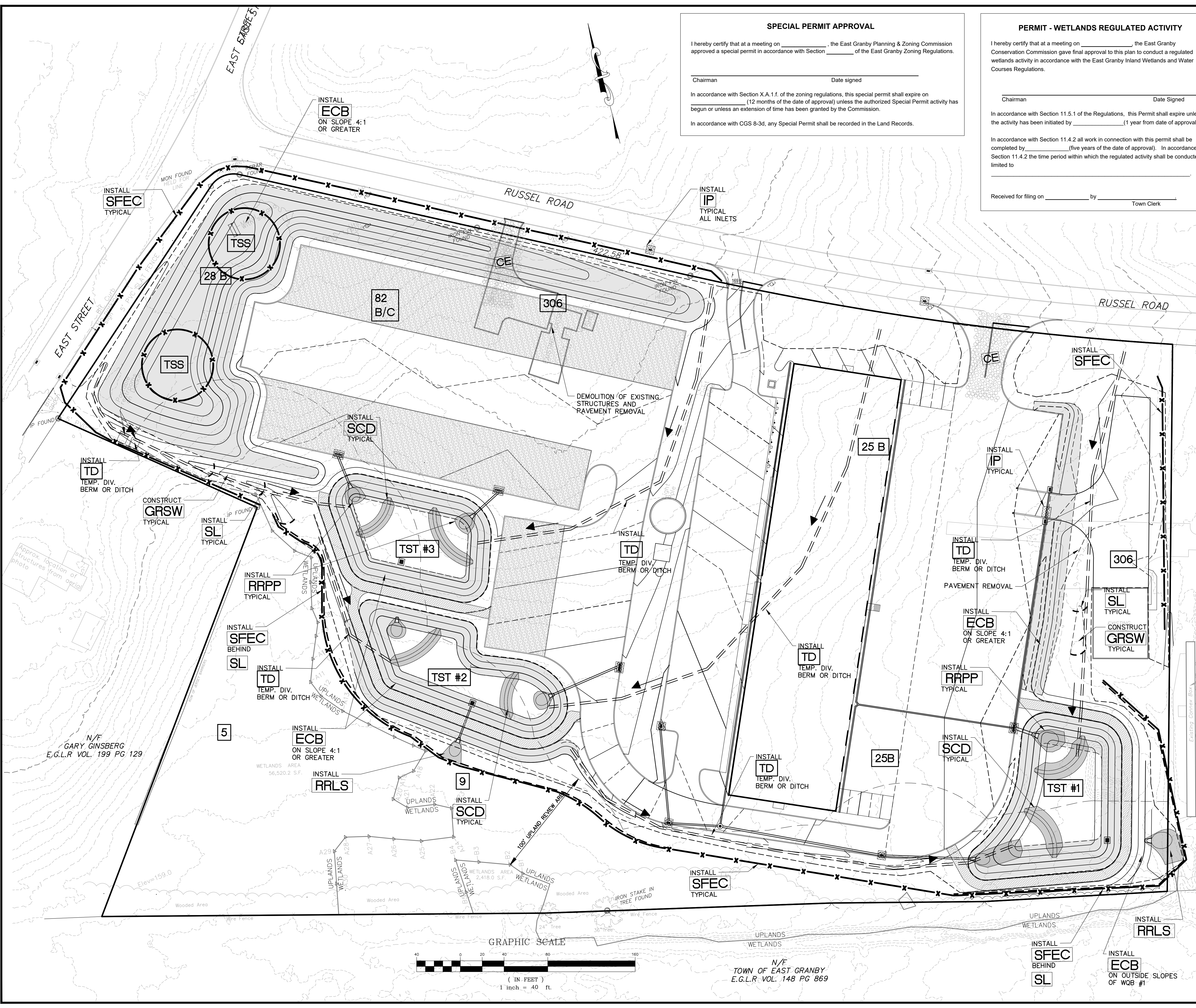
- 5 - Wilbraham Silt Loam, (0-3%) - Rating: C/D
- 9 - Scitico, Shaker, and Maybid Soils - Rating: D
- 25B - Brandcroft Silt Loam, (3-8%) - Rating: C
- 28B - Elmridge Fine Sandy Loam, (3-8%) - Rating: C
- 82B - Broadbrook Silt Loam, (3-8%) - Rating: C
- 82C - Broadbrook Silt Loam, (8-15%) - Rating: C
- 306 - Udorhents-Urban Land - Rating: B

RIP RAP PLUNGE POOL NOTE.

AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

DUST CONTROL MEASURES NOTE.

DURING SITE CONSTRUCTION, PROVIDE REQUIRED DUST CONTROL MEASURES ON BOTH THE SITE AND ALONG RUSSELL ROAD IN ACCORDANCE WITH CTDOT FORM 818, SECTIONS 9.39, 9.42 & 9.43, OR AS OTHERWISE DIRECTED BY THE TOWN.



N/F
TOWN OF EAST GRANBY
E.G.L.R. VOL. 148 PG 869

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Revisions:

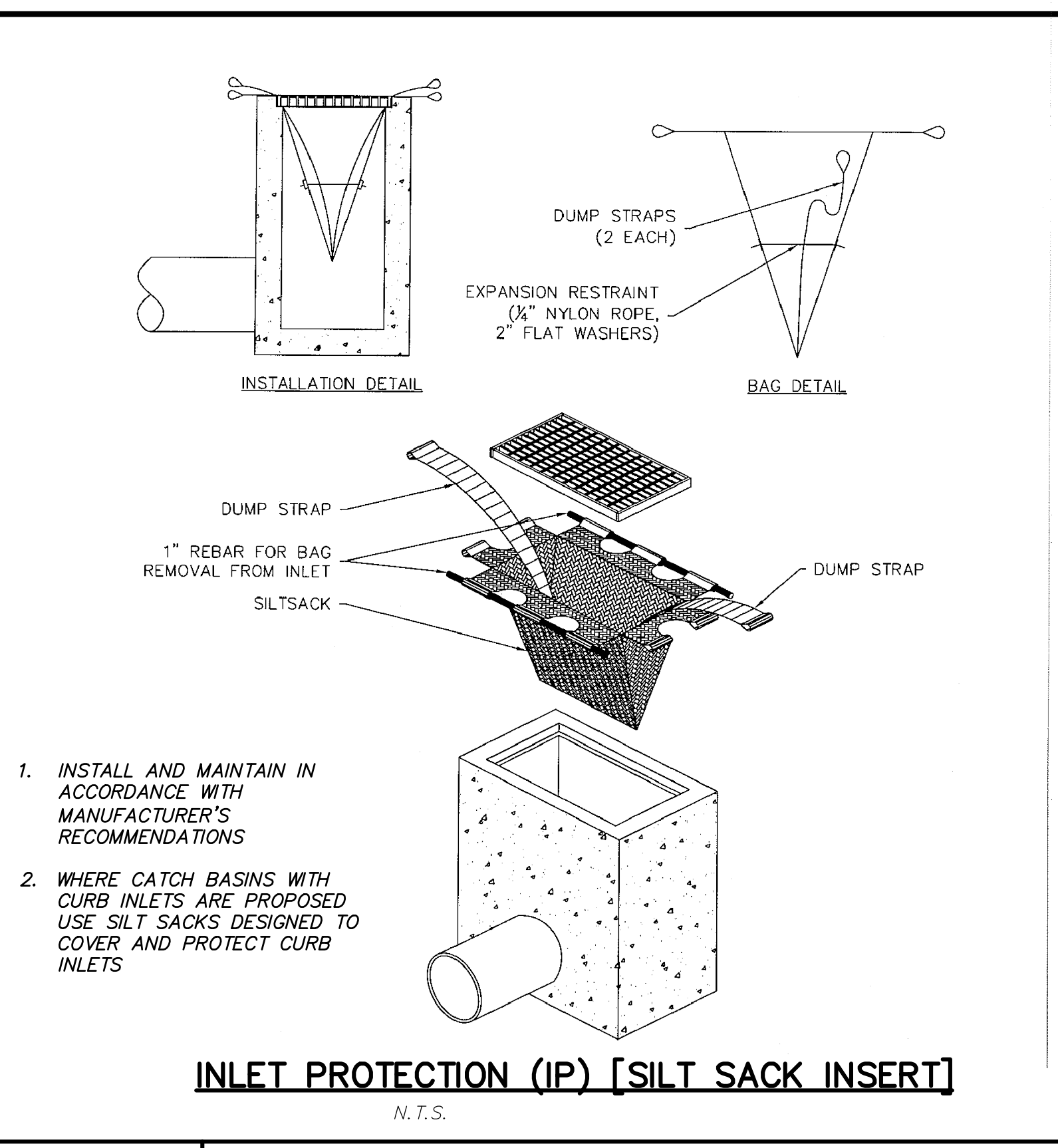
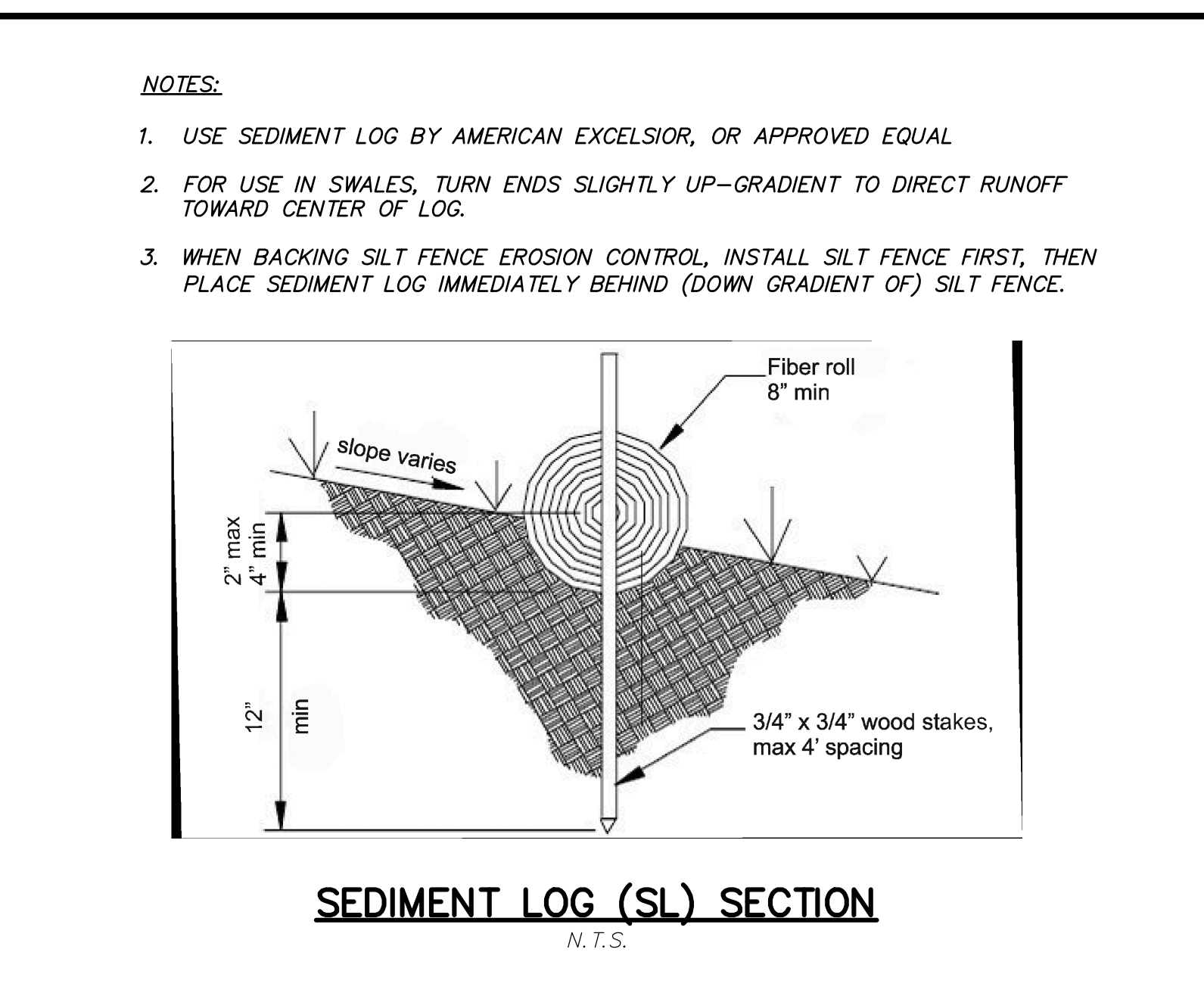
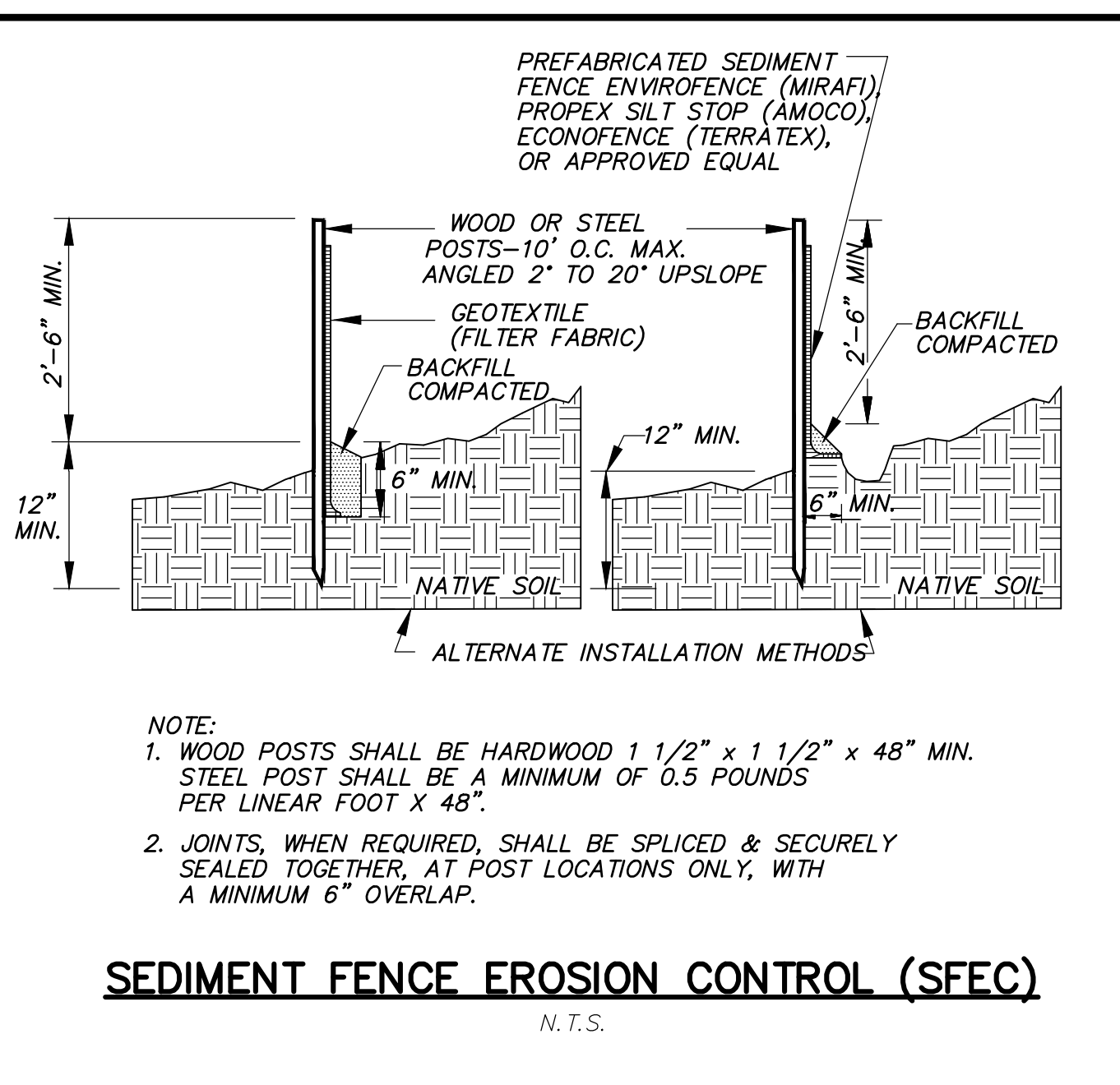
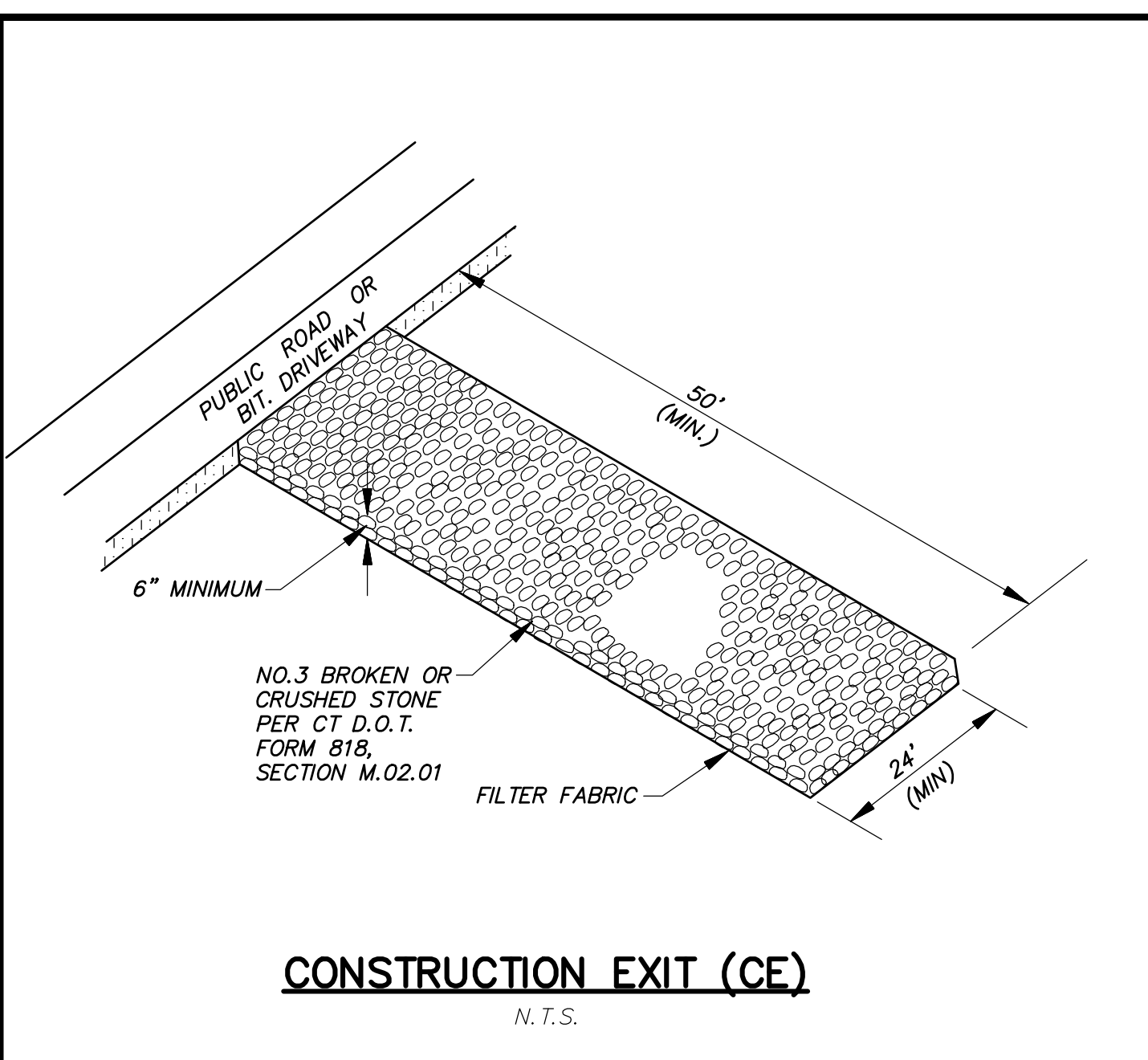
No.	Date	Description
1.	12-22-2023	Town Comments

SOIL EROSION AND SEDIMENT CONTROL PLAN
PREPARED FOR
Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1
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EC-1

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Waterway Installation

6 Easy Steps to install ANTI-WASH®/GEOJUTE® GEOTILE

- Prepare the soil by grading or raking area free of clods and large stones. Do not compact if using fertilizer; add it to soil before grading.
- Seeds and much of required mulch should be distributed evenly over the prepared soil.
- ANTI-WASH®/GEOJUTE® should be applied by unrolling down the slope or in the direction of water flow. Always bring ANTI-WASH®/GEOJUTE® down to level area before termination; fold 6\"/>
- Secure ANTI-WASH®/GEOJUTE® at the top of the slope by tacking it in 6\"/>
- Place staples 18\"/>
- Always overlap the edges 2\"/>

Always check with state or contracting agency for installation specifications or special requirements

Helpful Hints

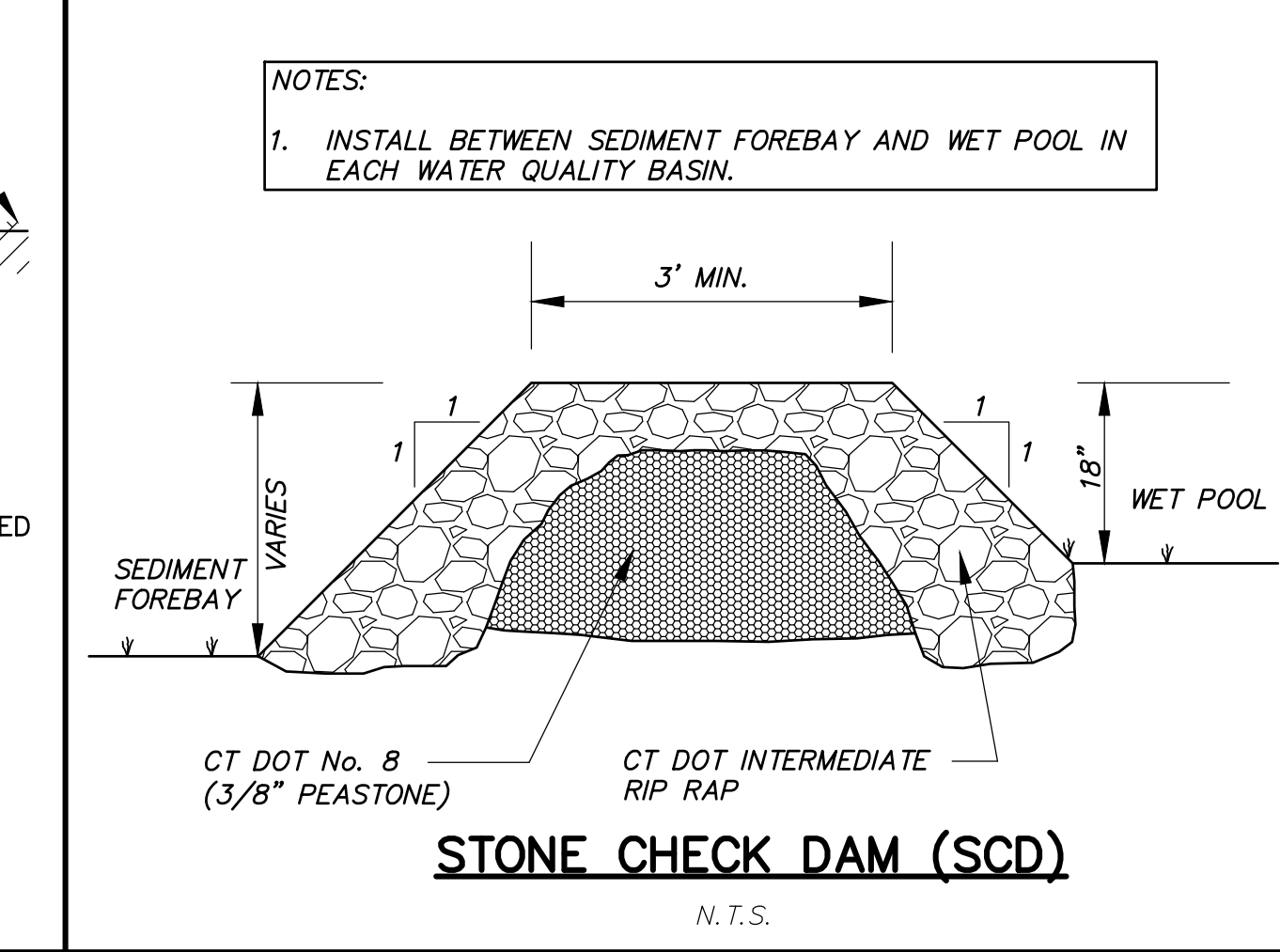
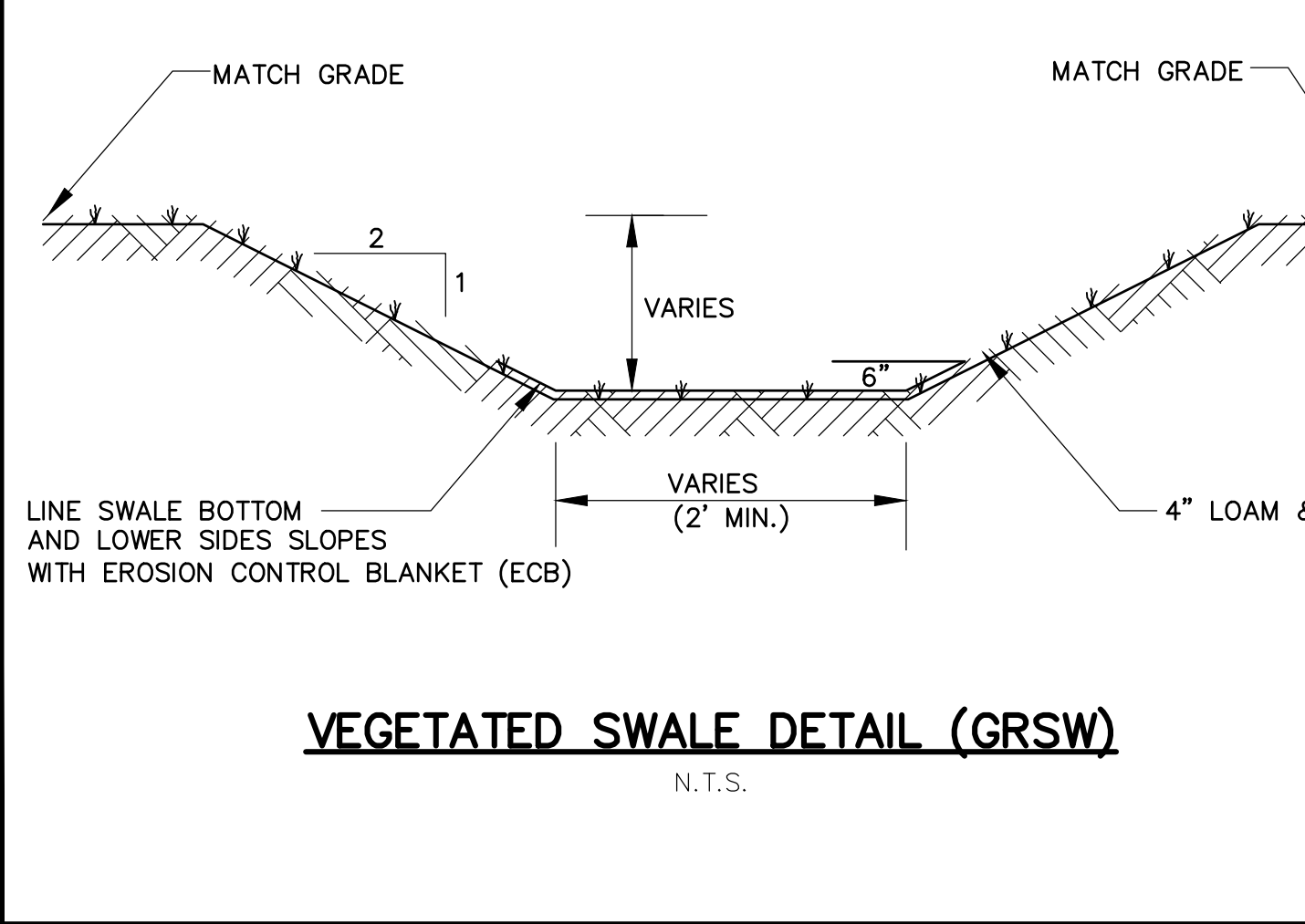
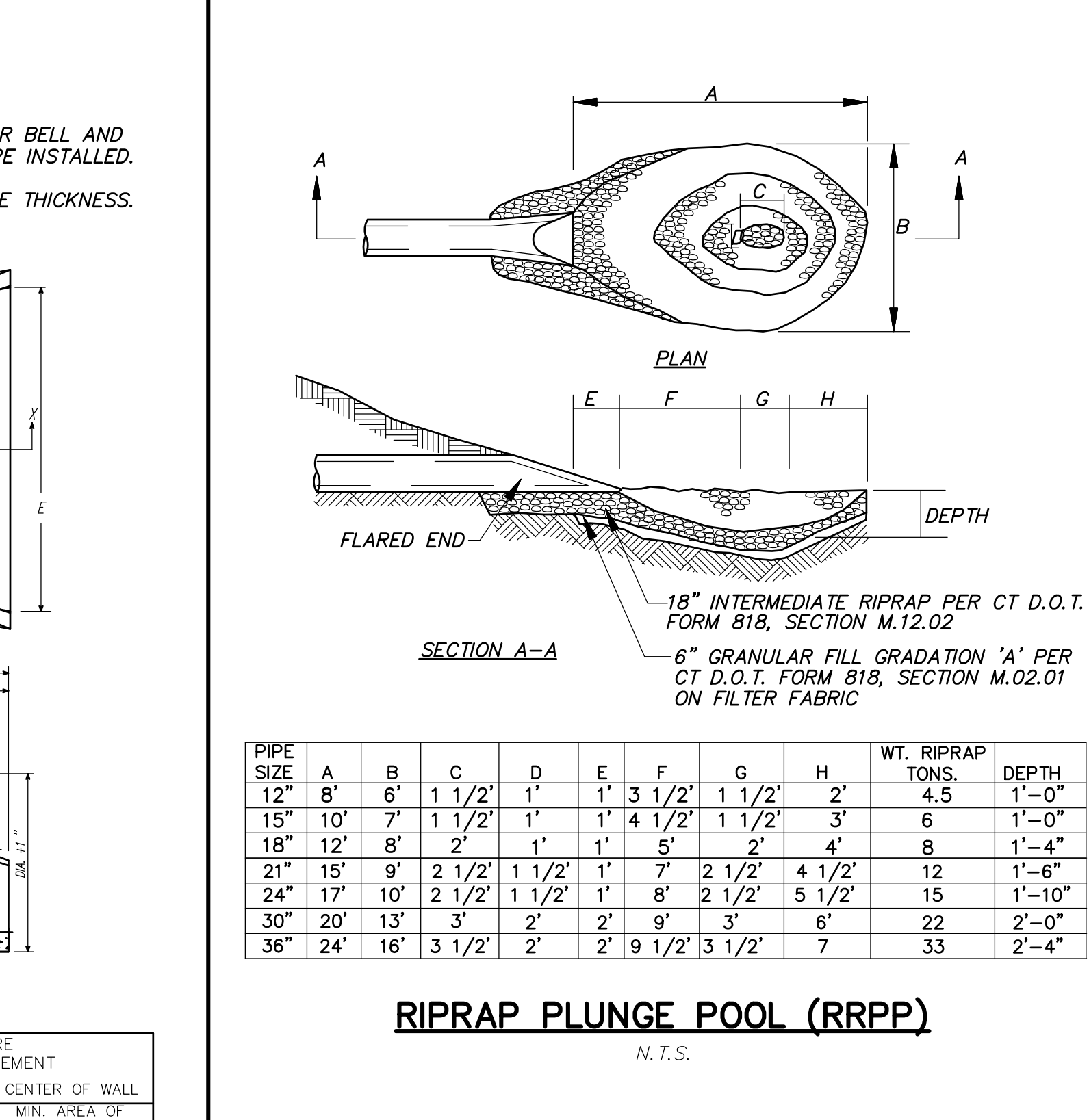
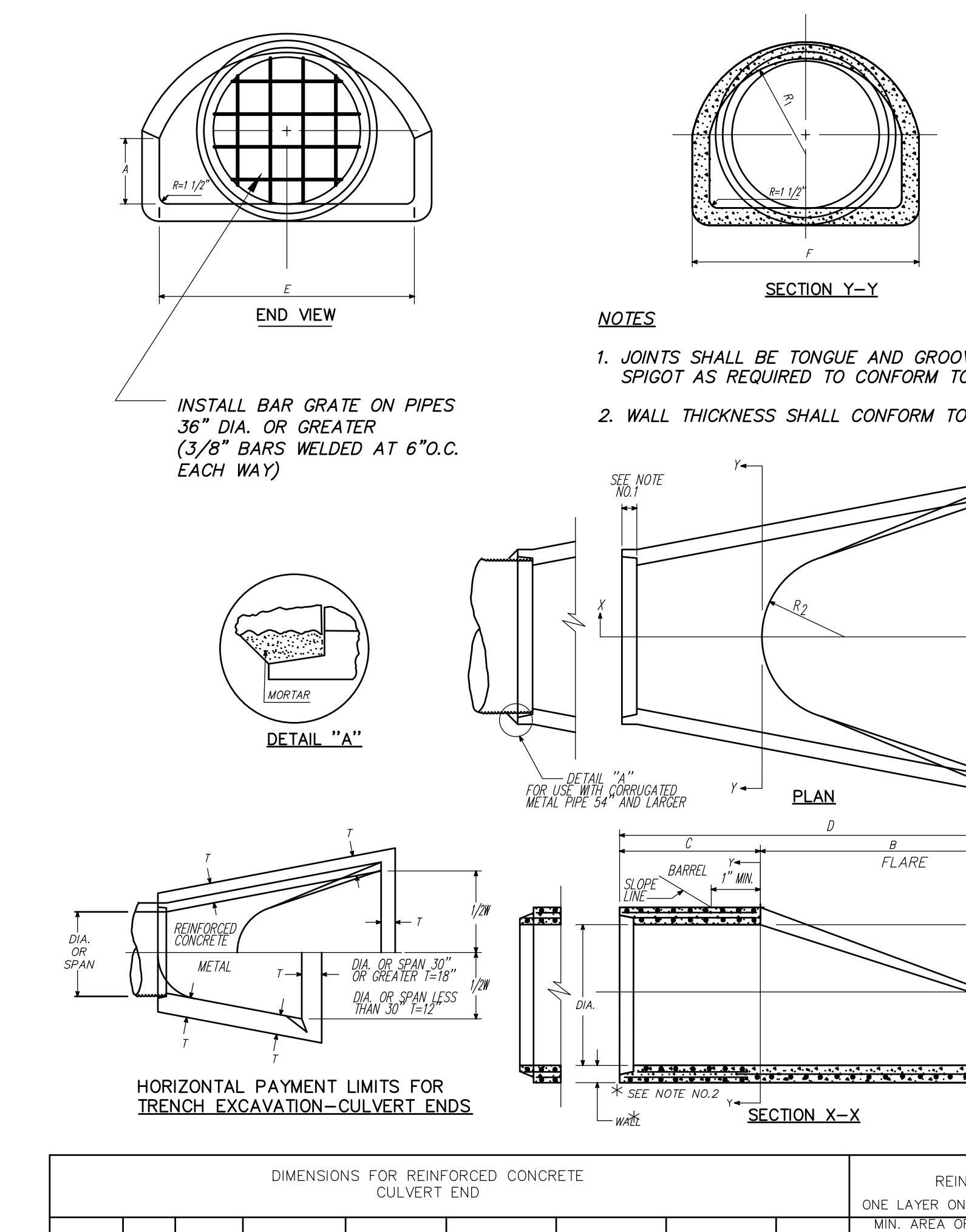
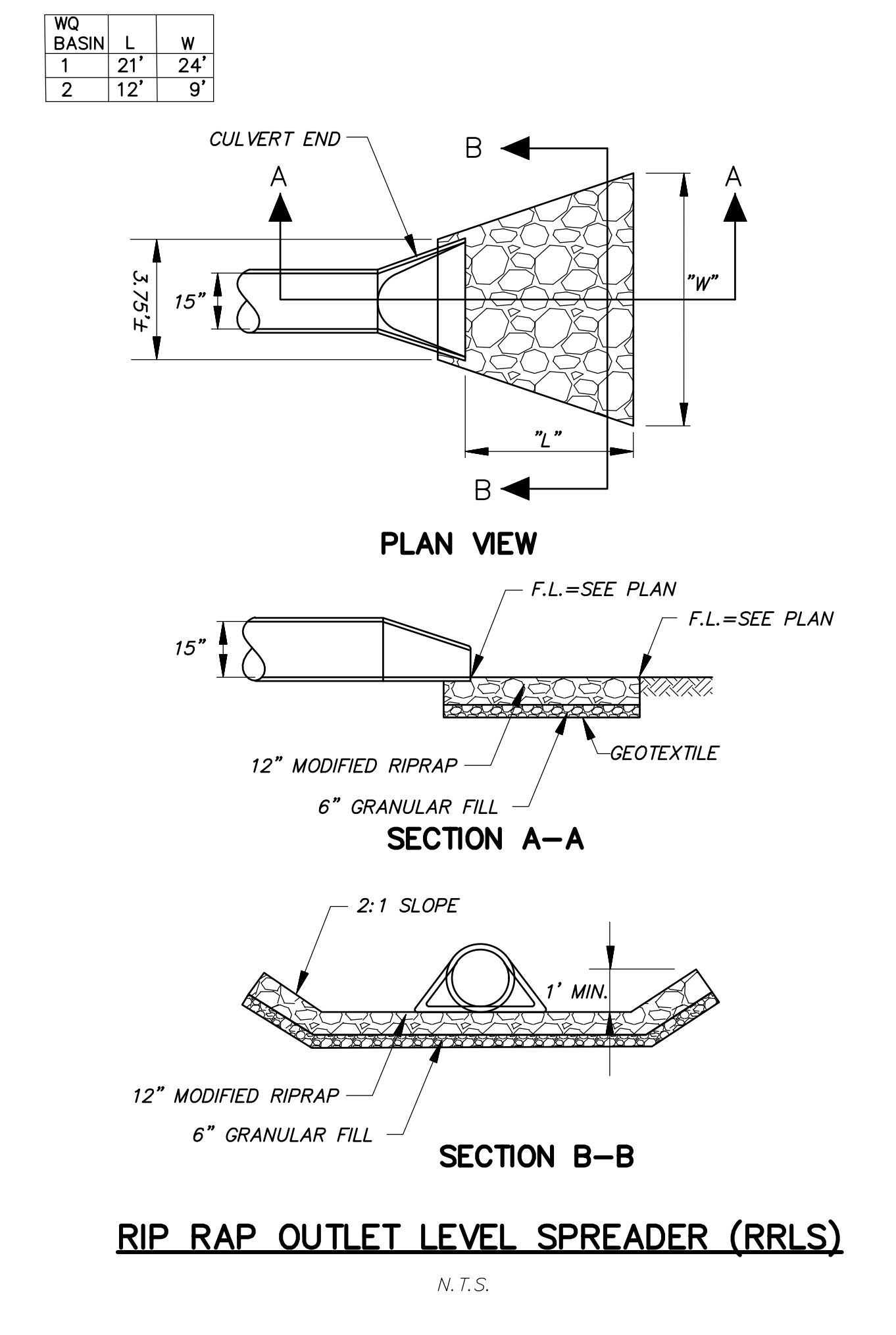
- Keep dry in storage
- Remember to lay ANTI-WASH®/GEOJUTE® loosely; do not stretch.
- Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.
- TO ESTABLISH A CHECK SLOT:
 - Dig 6\"/>
 - Roll ANTI-WASH®/GEOJUTE® in back or three folds (see diagram) and set into trench.
 - Staple fabric securely in bottom of trench and continue rolling down hill.
- Because ANTI-WASH®/GEOJUTE® has 60 to 65% of open area, additional seed can be broadcast over the matting to cover base spots that may appear due to improper seeding or poor germination.
- Recommended usage: Approximately 200 staples per 100 sq. yds.

WQ BASIN	L	W
1	21'	24'
2	12'	9'

Specifications	Property	Results	Type	Weight per Carton	Staples per Carton
Fabric structure	Woven	11 gauge 6"	43 lbs.	1,000	
Yarn	Jute, unspun and unbleached	9 gauge 6"	39 lbs.	500	
Fabric width	48"	8 gauge 6"	50 lbs.	500	
Weight	52 lbs./yd ²	Typical usage: Approximately 200 staples per roll. Other lengths of staples available on request.			
Yarn count/warp	78 per width, minimum				
Wet	42 set linear yard, minimum				
Water Absorption	>45% of fabric weight				
Open Area	60-65%				
Durability	1-2 years				
Coverage	approximately 50 rolls per acre (using 100' roll)				
	48" x 225'	Regular	100	92 lbs.	
	48" x 225'	Smolder-resistant	100	97 lbs.	
	48" x 147'	UV-resistant	65	60 lbs.	

*Smolder treatment adds approximately 25 lbs./yd²

Distributed By: **DeKowe** Concrete Reinforcing for erosion control problems. Call Beaton.



DIA.	DIMENSIONS FOR REINFORCED CONCRETE CULVERT END								FLARE REINFORCEMENT	
	A	B	C	D	E	F	R ₁	R ₂	ONE LAYER ONLY IN CENTER OF WALL	MIN. AREA OF TRANSVERSE STEEL SQ. IN. PER FT.
12"	4"	2'-0"	4'-0 3/8"	6'-0 3/8"	2'-0"	1'-7 15/16"	10 1/4"	9"	0.049	0.048
15"	6"	2'-3"	3'-10"	6'-1"	2'-6"	2'-0 5/16"	1'-0 1/2"	11"	0.054	0.054
18"	9"	2'-3"	3'-10"	6'-1"	3'-0"	2'-5"	1'-3 1/2"	1'-0"	0.060	0.060
21"	9"	2'-11"	3'-2"	6'-1"	3'-6"	2'-7 1/2"	1'-4"	1'-1"	0.066	0.066
24"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	2'-9 3/16"	1'-4 13/16"	1'-2"	0.072	0.072
30"	1'-0"	4'-8"	1'-7 3/4"	6'-1 3/4"	5'-0"	3'-1"	1'-6 1/2"	1'-3"	0.084	0.084
36"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	3'-11 13/16"	2'-0 5/16"	1'-8"	0.096	0.096

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk _____

OWNER: Anthony Quisanti
P.O. Box Z
East Granby, CT 06026
(860) 653-2551

APPLICANT: Joneser's Express Transportation
P.O. Box 872
Windsor Locks, CT 06096
(877) 966-3796

F.A.H. F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com • maffris@fahsketh.com

Revisions:

No.	Date	Description
1.	12-22-2023	Town Comments

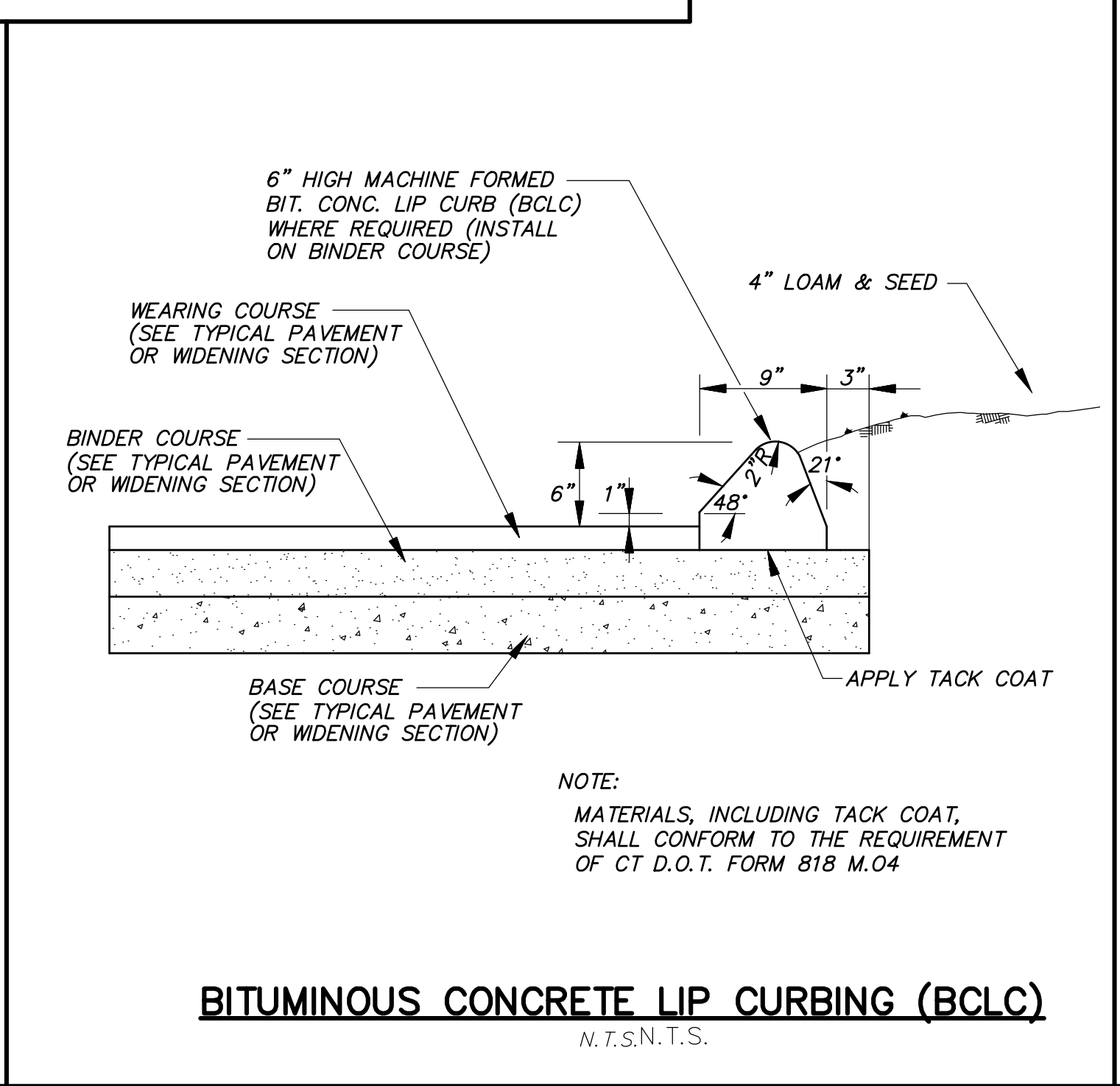
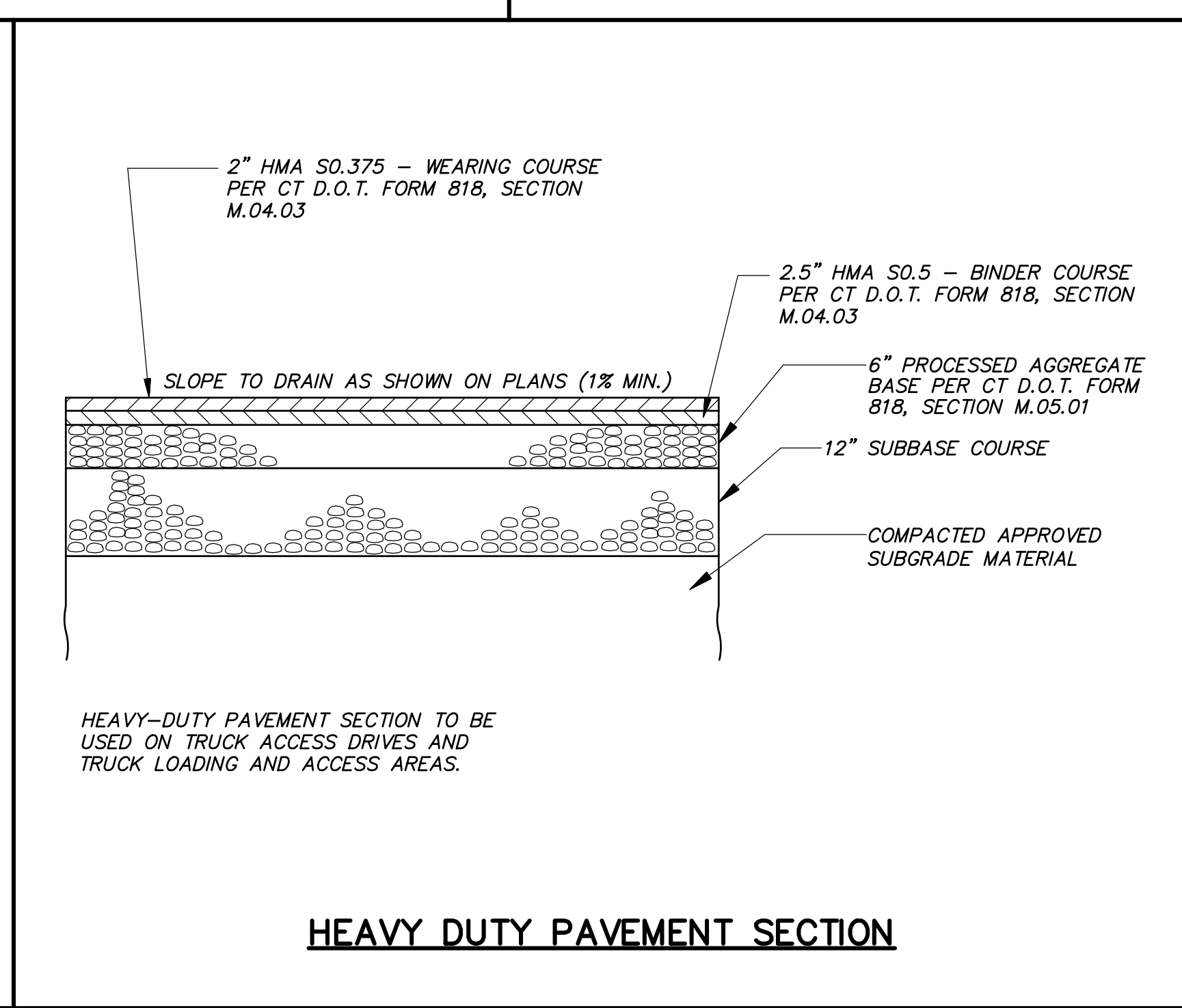
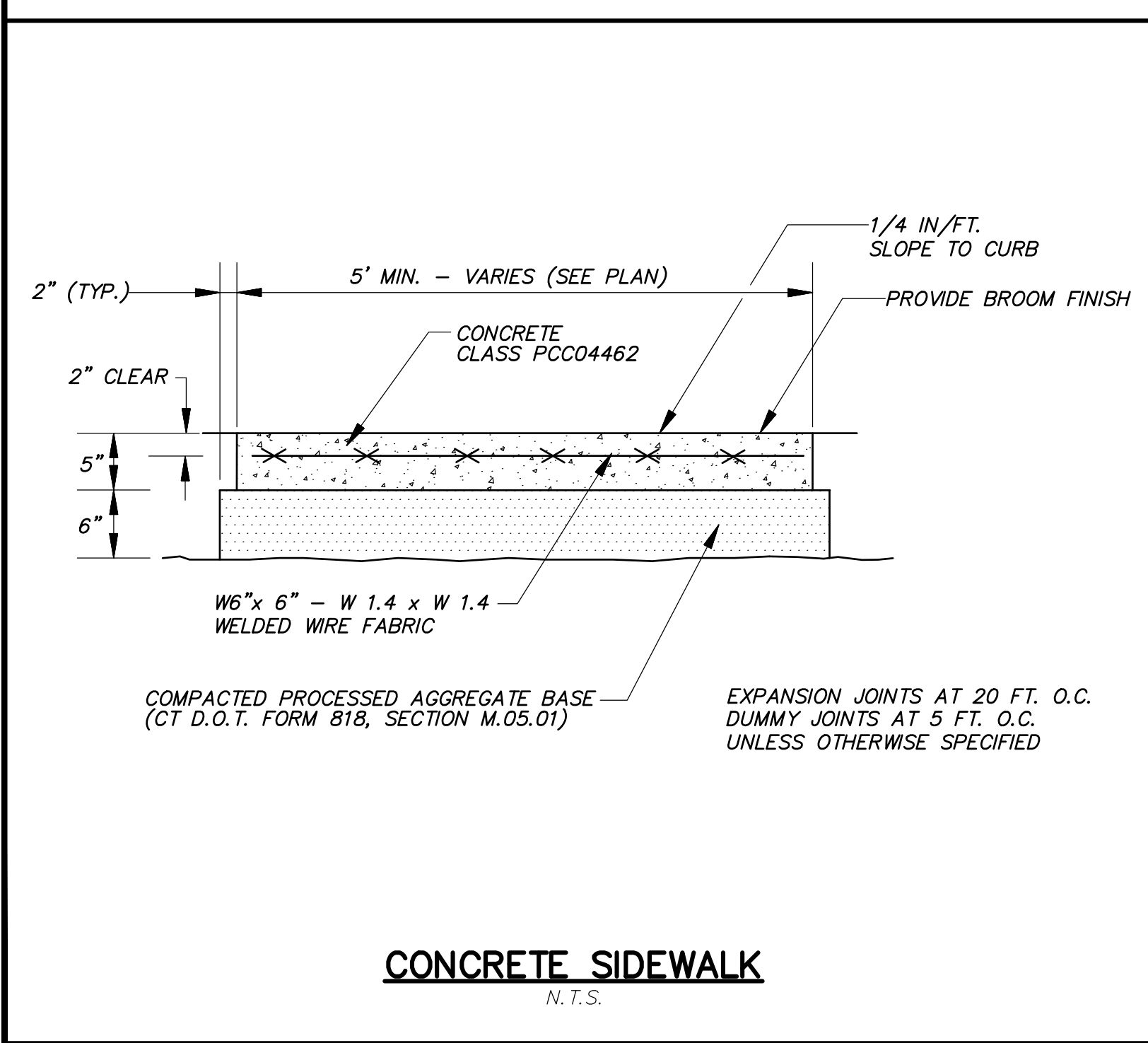
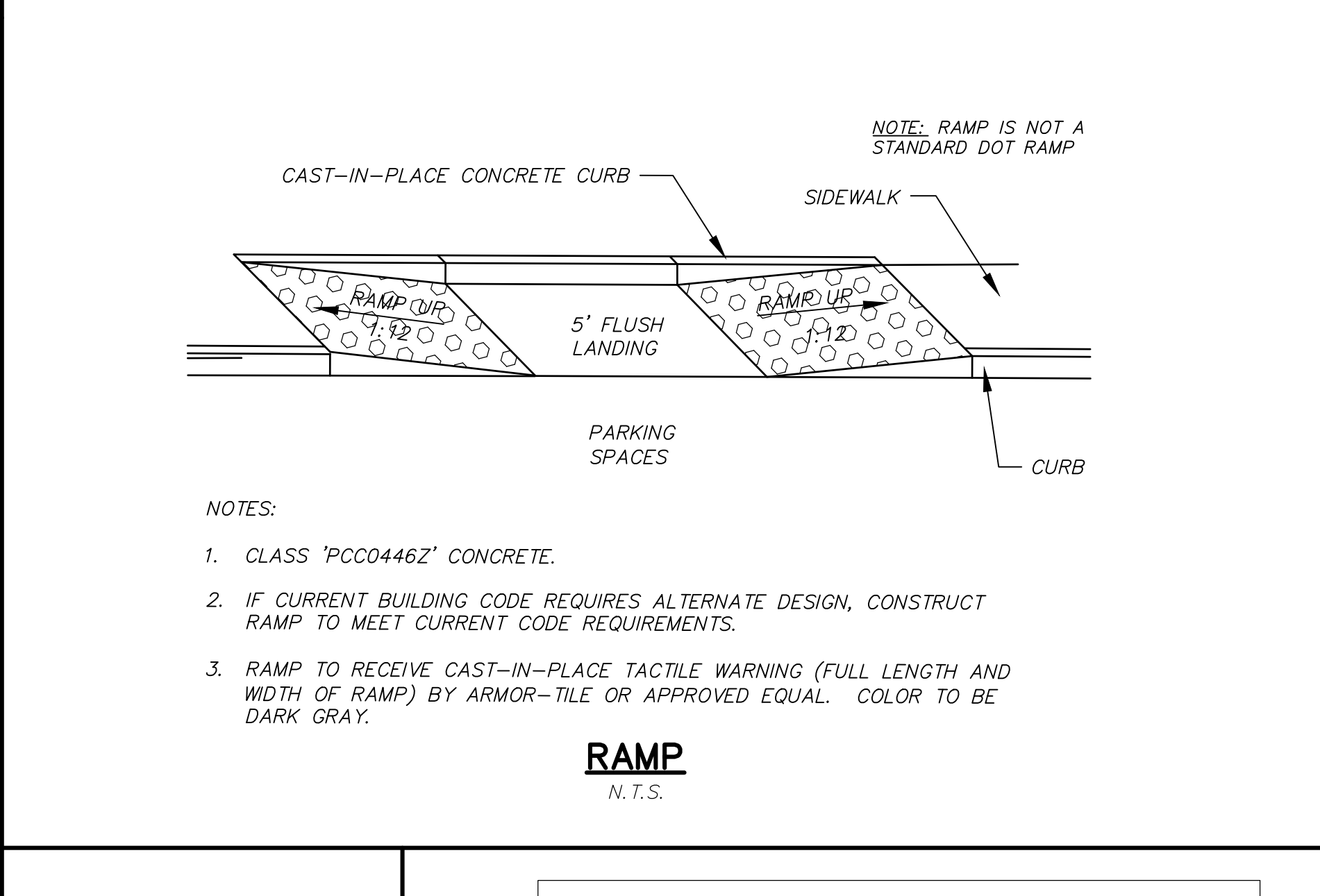
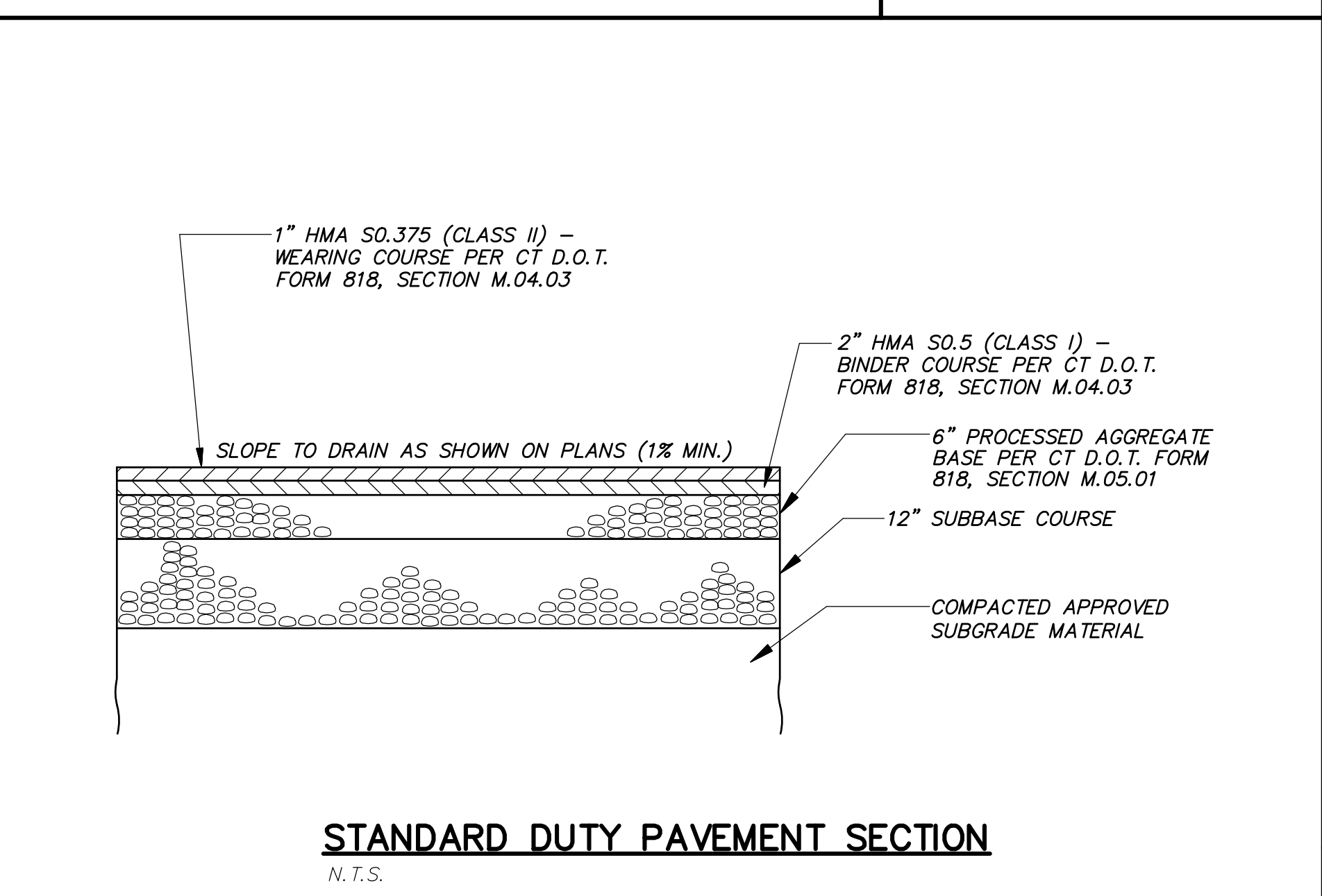
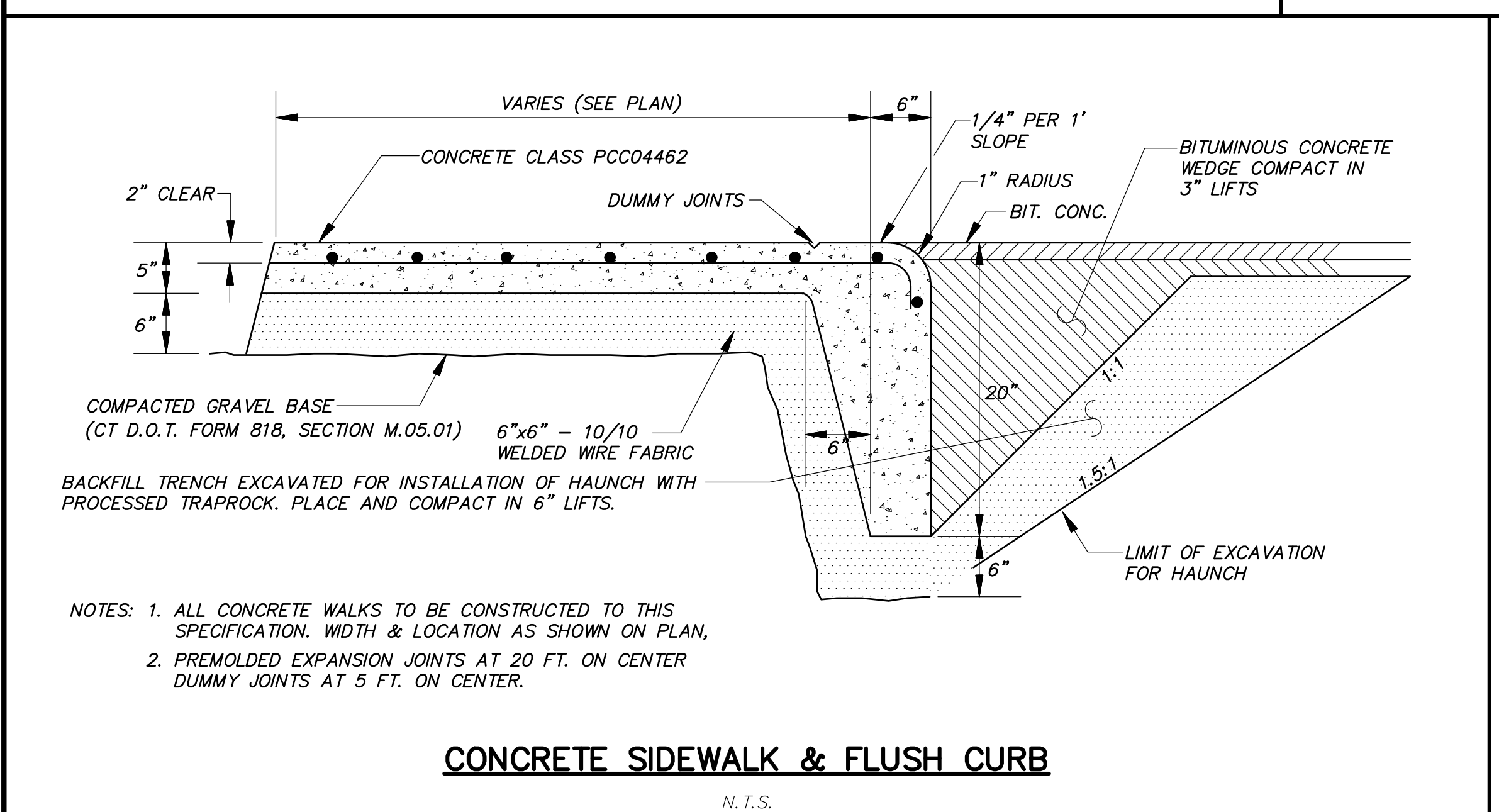
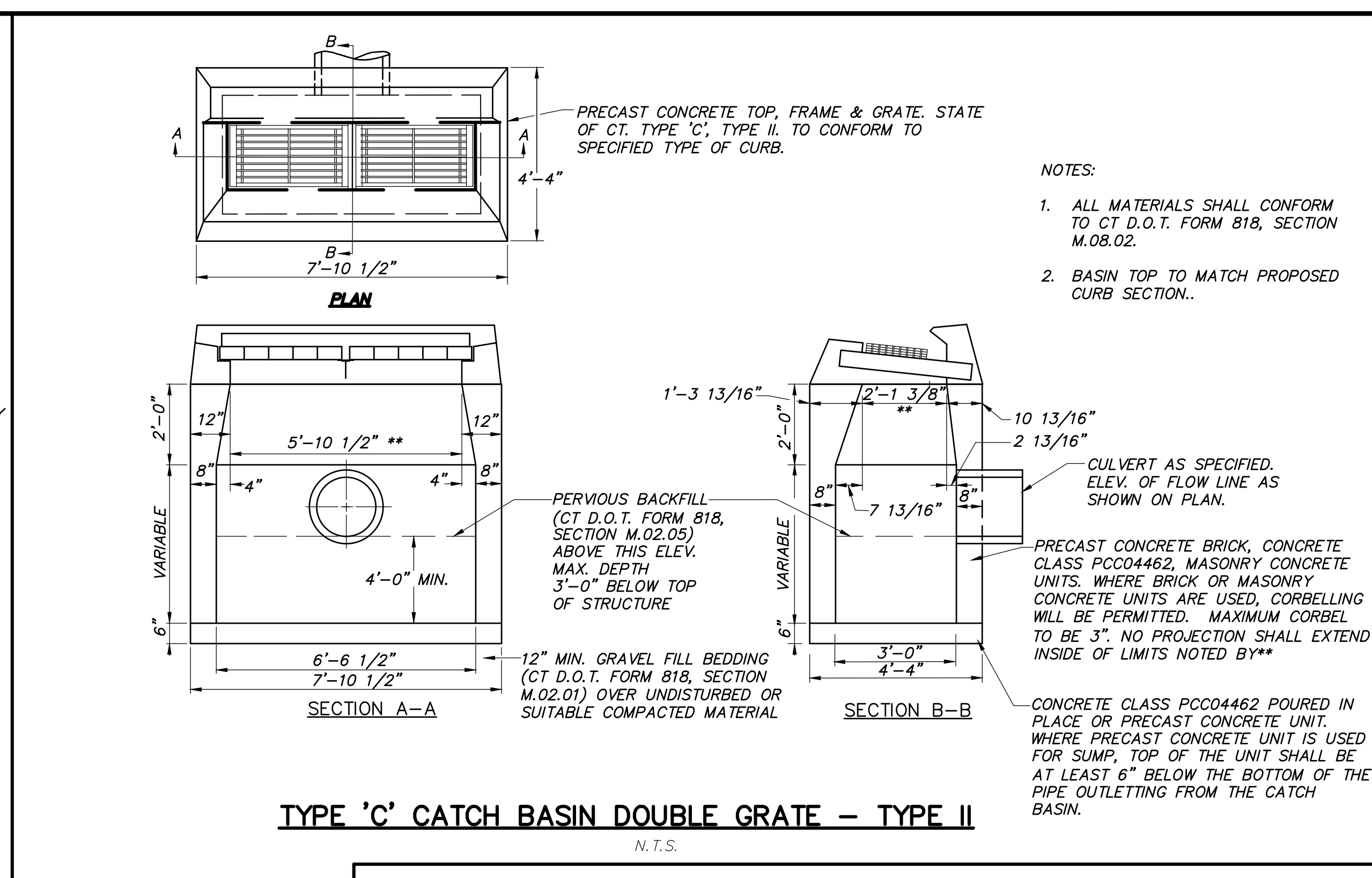
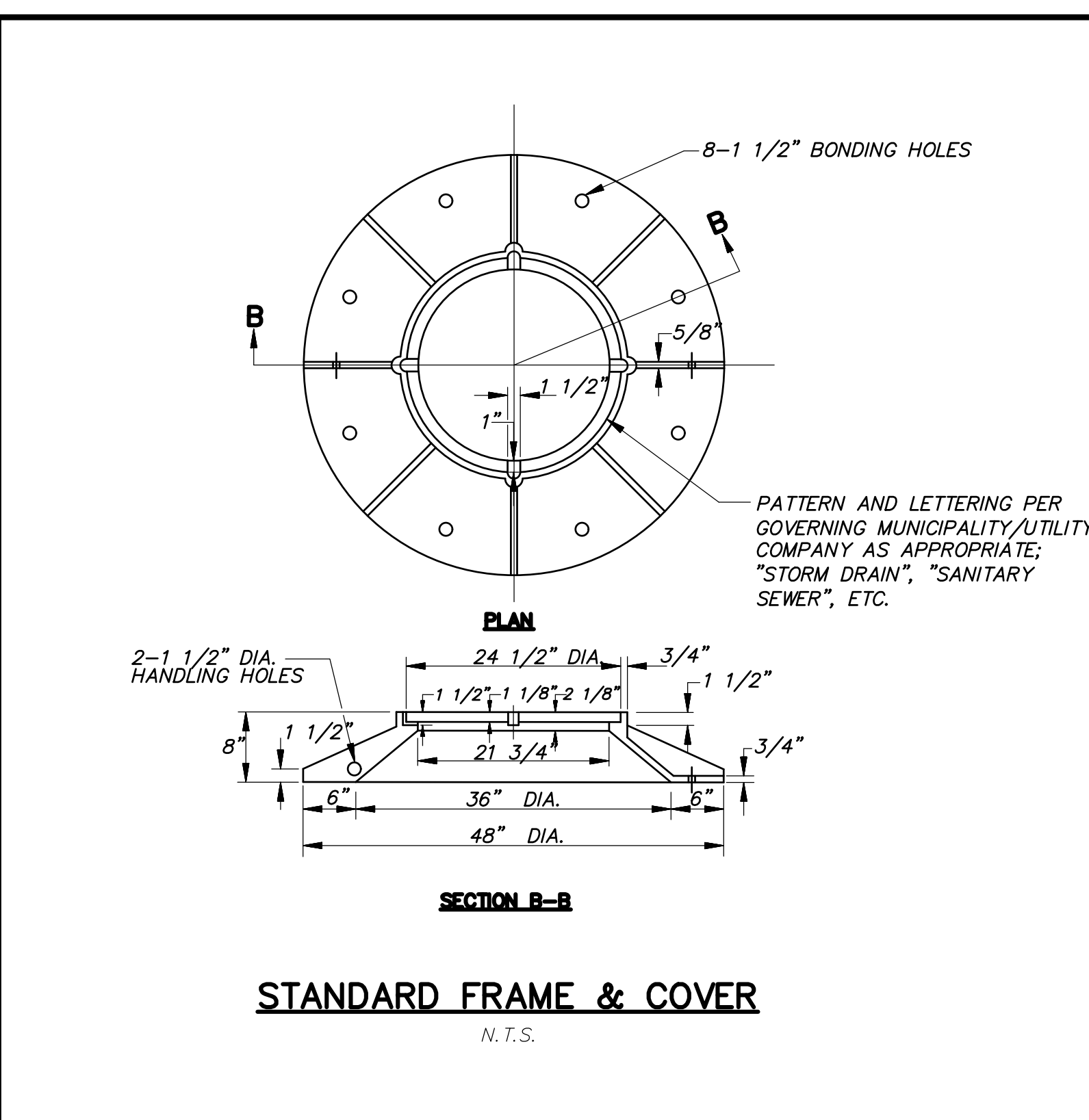
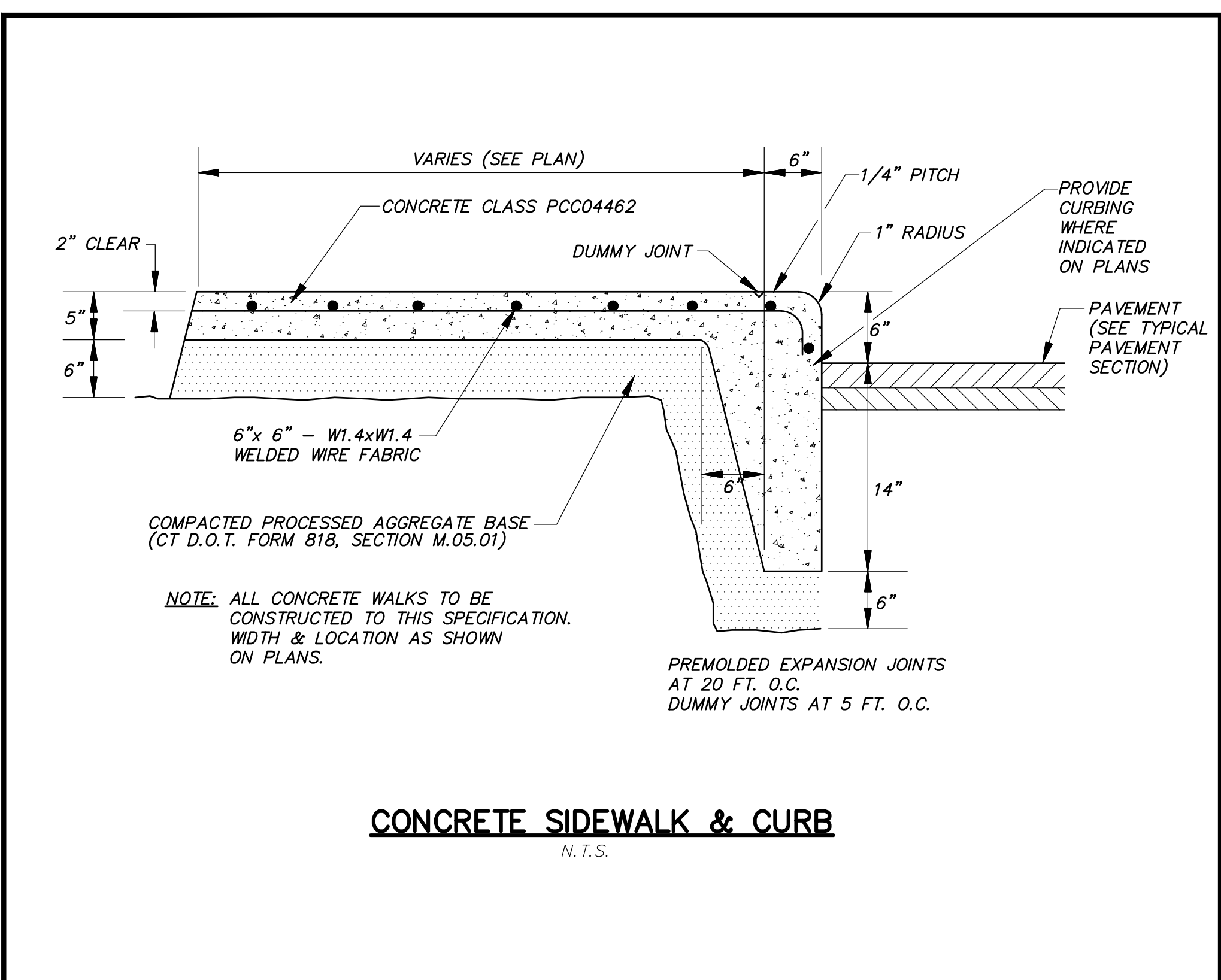
SITE DETAILS

PREPARED FOR: **Joneser's Express Transportation**

10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Job no: 23145
Drawn by: DFT
Checked by: GAH
Scale: N.T.S.
Sheet no: 1 OF 4

SD-1



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.1 of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

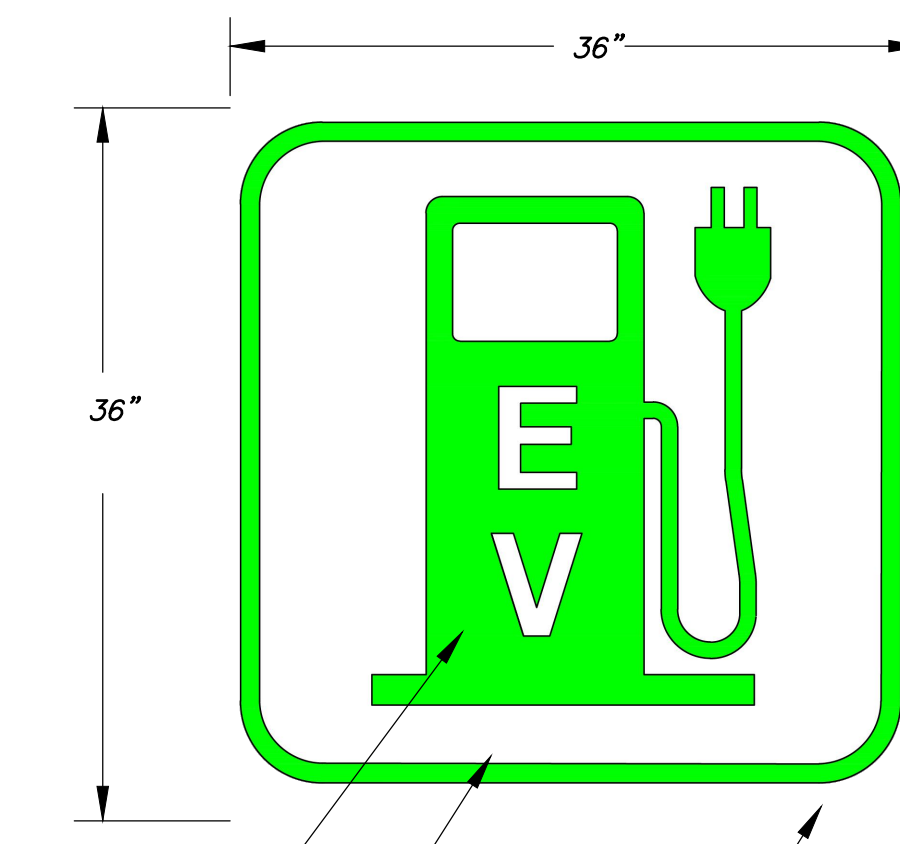
OWNER: Anthony Quisenti
P.O. Box Z
East Granby, CT 06026
(860) 653-2551

APPLICANT: Joneser's Express Transportation
P.O. Box 872
Windsor Locks, CT 06096
(877) 966-3796

PREPARED FOR: SITE DETAILS
PROJECT: Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT
Date: 09-29-2023 Drawn by: DRT Job no: 23145
Scale: N.T.S. Checked by: GAH Sheet no: 2 Of 4
© 2023\23145 - East Russell Road\Submital\2023-09-29\SD-1\2023-09-29.dwg, SD-2, Sep. 25, 2023 - 9:26:54 AM

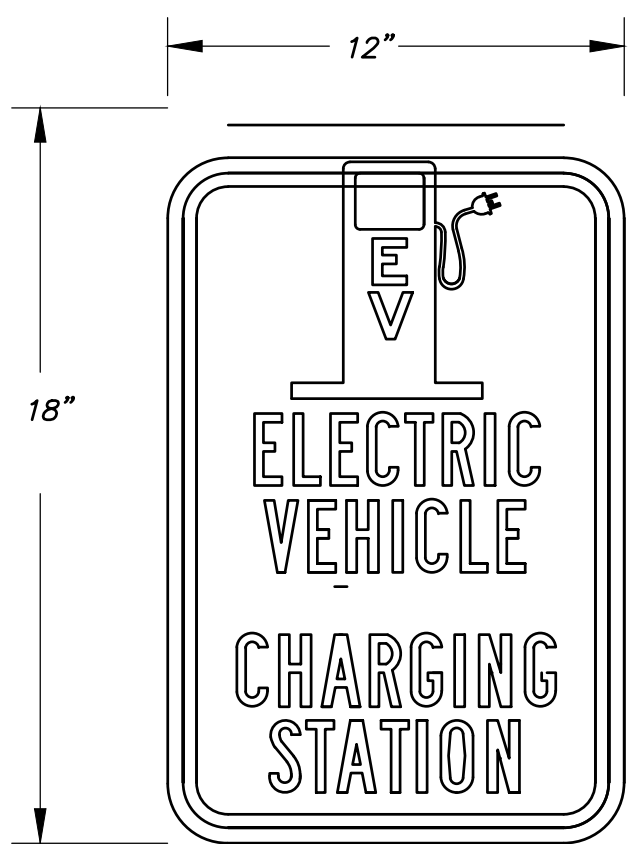
F.A.H.
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 653-8000
www.fahhsketh.com mail@fahhsketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

SD-2



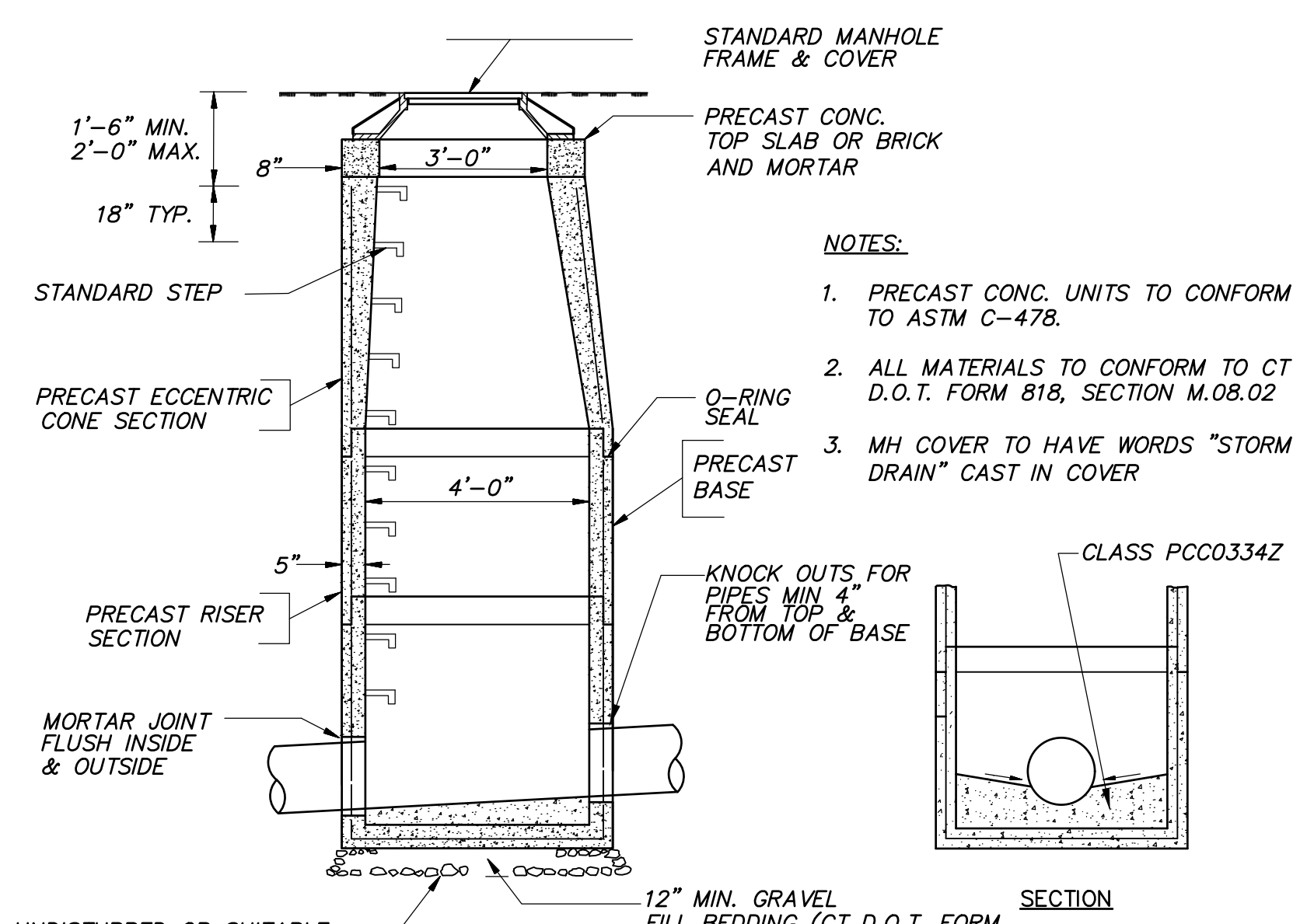
- EV PARKING SPACE GRAPHIC**
N.T.S.
- GREEN LOGO
WHITE BACKGROUND
GREEN STRIPING
- NOTES:
1. GREEN = "KELLY GREEN" TRAFFIC PAINT
2. COORDINATE INSTALLATION OF LINE STRIPING AND E.V. LOGO WITH OWNER

EV PARKING SPACE GRAPHIC



- EV PARKING SPACE SIGN**
N.T.S.
- NOTES:
1. SIGNS TO BE PROVIDED BY BIG Y.
2. INSTALLATION OF SIGN POSTS AND MOUNTING OF SIGNS BY GENERAL CONTRACTOR.

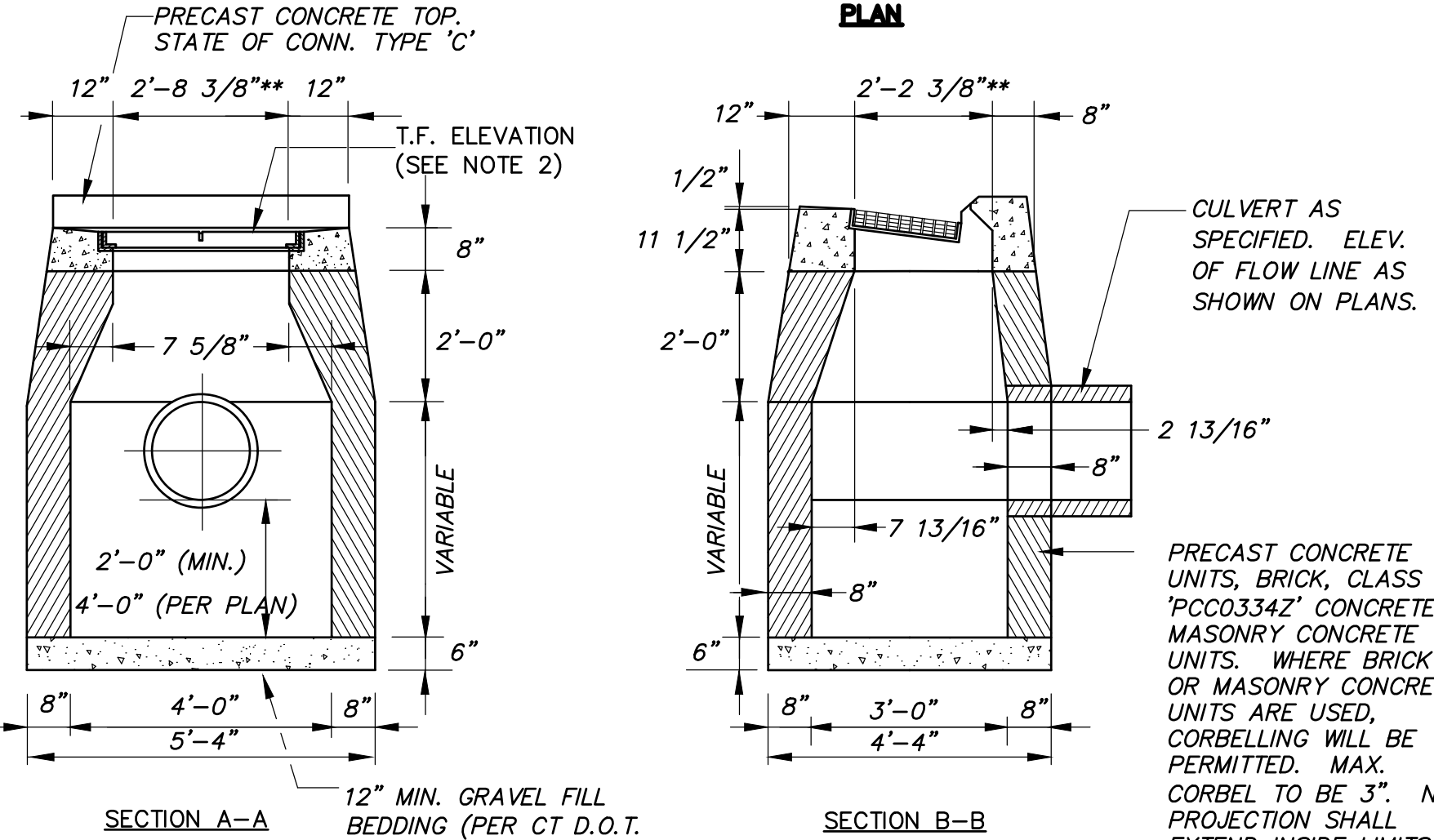
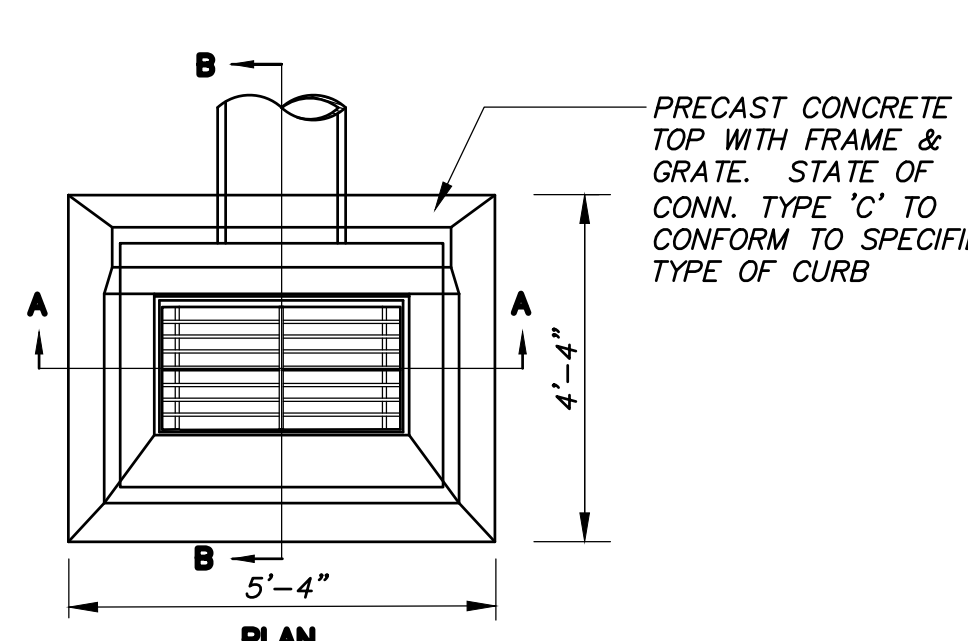
EV PARKING SPACE SIGN



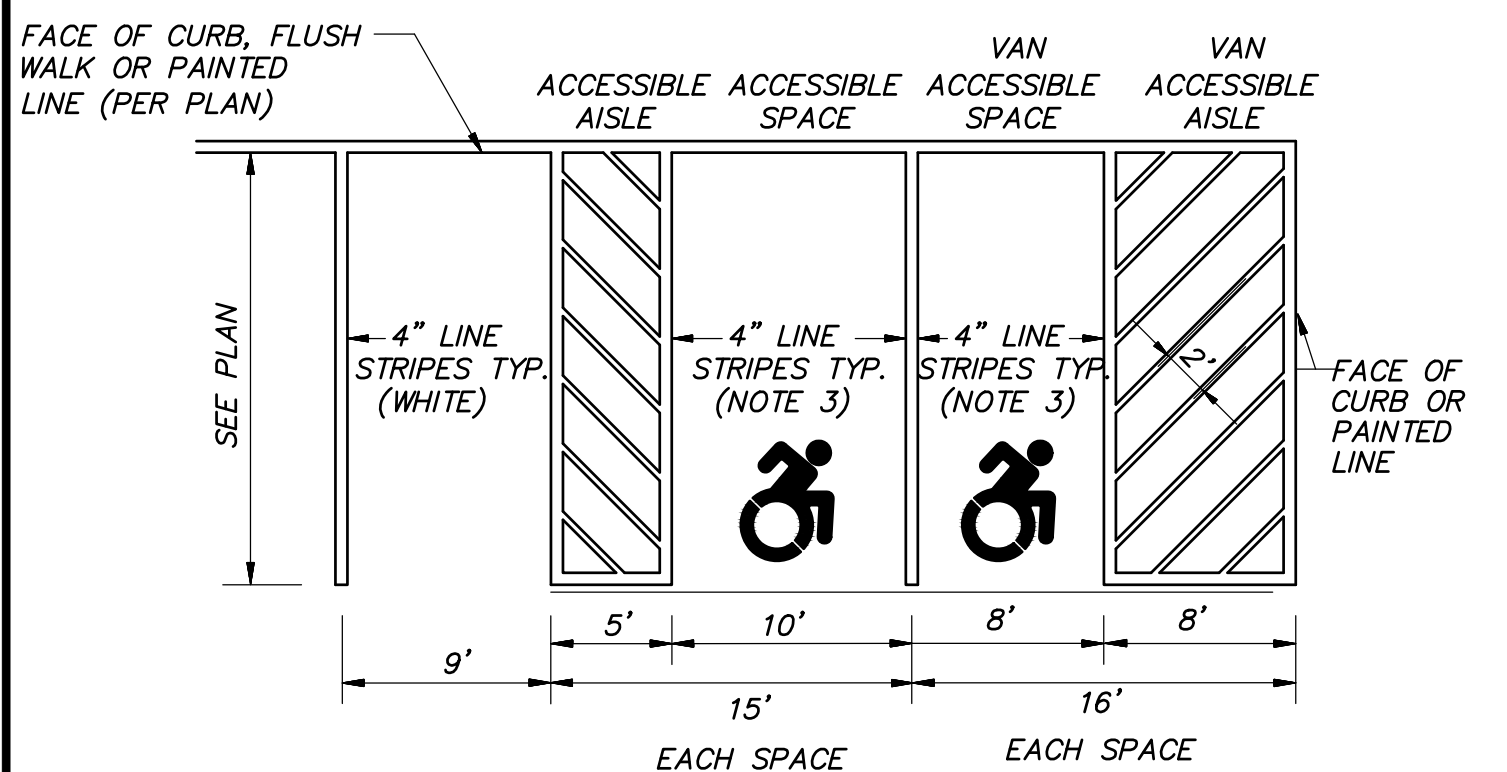
- STORM SEWER MANHOLE**
N.T.S.
- NOTES:
1. PRECAST CONC. UNITS TO CONFORM TO ASTM C-478.
2. ALL MATERIALS TO CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02
3. MH COVER TO HAVE WORDS "STORM DRAIN" CAST IN COVER

STORM SEWER MANHOLE

- NOTES:
1. ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02
2. T.F. ELEV. SHOWN ON PLAN IS TOP-OF-FRAME ELEVATION OF THE CATCH BASIN GRATE AT THE GUTTERLINE. THIS T.F. ELEV. IS 2-INCHES BELOW GUTTERLINE ELEVATION AT CURB LINE.
3. UNLESS NOTED OTHERWISE, SUMPS SHALL BE 2.0' MINIMUM
4. GALVANIZED FRAME AND COVER.
5. BASIN TOP TO MATCH PROPOSED CURB SECTION.

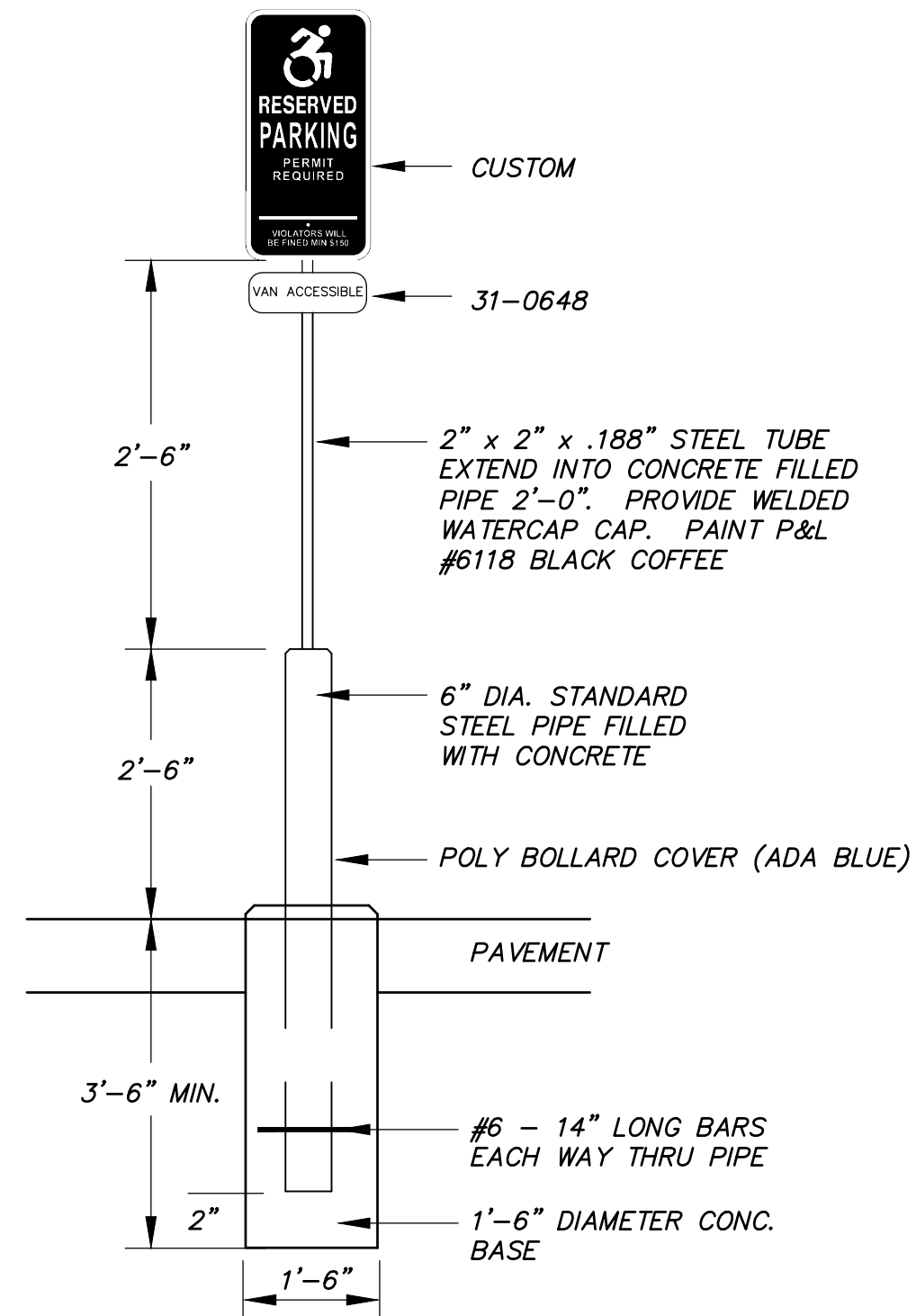


TYPE 'C' CATCH BASIN

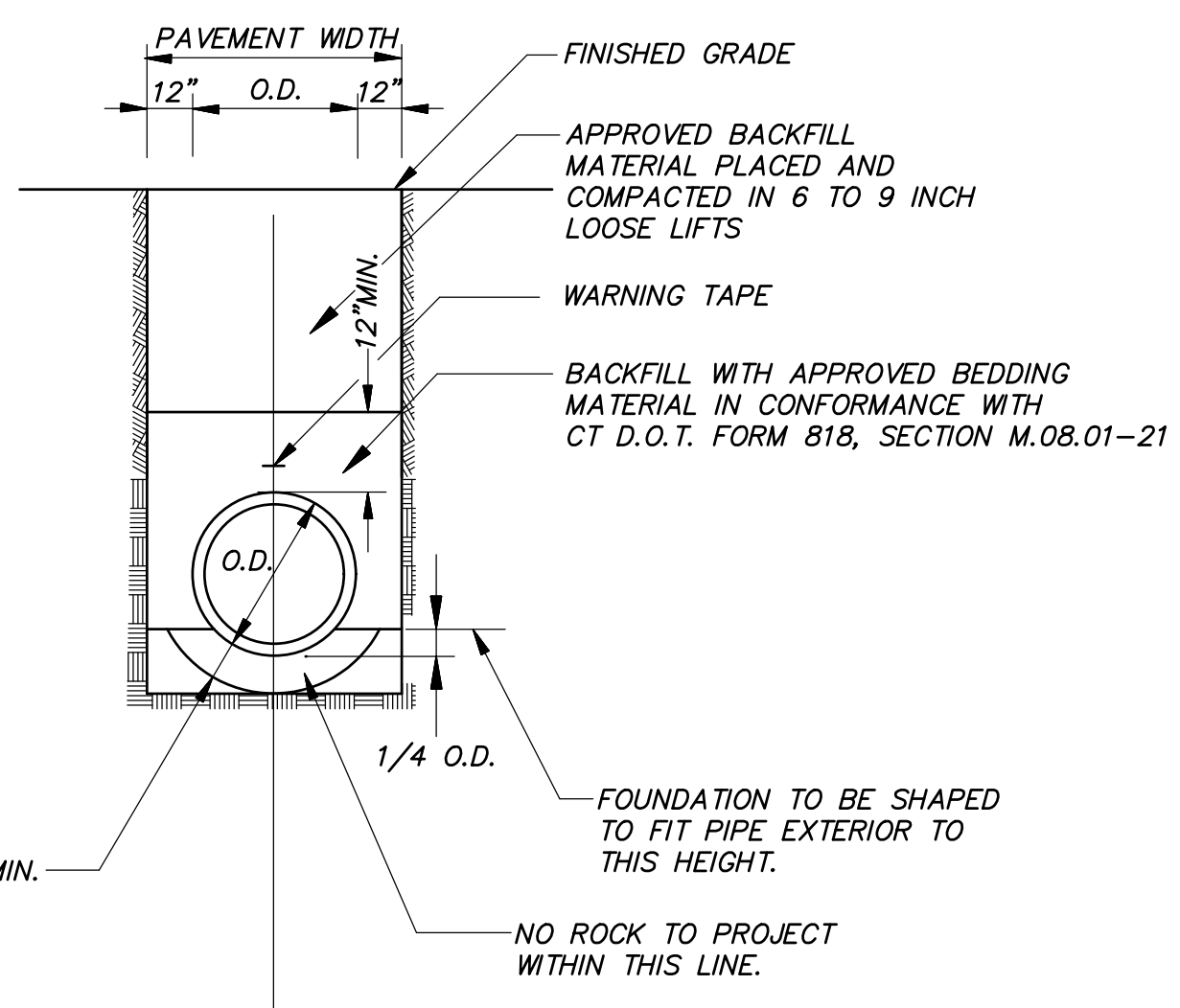


- ACCESSIBLE PARKING SPACE LAYOUT**
N.T.S.
- NOTES:
1. AISLE CONFIGURATION PER PLAN.
2. SIGN/BOLLARD LOCATION PER PLAN.
3. LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH MIDDLETOWN BUILDING INSPECTOR BEFORE INSTALLATION

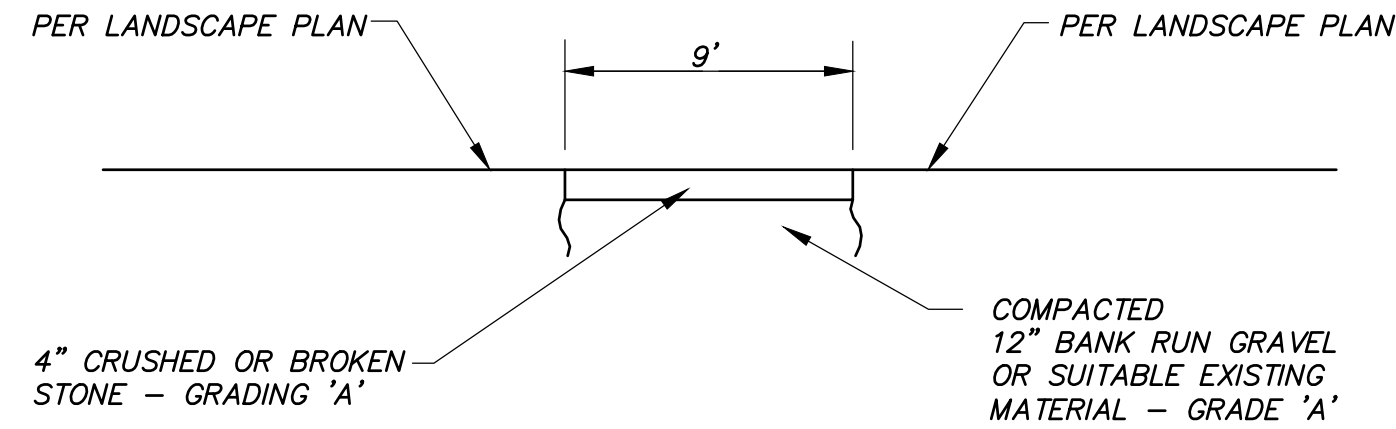
ACCESSIBLE PARKING SPACE LAYOUT



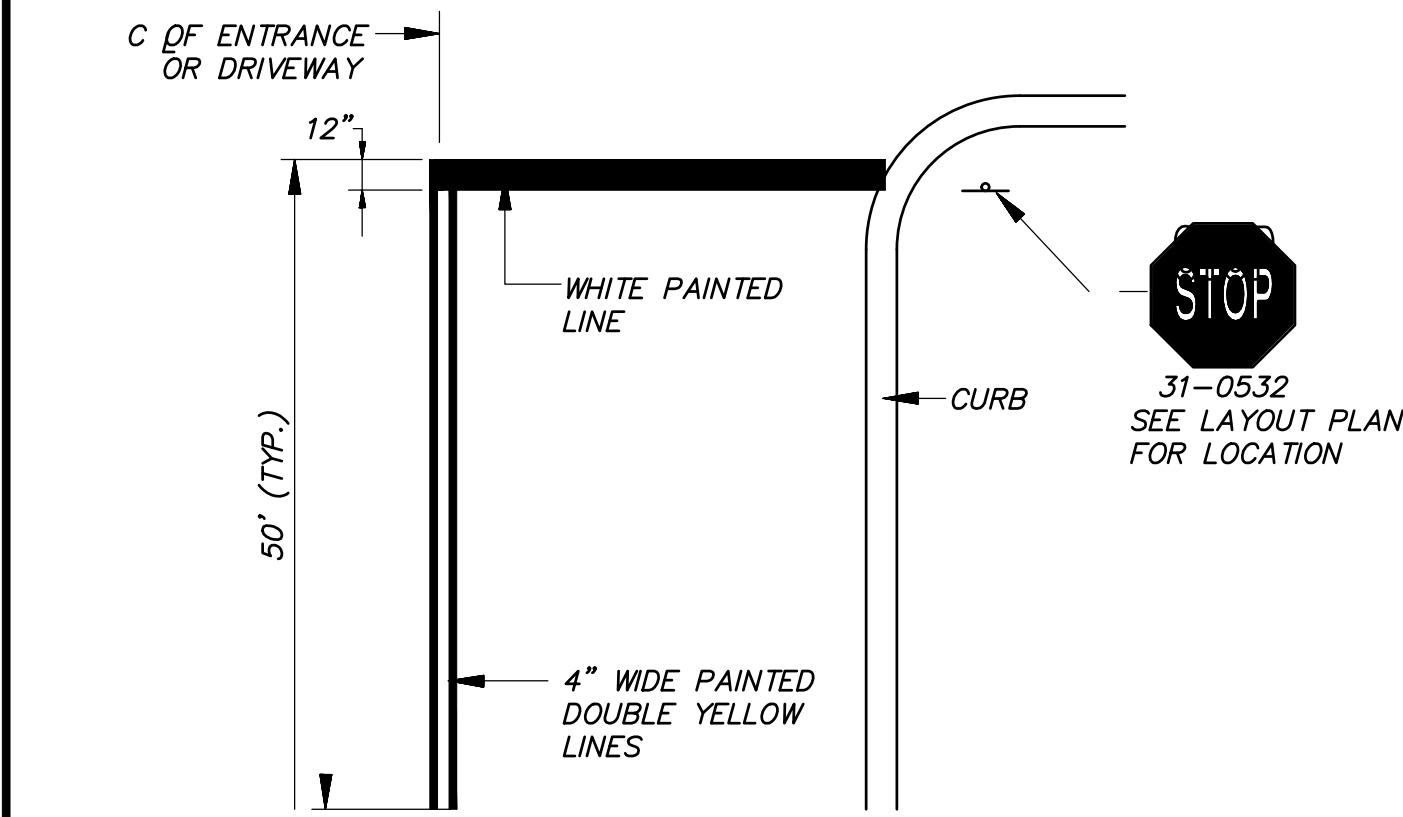
ACCESSIBLE SPACE SIGN POST/BASE



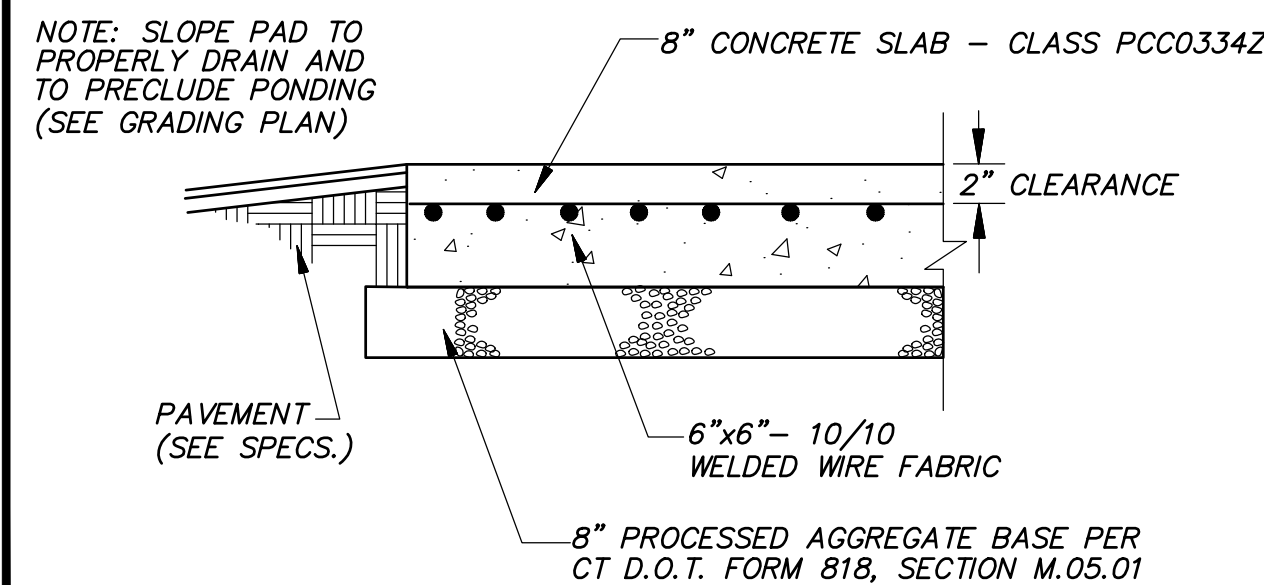
STORM SEWER TRENCH DETAIL



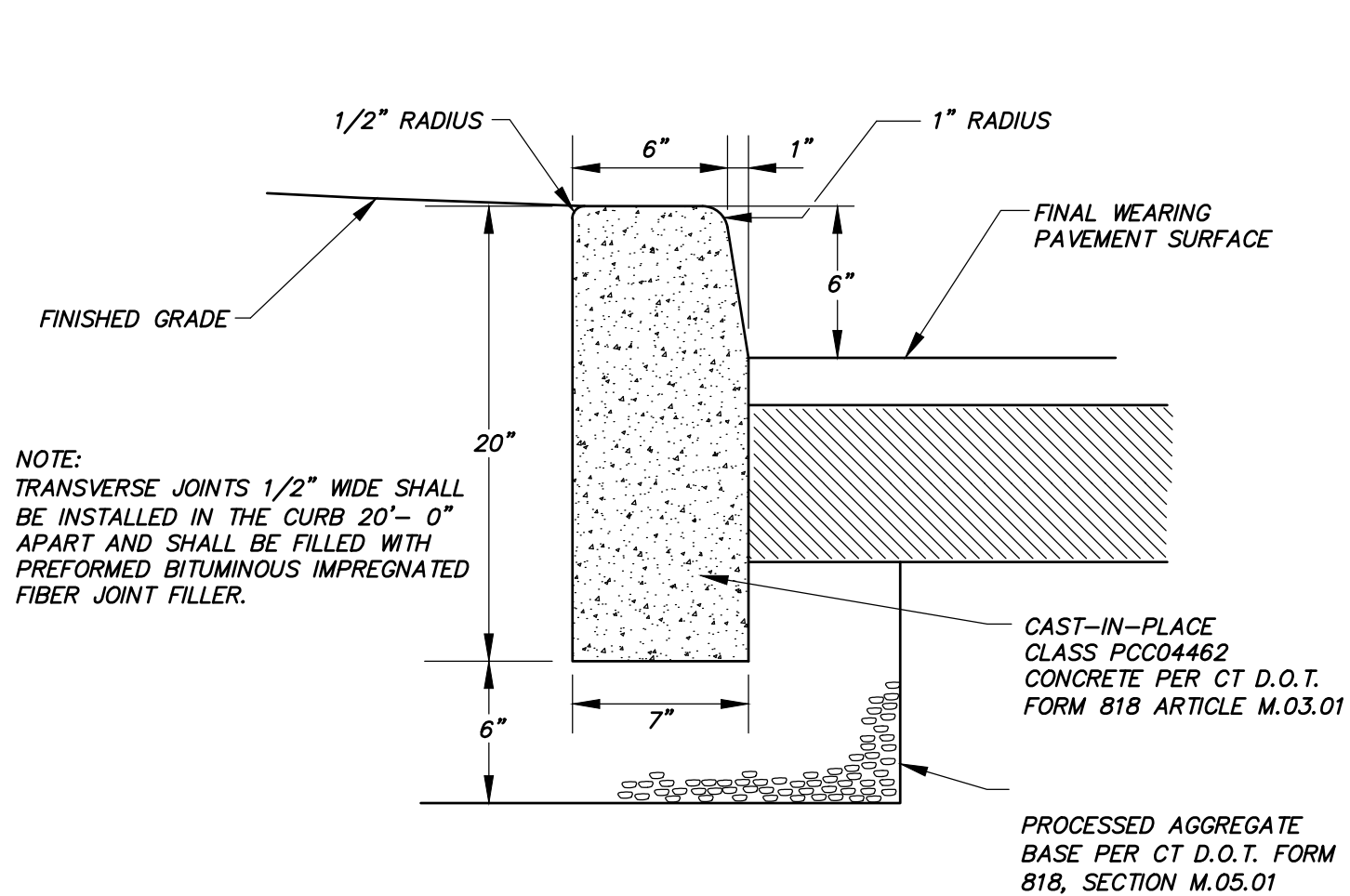
GRAVEL BASIN ACCESS



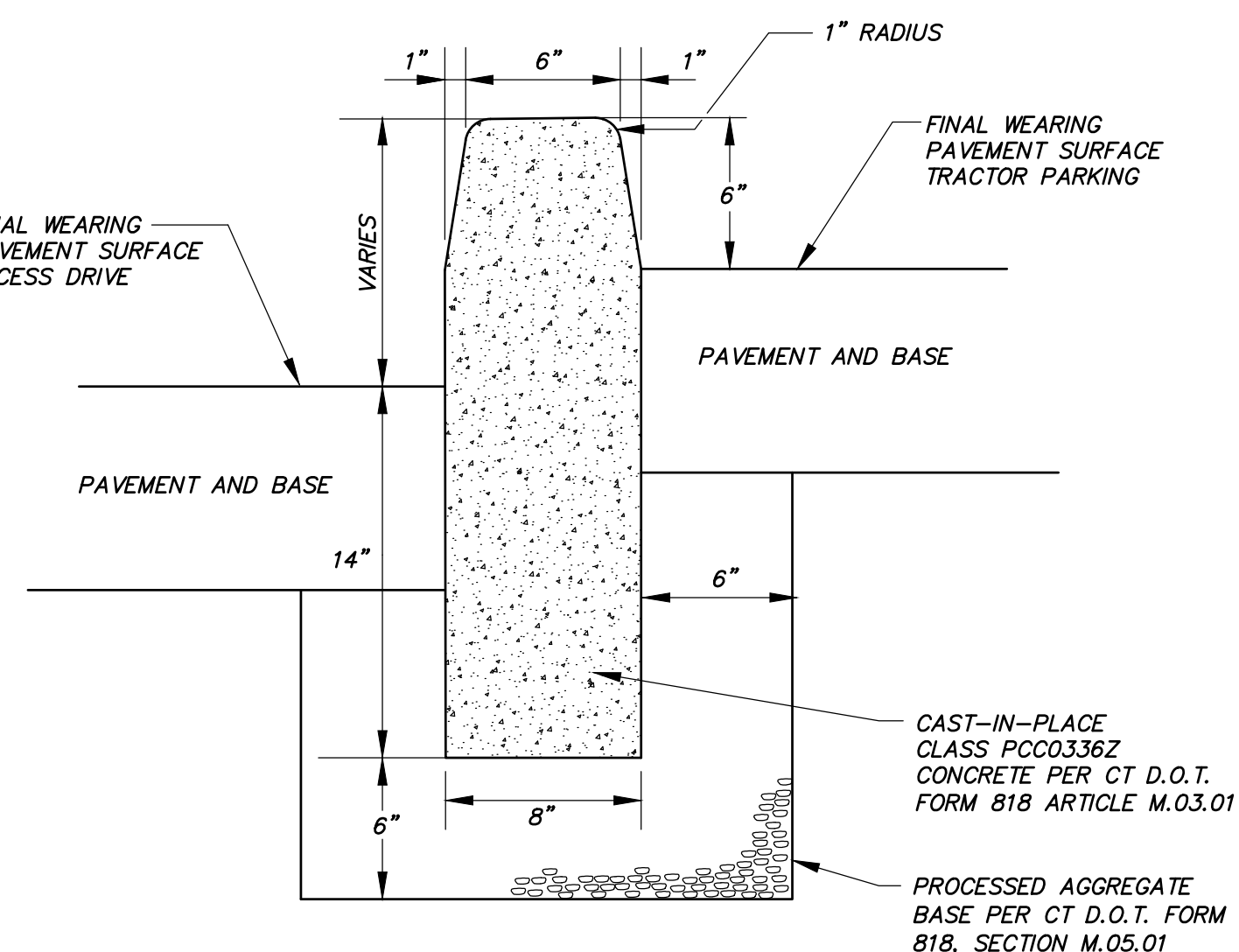
TYPICAL PAVEMENT MARKINGS AT STOP BAR



COMPACTOR PAD SECTION



CONCRETE CURBING



CONCRETE CURB - RETAINING

PERMIT - WETLANDS REGULATED ACTIVITY

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Chairman _____ Date Signed _____

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

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www.fahhsketh.com - malfrisketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

Revisions:

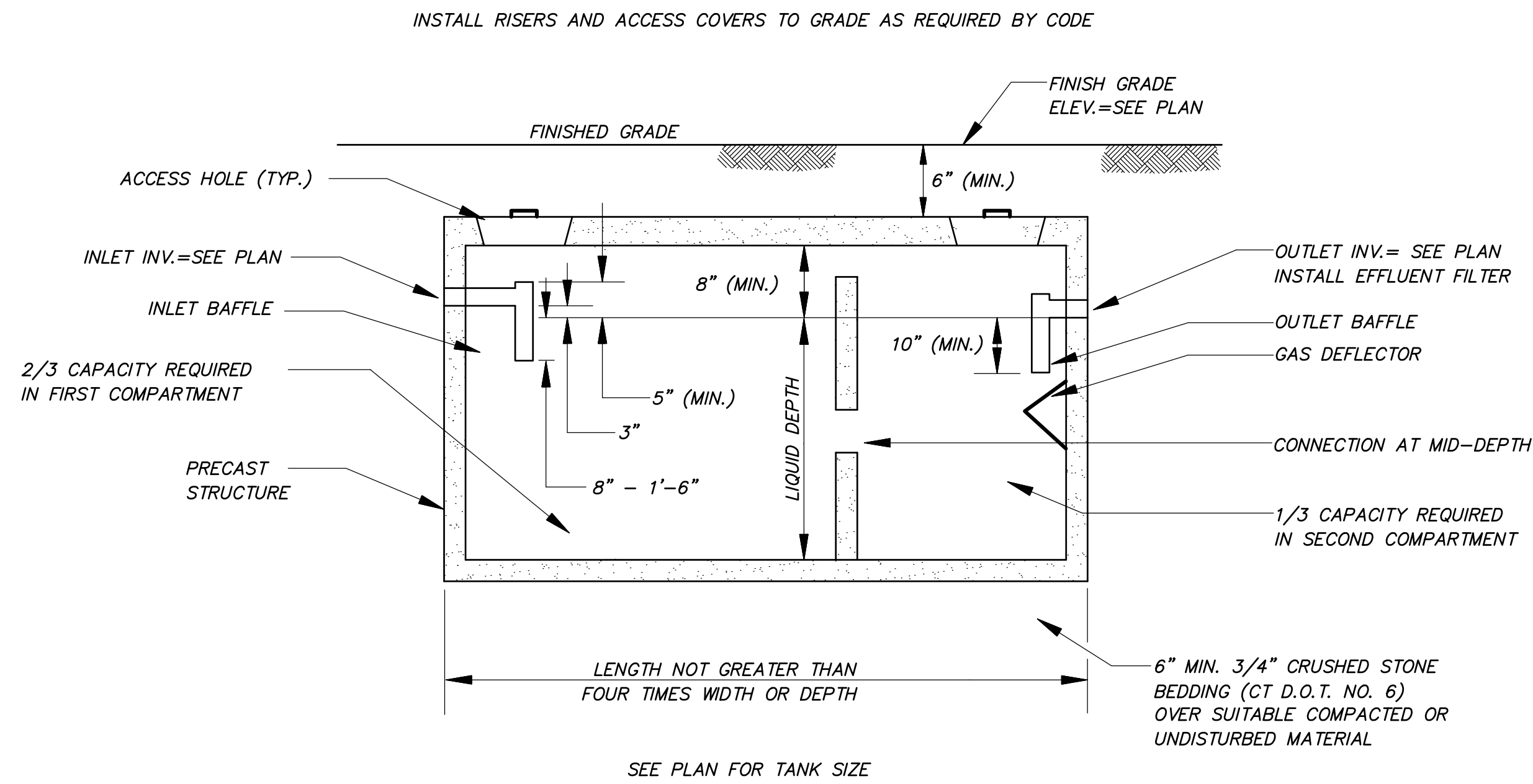
No.	Date	Description

SITE DETAILS

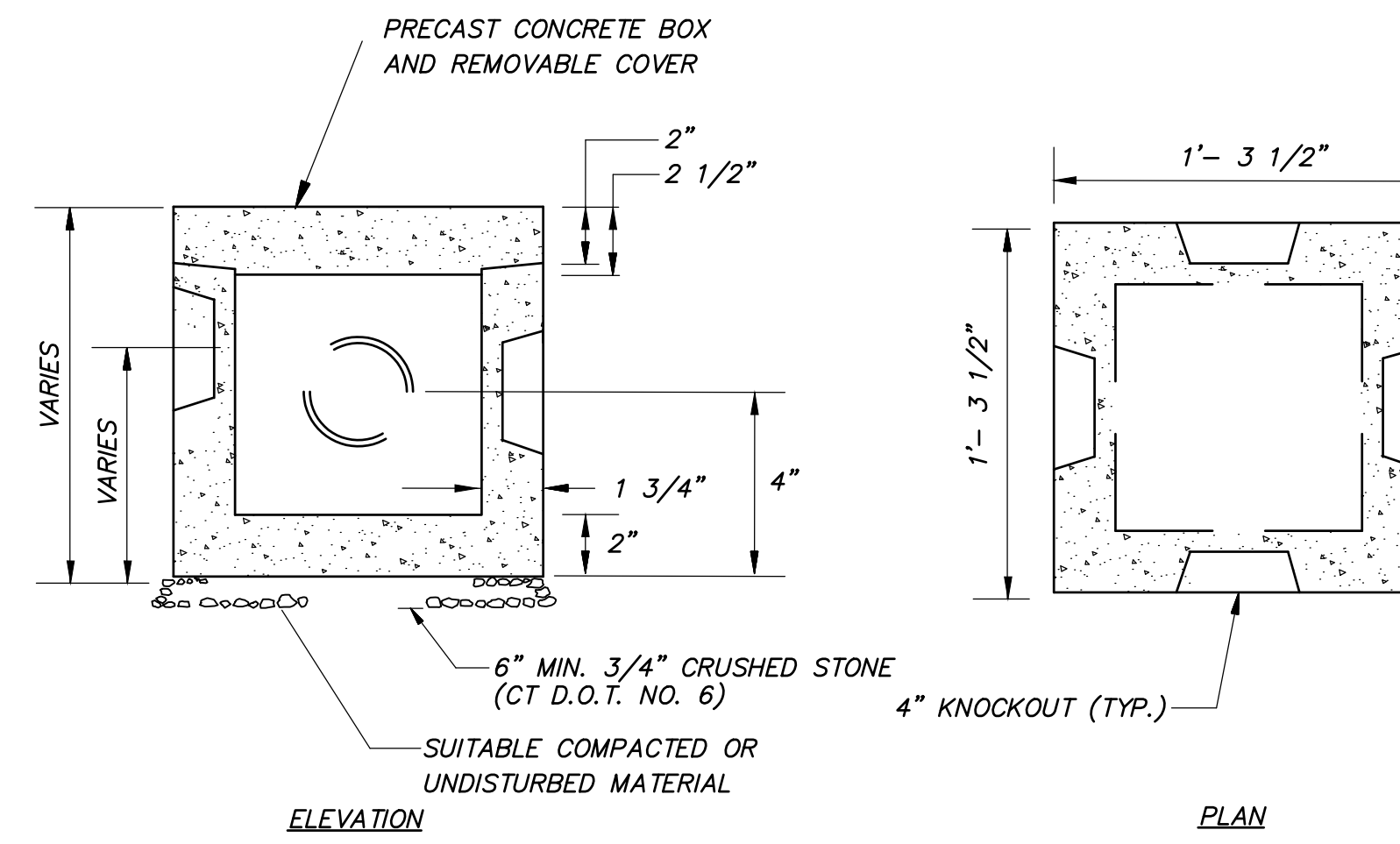
PREPARED FOR: Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DRT Job no: 23145
Scale: N.T.S. Checked by: GAH Sheet no: 3 Of 4
Road/Summit/2023/09-29-23/SD-3, Sep. 27, 2023 - 9:39:58 AM

SD-3

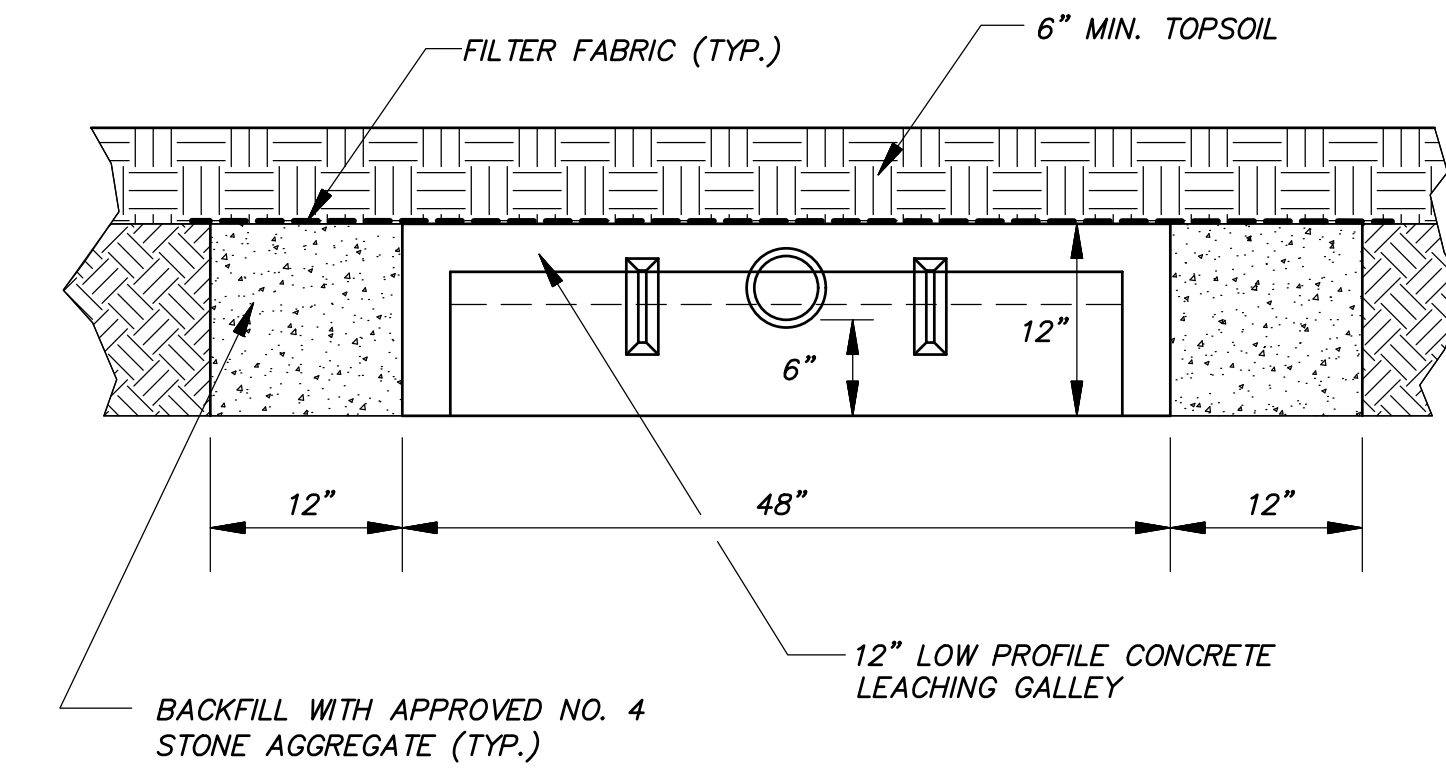


SEPTIC TANK DETAIL
N.T.S.



- NOTES:
- DIMENSIONS ARE NOMINAL AND MAY VARY BY MANUFACTURER.
 - INSTALL FLOW EQUALIZERS ON ALL OUTLET PIPES.

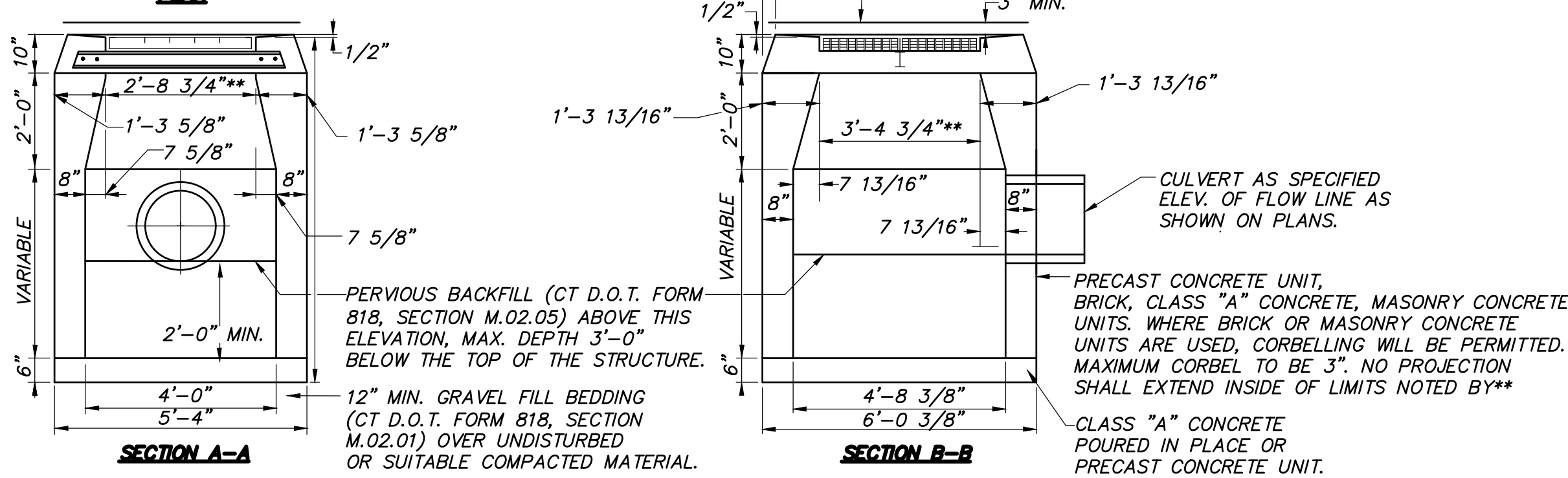
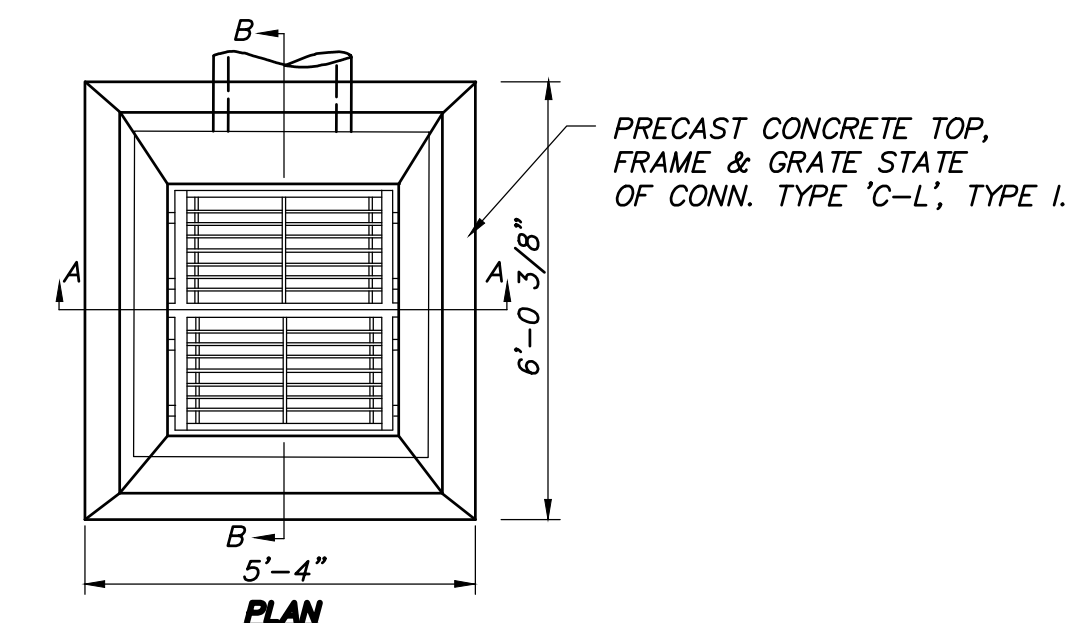
DISTRIBUTION BOX
N.T.S.



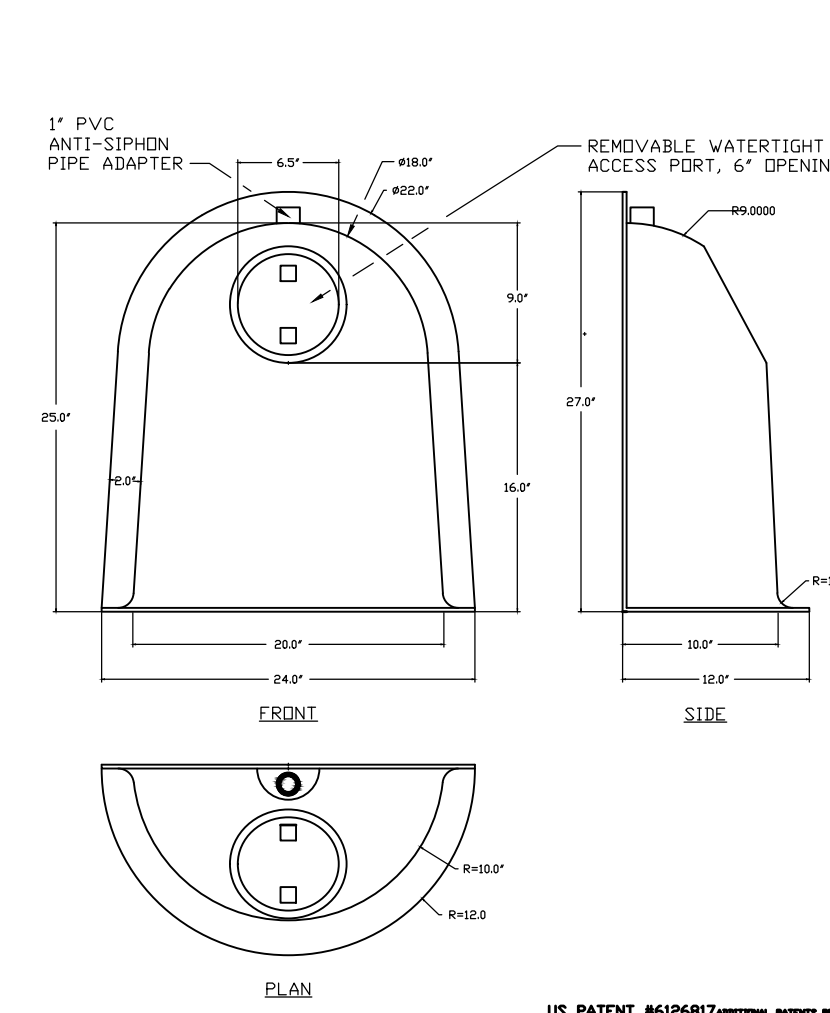
- NOTES:
- EFFECTIVE LEACHING AREA = 5.9 SQ FT/LF
 - MINIMUM CENTER-TO-CENTER TRENCH SPACING = 12 FT.

LEACHING GALLERY TRENCH DETAIL
N.T.S.

	T.F. ELEV.	OUTLET INFO	INLET INFO
OS1	152.75	24" RCP, F.L.=148.00	(2) 8" F.L.=149.00 (1) 10" F.L.=150.00
OS2	162.50	15" RCP, F.L.=159.00	(1) 6" F.L.=159.00
OS3	164.00	15" RCP, F.L.=159.00	(1) 6" F.L.=160.00



TYPE 'C-L' CATCH BASIN DOUBLE GRATE - TYPE I (O.S.1, O.S.2, O.S.3)
N.T.S.



- NOTES:
- 18-INCH HOOD SHOWN.
 - USE APPROPRIATE SIZE HOOD FOR SPECIFIED OUTLET PIPE.

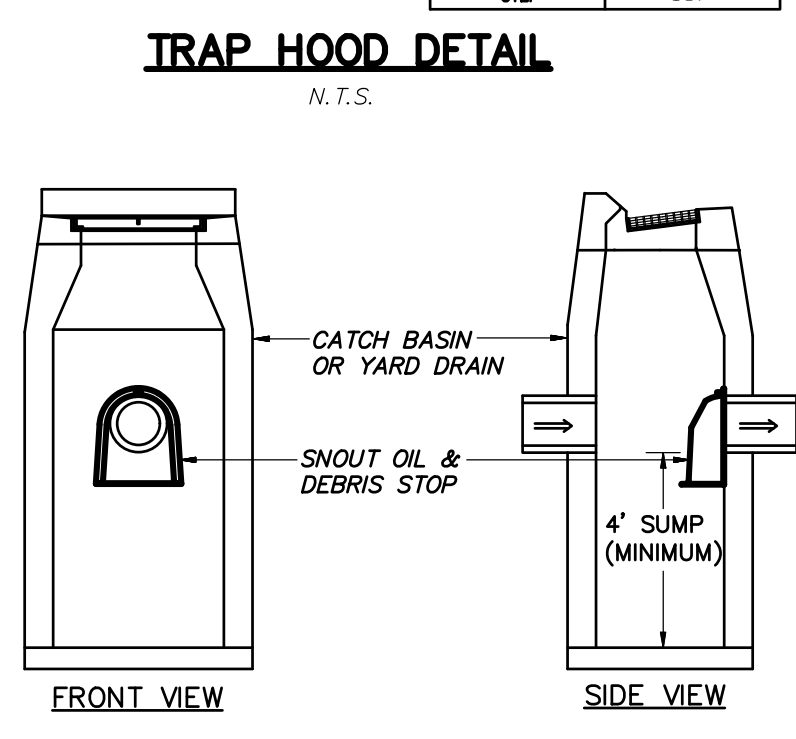
US PATENT #6,266,887

RMP, INC.

33 ST. ANDER ROAD, LINDSEY, CT 06251

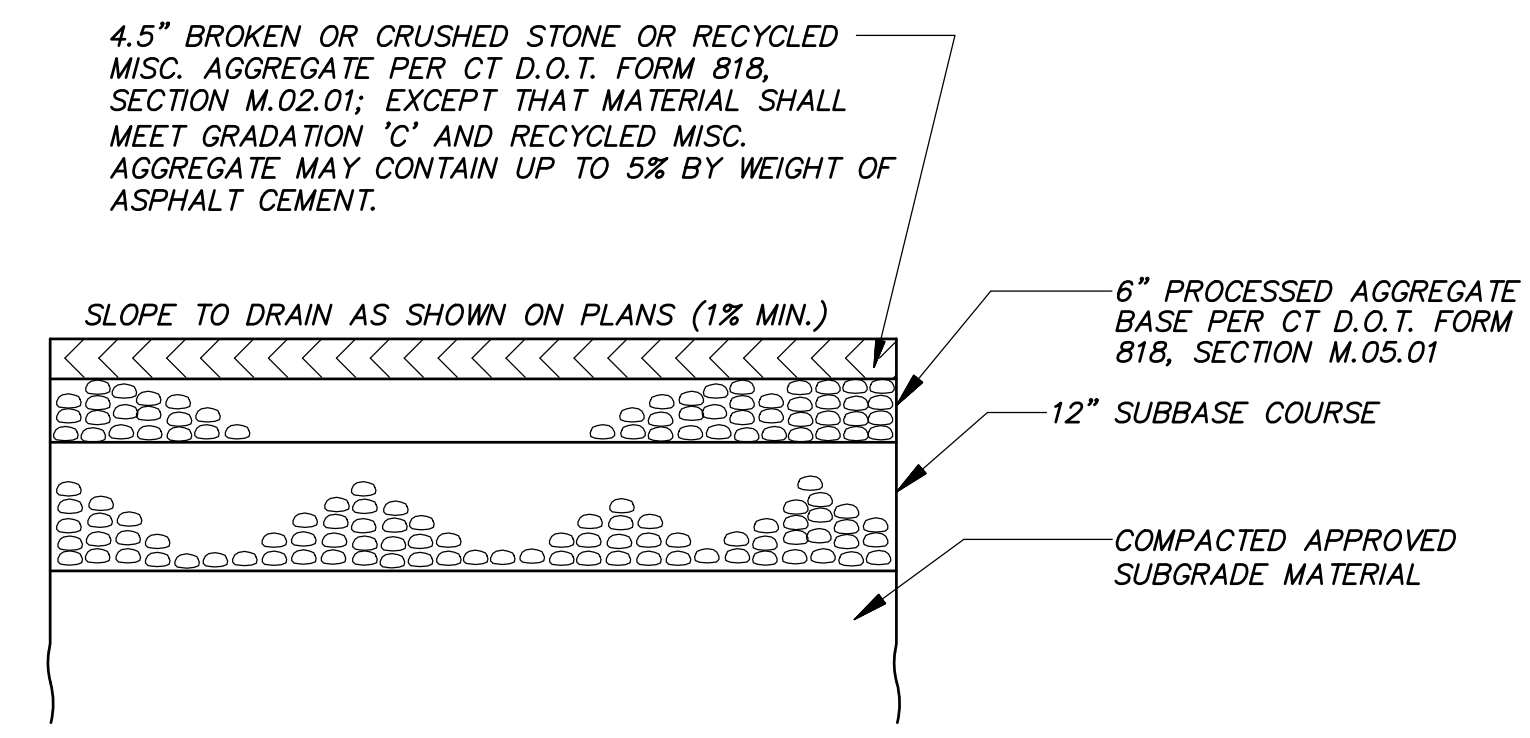
860-291-0828 FAX 860-291-0825

DESCRIPTION	DATE	SCALE
18" SUMP OIL & DEBRIS STOP	09/14/99	NONE
	09/14/99	1/8"



- NOTES:
- CAST FLUSH VERTICAL SECTIONS IN CORBEL RISER TO FACILITATE INSTALLATION OF THE TRAP HOOD AGAINST A CONTINUOUS VERTICAL WALL WITHIN THE INTERIOR OF CATCHBASIN, AS REQUIRED.
 - CONTRACTOR TO SUBMIT DETAILED SHOP DRAWINGS OF CATCHBASINS PRIOR TO CASTING CATCHBASINS TO HAVE 4" MINIMUM SUMPS.
 - INSTALL SIPHON RISER TUBE, PER MANUFACTURER'S RECOMMENDATIONS.

TRAP HOOD INSTALLATION DETAIL (TYPICAL)
N.T.S.



TRUCK PARKING GRAVEL/STONE AREA

PERMIT - WETLANDS REGULATED ACTIVITY

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

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Chairman _____ Date signed _____

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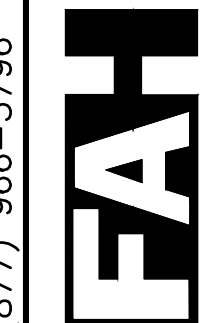
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Windsor Locks, CT 06096
(877) 966-3796

PREPARED FOR: Joneser's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

Date: 09-29-2023 Drawn by: DFT Job no: 23145
Scale: N.T.S. Checked by: GAH Sheet no: 4 Of 4
Road/Summit/2023/09-29/2023-09-29.dwg, SD-4, Sep. 28, 2023 - 8:00:12 AM



F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com - matrik@sketh.com

SD-4

GENERAL NOTES:

- 1. Survey information is taken from a plan entitled "Property/Topographic Survey" Prepared for Anthony M. Oquisanti, Russell Road East Granby, Connecticut, dated 05-25-2023, prepared by F. A Hesketh & Assoc., Inc., 1"-=50'.
2. All work and materials to conform to Town of East Granby Public Works Department and Conn. Dept. of Public Health specifications, Connecticut D.O.T. Form 818, custodial utility company standards and specifications, or the details shown on these plans, as applicable.
3. All work on this project shall be completed in conformance with the requirements of the various federal, State, and local permits issued for this project.
4. All work on this project shall be completed in conformance with the requirements of the various zoning and inland wetland permits issued for this project.
5. A pre-construction meeting and authorization to proceed will be required prior to start of any construction, including removal of trees or stripping of land. Procedures for such pre-construction meeting and authorization to proceed shall be in accordance with Town and State requirements. The contractor is responsible for arranging this meeting with Town and State officials, and the Farmington Valley Health District as applicable.
6. Prior to any excavation the contractor shall verify all underground utilities by calling CBYD 1-800-922-4455 at least 48 hours in advance.
7. The location of all utilities shown is approximate and is based on available as-built information from utility company records, the property owner, and limited survey data. All existing utilities may not be shown. The contractor is responsible for determining the exact location of all utilities on the site prior to the start of any construction activity and notifying the design site engineer of any adjustments to the plans which are necessary. Test pits will be required at all proposed utility crossings and connection locations in order to determine underground utility locations and to identify potential conflicts with vertical and horizontal alignments shown on the plans. Test pits shall be completed by the contractor at his expense.
8. All utilities to be installed in accordance with governing/custodial utility company applicable requirements. Final location of utility connections is subject to revision by individual utility companies prior to the installation. The contractor is responsible for coordinating the work with the custodial utility companies.
9. Erosion and sedimentation control measures shall be installed and maintained in accordance with the plans, specifications, the Soil Erosion and Sedimentation Control Plan and notes, and in accordance with any Town and State requirements.
10. Trees shall be flagged and approved, prior to removal.
11. No stumps, logs, brush, construction debris, or deleterious materials are to be buried on site. All shall be removed from site.
12. The contractor shall maintain the site in a neat and orderly manner throughout the construction period. All debris shall be removed from the site by the contractor, and properly disposed, off site, in accordance with applicable laws.
13. Utility service shall be maintained at all times.
14. Drainage shall be maintained throughout the project so as not to cause flooding of roadways or damage to private property.
15. All new site utilities are to be installed underground.
16. Trees and vegetation identified to be saved shall be protected from construction equipment by suitable means approved by Town staff.
17. All exterior lighting shall not be directed onto abutting properties or roadways.
18. Removal of trees or other vegetation, or re-grading substantially different from that shown on the approved site plan, will not be permitted without prior authorization by the Town or State, as applicable.
19. All construction vehicles, equipment and materials are to enter the site via the construction entrance/exit directly to Connecticut South Drive.
20. All approvals, as required by the State of Connecticut DOT and/or OSTA, shall be part of the conditions of approval.
21. Any additional revisions to the plans shall be submitted to the Town Engineer and the Director of Community Development for review and approval prior to the issuance of a building permit.

SCHEDULE AND DESCRIPTION OF RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM:

- 1. Maintenance of the on-site storm water system is the responsibility of the property owner. This includes all catch basins, system piping, manholes, SC-740 Infiltrator system, water quality basins, roof leaders and system outfalls and riprap.
2. The following schedule of maintenance shall be followed:
a. In general, good housekeeping practices shall be incorporated into the routine site and facility maintenance plan to minimize deposition of sediment, litter and contaminants into the storm drainage system.
b. Paved parking and loading areas and walks shall be swept of debris, sand, and litter at least twice annually, in particular, late spring after winter sanding operations, and in late fall after leaf litter cleanup.
c. Catch basins and storm drains shall be inspected annually, following spring site cleanup. Accumulated sediment and debris shall be removed and disposed of to approved off-site locations.
d. Water quality basins shall be inspected annually, following spring site cleanup. Accumulated sediment and debris shall be removed and disposed of to approved off-site locations.
e. Rip rap and crushed stone erosion control shall be inspected annually. Excess sediments shall be removed and repairs made when erosion is noted.
3. Maintenance records documenting system inspection and cleaning operations shall be maintained by the property owner and shall be made available for inspection by the Town as requested.
4. The owner is responsible for managing the on-site storm water system to prevent mosquito breeding between April 1 and September 30.

PROJECT DESCRIPTION:

The project consists of constructing a warehouse distribution center on a 12.43 acre site in accordance with the Commerce Park Transition zoning regulations. The facility will consist of a 40,000 square foot, one-story building, with 28 loading docks plus 2 drive in doors. In addition to the loading spaces there will be 25 tractor storage spaces and 65 trailer storage spaces. There will be 92 car parking spaces for employees, drivers and visitors, which includes 3 reserved spaces and 8 electrical charge spaces. The parking and drive areas will site will be paved except for the trailer parking area which will have a crushed stone surface. The developed area will be surrounded by open space and heavily landscaped areas. The existing decorative fence along the two road frontages will remain.

The development will be serviced with electric and communication lines from the existing services on Russell Road. Site lighting will be provided throughout the developed area. Domestic and fire water will be provided by an on-site well, storage tank and pumps. Sanitary sewage will be treated with an on-site septic system.

Surface drainage, including roof drainage will be collected in conventional storm sewer systems comprised of catch basins and storm lines and directed to three on-site water quality basins. These water quality basins will discharge at two locations to the wetlands along the south side of the site.

EROSION AND SEDIMENT CONTROL NOTES

- 1. Disturbance of soil surfaces is regulated by State Law. All work shall comply with an approved "Soil Erosion and Sediment Control Plan" to prevent or minimize soil erosion.
2. THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE LAND OWNER, DEVELOPER, AND THE EXCAVATION CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE. A 24-HOUR EMERGENCY CONTACT TELEPHONE NUMBER IS REQUIRED.
3. The contractor shall use the "Connecticut Guidelines For Soil Erosion And Sediment Control" (2002), as amended as a guide in construction the erosion and sediment controls indicated of the plans. The guidelines may be obtained from the Connecticut DEEP, 79 Elm Street, Hartford, CT, 06106-5127.
4. The project will require registration for a General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities. The Contractor shall follow the requirements of the General Permit and those of a site-specific Stormwater Pollution Prevention Plan that will be generated prior to registration.
5. The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
6. The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
7. The contractor is responsible for the timely installation, inspection, repair or replacement of erosion control devices to insure proper operation.
8. The contractor shall notify the design engineer of unsatisfactory erosion conditions not controlled by the Soil Erosion and Sediment Control Plan and shall install additional measures as required.
9. All disturbed areas not covered by buildings, pavement, mulch or ground cover plantings shall be planted with grass.
10. Accumulated sediment removed from erosion control devices is to be spread and stabilized in level, erosion resistant locations as general fill.
11. Special attention shall be given to the construction sequence outlined on Grading and Erosion Control Plan.
12. The developer shall be responsible for cleaning any construction debris or sediment from existing roads as ordered by the Town and/or State, if any debris or sediment from construction activities enter onto these roadways.
13. Limit work within wetland areas to the least disturbance necessary for construction. Restore disturbed areas as closely as possible to their original natural state.
14. Additional dust control measures as specified in D.O.T. 818 Section 9.39, Section 9.42 and Section 9.43 shall be furnished by the contractor as site conditions warrant or as directed by Town or State officials.
15. The contractor is responsible for cleaning and removal of sediment and/or debris from the storm drainage system throughout the duration of the project (i.e. silt sacks, sumps, etc.)
16. A pre-construction meeting is recommended with the Town of East Granby Staff and/or Consultant(s) prior to the start of construction to inspect E & S control measures and to discuss construction sequencing/phasing.
17. The Owner/Developer shall add erosion and sedimentation control measures as deemed necessary by the Town of East Granby staff and/or Consultant(s) throughout the construction process.
18. An as-built site improvement and grading plan, prepared by a State of CT Registered Land Surveyor, shall be submitted after all of the site work is completed, and approved by Town of East Granby Staff prior to requesting a Certificate of Occupancy.

SPECIAL INLAND WETLANDS PROVISIONS:

- 1. Coordinate all work within 100-foot wetlands-regulated area with Town's Wetlands Officer prior to start of work
2. Coordinate removal of any trees with Town's Wetlands Officer.
3. Install all erosion control devices adjacent to wetlands prior to any earth disturbance.
4. Rough grade areas within wetlands-regulated areas and stabilize all areas to not receive further work by topsoiling, seeding and mulching. Use erosion control blankets on all unstable, disturbed slopes 3:1 and steeper.
5. Do NOT stockpile any construction materials, fuels, paints, topsoil, or other earthen materials within 100-foot regulated areas.

SCHEDULE AND DESCRIPTION OF RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM:

- 1. Maintenance of the on-site storm water system is the responsibility of the property owner. This includes all catch basins, manholes, system piping, roof leaders and water quality/detention basins.
2. In general, good housekeeping practices shall be incorporated into the routine site and facility maintenance plan to minimize deposition of sediment, litter and contaminants into the storm drainage system.
3. Maintenance records documenting system inspection and cleaning operations shall be maintained by the property owner and shall be made available for inspection by the Town as requested. Inspections must be completed after any rainfall event of One-inch or greater in a 24-hour period.

The following schedule of maintenance shall be followed:

Water Quality Basins:

- A. Remove woody vegetation and invasive species on annual basis.
B. Mow all basin slopes a min. of two times annually.

Storm Drainage System--Annually (in late spring):

- A. Visually inspect all drainage structures. Structures consist of catch basins, manholes, infiltrator chamber systems, outlet structures, rip rap end sections, and endwalls. Note any deficiencies and make repairs.
B. Clean the catch basins, hooded outlets, outlet structures, manholes and piping of any accumulation of sediment and/or debris.
B.1. All cleaning and removal of sediment and debris to be performed by a licensed contractor.
B.2. Cleaning to be done with a vacuum truck so that direct access into the drainage structures is not required.
B.3. All material removed shall be disposed according to the requirements of the State of Connecticut and local regulations. If any repair work is required for the stormwater management system, the work involved shall be conducted according to Federal, State and Local Regulations.
C. Inspect final outlets for:
C.1. Deposition of sediments in rip rap plunge pools.
C.2. Erosion at outlets structures.
C.3. Condition of flared end sections, endwalls, and pipe penetrations through retaining walls. Repair/correct condition, as warranted

Semi-annually: (late spring, after winter sanding operations and mid fall, after leaf litter):

- A. Sweep or vacuum all paved drives and parking areas to remove accumulated sediments and leaf litter. Dispose of materials at licensed facility.

Monthly:

- A. Remove litter and other debris from the site.

As needed:

- A. Maintain lawn areas by cutting with mulching blades or collecting trimmings and disposing off site.
B. DO NOT dispose of lawn cuttings or landscape trimming on site. Dispose off site.
C. Stabilize or repair any landscaped areas on the site.
D. Clean up any spills or material deposits immediately as required according to the requirements of the State of Connecticut and local regulations.

EROSION CONTROL DEVICES:

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

HBEC - HAYBALE EROSION CHECKS shall be staked a minimum of five (5) feet from the base of disturbed slopes exceeding eight (8) feet in height, or at locations shown on the plans. Place haybales before starting a fill slope and after digging a cut slope. Heel haybales 4" into the soil. Stake haybales around the perimeter of all catch basins. Remove all sediment when deposits reach 1/2 bale height. Haybales must be replaced periodically.

SPEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface points where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

GRSW - GRASSED SWALE: a shaped shallow earth drainage way used to convey excess surface runoff. Grass vegetation should be well established before use. Stabilization with netting or mulch may be required.

IP - INLET PROTECTION: a sediment control device used during construction that mounts under the grate of a catch basin, residing inside the structure. It is made of permeable geotextile that allows water to pass, but traps silt and sediment. (Silt Sack or approved equal.) The silt sack must be removed when silt/sediment reaches one half the height of the device. Remove sediments and deposit on stable area of site and rinse device for reuse. Replace when damaged.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments upgradient and within the device.

RRPP - RIP RAP PLUNGE POOL: A riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream. RRPP is designed per the "Connecticut Department of Transportation, Drainage Manual - 2000"

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable/photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

CONSTRUCTION SEQUENCE/PHASING:

In general, the overall project will follow the sequence below:

- 1. Contact "call before you dig" at 1-800-922-4455 at least 48 hours prior to the start of construction to have existing utilities marked.
2. Attend a pre-construction meeting with the Owner, Project Engineer, Town of East Granby staff, and Farmington Valley Health District representatives.
3. Install construction entrance/exits and perimeter soil erosion and sedimentation sediment controls, prior to the start of site disturbance.
4. Stake clearing limits and complete tree removal. Coordinate activities with the Owner and Town's Wetlands Officer.
5. Demolish and remove from site structures and pavement.
6. Grub site and strip topsoil in areas for temporary sediment traps. Stockpile and stabilize stripped topsoil pile with perimeter silt fencing. Excavate temporary sediment traps (TST's) to provide at least the minimum required volume.
7. Strip topsoil in balance of development area and begin rough grading.
8. Construct diversion berms or swales as needed to direct runoff from disturbed areas to temporary sedimentation traps generally as shown on the SE&SC plan. Provide additional TST's and diversion berms/swales as needed.
9. Stockpile and stabilize topsoil stockpiles with perimeter silt fencing and temporary seeding. Remove excess topsoil from site.
10. Continue grading site including placement of fill in berm areas.
11. Topsoil, seed and install erosion control fabric on completed areas.
12. Construct building foundations and start building construction.
13. Construct water quality basins and then install new on-site storm drainage systems. Install inlet protection on drainage inlet structures as completed. Install riprap out protection.
14. Continue to adjust SE&SC measures as site conditions change.
15. Install other underground utility piping, sanitary sewer system and water supply system.
16. Construct gravel subbase and processed aggregate base course for drives and parking areas.
17. Install pavement binder course.
18. Install curbing.
19. Install fencing.
20. Place topsoil and establish lawns and install landscaping for balance of project.
21. Install pavement wearing course and apply pavement markings and install signs.
22. Remove erosion controls after disturbed areas are landscaped and mulched or new lawn areas are stabilized. Complete final cleaning of storm sewer system.
23. The approximate date for start of construction is spring of 2024 and the estimated completion date is winter of 2024/2025.

SPECIAL PERMIT APPROVAL
I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.
Chairman _____ Date signed _____
In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.
In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

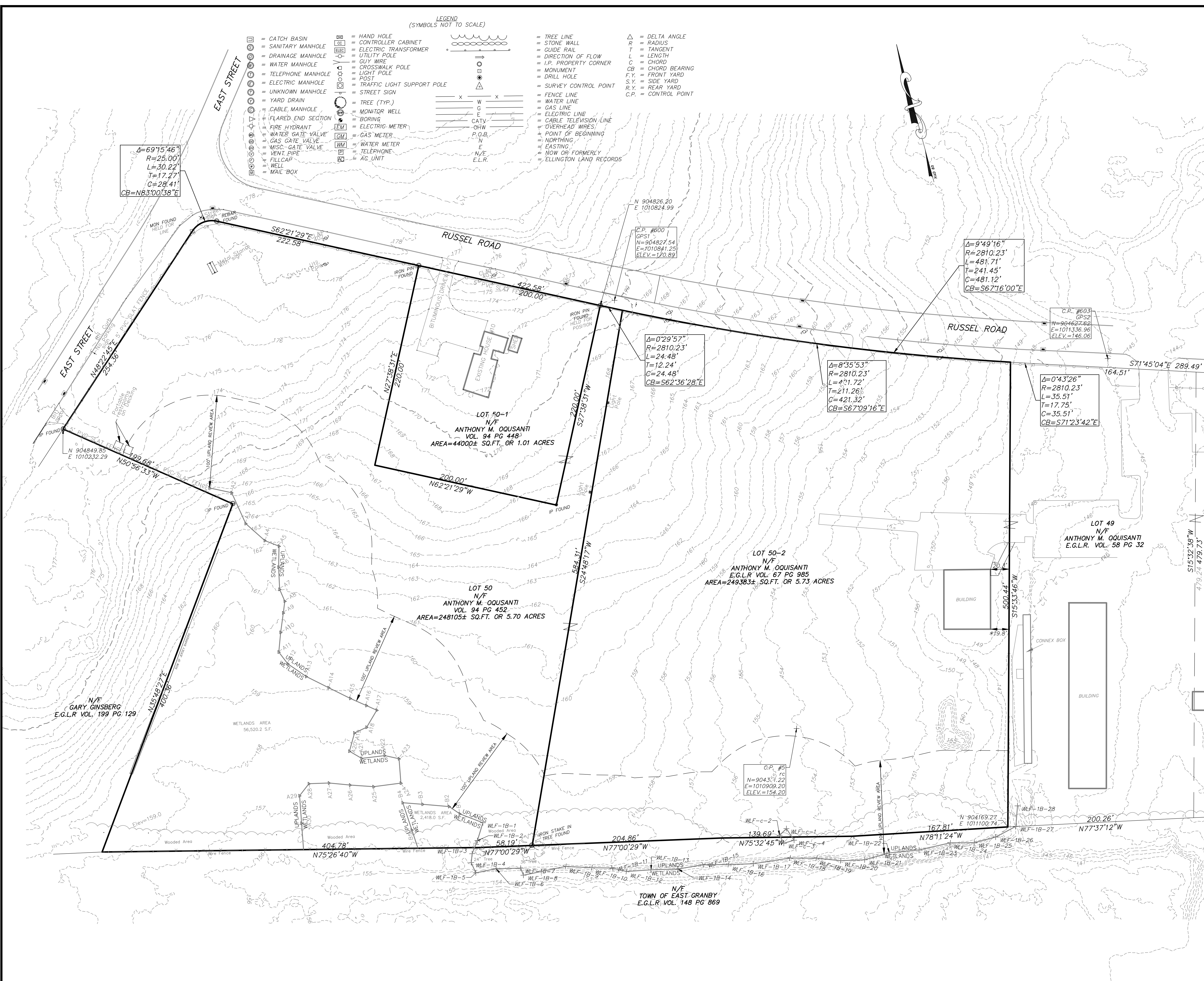
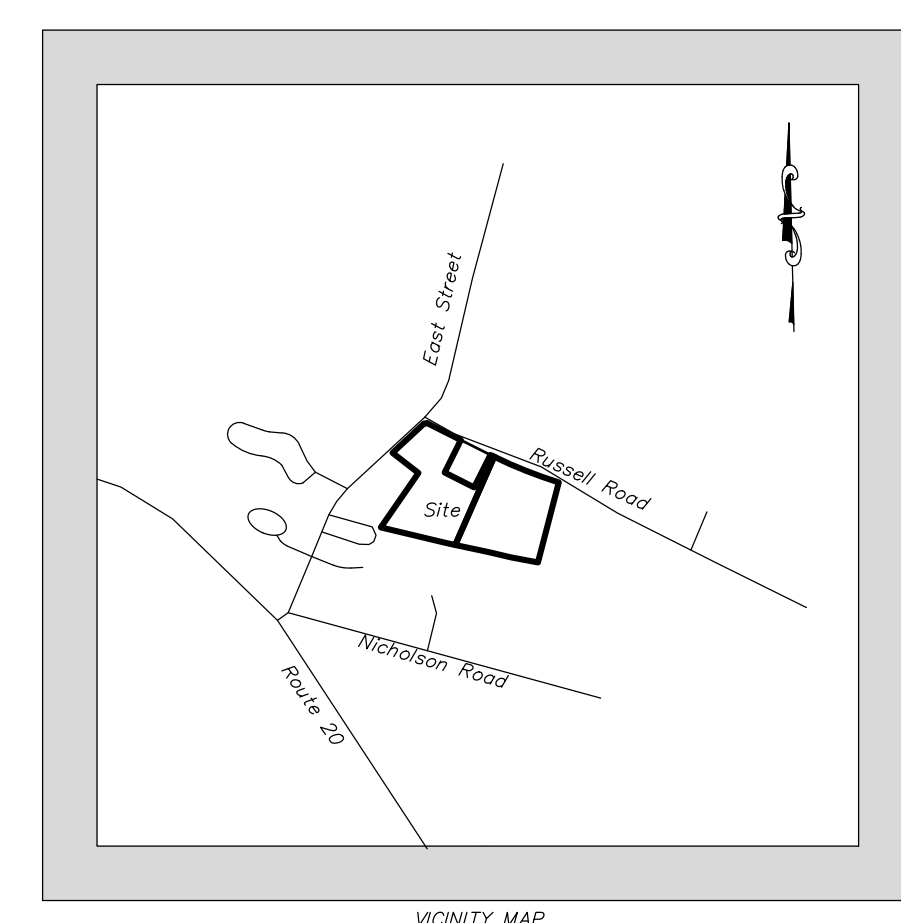
PERMIT - WETLANDS REGULATED ACTIVITY
I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.
Chairman _____ Date Signed _____
In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).
In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.
Received for filing on _____ by _____ Town Clerk _____

OWNER: Anthony Oquisanti, P.O. Box 2, East Granby, CT 06026, (860) 653-2551
APPLICANT: Joneser's Express Transportation, P.O. Box 872, Windsor Locks, CT 06096, (877) 966-3796
NOTES: Joneser's Express Transportation, 10 RUSSELL ROAD, EAST GRANBY, CONNECTICUT
Drawn by: RAK, Job no: 23145, Checked by: DSZ, Sheet no: 1 OF 1
Scale: N/S, Date: 09-29-2023
Submitted: 2023\2023-12-22 1P2\NT-1 2023-12-22.dwg, NT-1, Dec. 28, 2023 - 10:52:24 AM
F.A.H. F. A. Hesketh & Associates, Inc., 6 Creamery Brook, East Granby, CT 06026, Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects
Phone (860) 653-8000, Fax (860) 644-8600, e-mail: fah@fahsketh.com

NT-1

LEGEND
(SYMBOLS NOT TO SCALE)

<ul style="list-style-type: none"> ☐ = CATCH BASIN ☐ = SANITARY MANHOLE ☐ = DRAINAGE MANHOLE ☐ = WATER MANHOLE ☐ = TELEPHONE MANHOLE ☐ = ELECTRIC MANHOLE ☐ = UNKNOWN MANHOLE ☐ = YARD DRAIN ☐ = CABLE MANHOLE ☐ = FLARED END SECTION ☐ = FIRE HYDRANT ☐ = WATER GATE VALVE ☐ = GAS GATE VALVE ☐ = MISC. GATE VALVE ☐ = VENT PIPE ☐ = FILL CAP ☐ = WELL ☐ = MAIL BOX 	<ul style="list-style-type: none"> ☐ = HAND HOLE ☐ = CONTROLLER CABINET ☐ = UTILITY POLE ☐ = GUY WIRE ☐ = CROSSWALK POLE ☐ = LIGHT POLE ☐ = POST ☐ = TRAFFIC LIGHT SUPPORT POLE ☐ = STREET SIGN ☐ = TREE (TYP.) ☐ = MONITOR WELL ☐ = BORING ☐ = ELECTRIC METER ☐ = GAS METER ☐ = WATER METER ☐ = FILL CAP ☐ = AC UNIT 	<ul style="list-style-type: none"> ☐ = TREE LINE ☐ = GUIDE RAIL ☐ = DIRECTION OF FLOW ☐ = I.P. PROPERTY CORNER ☐ = MONUMENT ☐ = DRILL HOLE ☐ = SURVEY CONTROL POINT ☐ = FENCE LINE ☐ = WATER LINE ☐ = GAS LINE ☐ = ELECTRIC LINE ☐ = CABLE TELEVISION LINE ☐ = OVERHEAD WIRES ☐ = POINT OF BEGINNING ☐ = NORTHING ☐ = EASTING ☐ = NOW OR FORMERLY ELLINGTON LAND RECORDS 	<ul style="list-style-type: none"> ☐ = DELTA ANGLE ☐ = RADIUS ☐ = TANGENT ☐ = LENGTH ☐ = CHORD ☐ = CHORD BEARING ☐ = FRONT YARD ☐ = SIDE YARD ☐ = REAR YARD ☐ = CONTROL POINT
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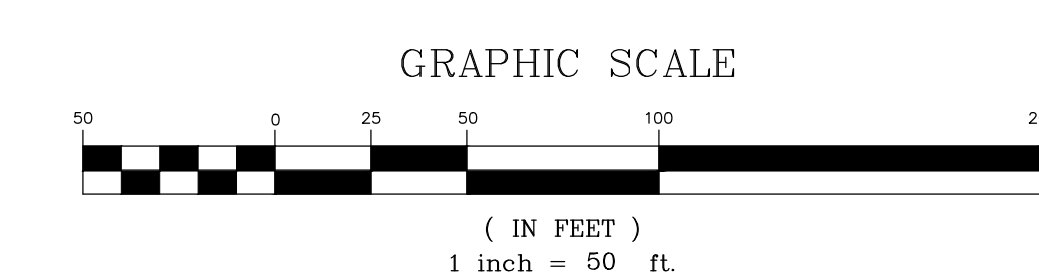


- NOTES:**
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
 - IT IS A PROPERTY/TOPOGRAPHIC SURVEY INTENDED TO BE USED FOR PRELIMINARY PLANNING PURPOSES AND TO LOCATE WETLAND FLAGS SET BY A CERTIFIED WETLANDS SOIL SCIENTIST.
 - THIS SURVEY FALLS INTO THE BOUNDARY RESURVEY DETERMINATION CATEGORY.
 - THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS AND T-D TOPOGRAPHIC ACCURACY STANDARDS.
 - THE SUBJECT PARCELS ARE CURRENTLY OWNED BY ANTHONY M. OQUISANTI VOL. 67 PG. 985, VOL. 94 PG. 448, AND VOL. 94 PG. 452.
 - THE SUBJECT PARCEL IS LOCATED IN THE COMMERCE PARK TRANSITION ZONE IN THE TOWN OF EAST GRANBY, CT, BASED THE TOWN OF EAST GRANBY ZONING MAP, ADOPTED ON APRIL 30, 1993 WITH AMENDMENTS TO OCTOBER 2022.
 - BEARINGS AND COORDINATES DEPICTED HEREON REFER TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83). ELEVATIONS (IF ANY) DEPICTED HEREON REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) AND ARE BASED UPON GPS RAPID STATIC OBSERVATIONS PERFORMED ON AUGUST 1, 2023, RESULTING IN THE FOLLOWING VALUES. CONTROL POINT #600 N=904827.54, E=1010841.25, ELEV.=170.89' AND CONTROL POINT #603 N=904627.62, E=1011366.96, ELEV.=146.06'.
 - WETLAND FLAGS A-1 TO A-30 AND B-1 TO B-4 DEPICTED HEREON ARE BASED UPON MAP REFERENCE #2. WETLAND DELINEATION FLAG SERIES 1B-1 TO 1B-28 AND C-1 TO C-4 WERE PLACED BY WILLIAM A. JACKSON, L.E.P. ON 7/15/2023 AND 7/20/2023.
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROLE TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- MAP REFERENCES:**
- AGRICULTURAL ZONE PROPERTY OF JENNIE M. CAGUE ESTATE OF MAITLAND J. CAGUE 10 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' FEBRUARY 1989 SANDERSON & WASHBURN
 - SITE PLAN ANTHONY M. OQUISANTI 22 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 40' MAY 1984 SANDERSON AND WASHBURN
 - LOT LINE REVISION PROPERTY OF ANTHONY M. OQUISANTI & MARK OQUISANTI 18-22 & 30 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' DECEMBER 5, 2018 BARRESI ASSOCIATES, LLC
 - PROPERTY SURVEY PROPERTY OF RONCARI INDUSTRIES, INC. RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE 1" = 50' 9/23/03 CLOSE JENSON & MILLER, P.C.

COMMERCE PARK TRANSITION ZONE

ZONING DISTRICT	MINIMUM REQUIRED LOT AREA (S.F.)	MAXIMUM PERMITTED LOT WIDTH (FT)	MINIMUM REQUIRED YARDS (FT.)			MAX. BLDG. COVERAGE	MAX. PERMITTED HEIGHT
			FRONT	SIDE	REAR		
CPT	80,000	N/A	100	30	30	65%	45 FT

*NON-CONFORMING TO CURRENT ZONING REGULATIONS, SEE CT GENERAL STATUTE 8-13a



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

TODD S. HESKETH LS 17945

PROPERTY/TOPOGRAPHIC SURVEY

PROPERTY OF
ANTHONY M. OQUISANTI
RUSSELL ROAD
EAST GRANBY, CONNECTICUT

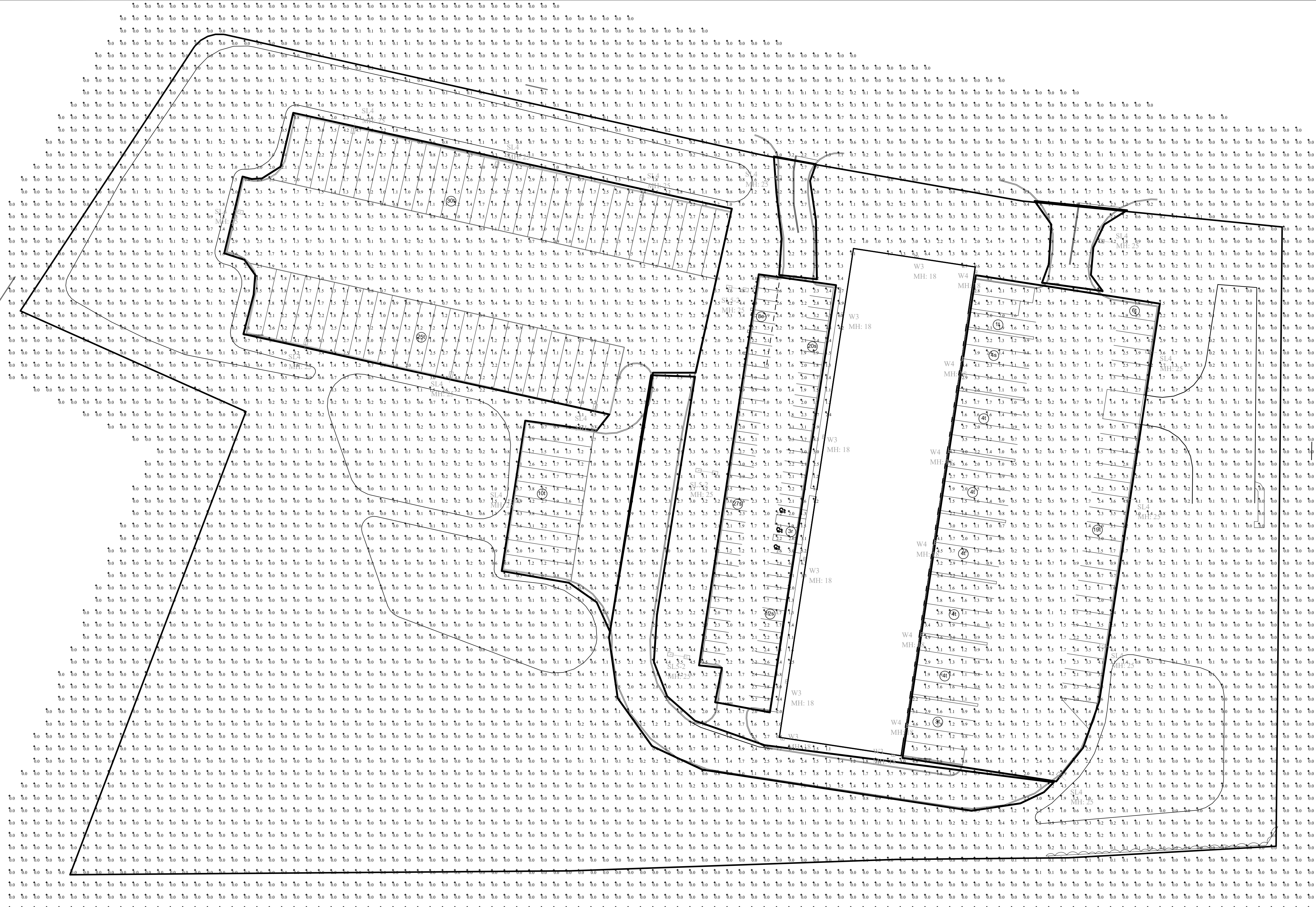
ILP-1

No.	Date	Description	Revisions:

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C:\2023\23145 - East Russell Road\SURVEY\BASE MAP 2023-09-29.dwg, layout: Sep. 2023 - 3:24:03 PM

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahesketh.com mail@fahesketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

FAH



Filename: Joner's Express Transportation Site Lighting - East Granby, CT

Symbol	Qty	Label	Arrangement	Luminaire Lumens	Luminaire Watts	LLF	BUG Rating	Mounting Height	Description
W3	6	W3	Single	19344	156	0.950	B3-UG-G3	25	NLS Lighting NV-I-T4-48L-1-40K7-UNV-DPS7-D90-BLK-FSP-40 - SSSP-25-4S-11G-12BC-SGL-BLK-136 25FT POLE
W4	7	W4	Single	9649	71	0.950	B2-UG-G2	18	NLS Lighting NV-W-T3-32L-7-40K7-UNV-WM-BLK-FSP-20-BH
SL4	1	SL4	Single	9550	71	0.950	B2-UG-G2	18	NLS Lighting NV-W-T4-32L-7-40K7-UNV-WM-BLK-FSP-20-BH

Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	Fc	0.66	8.3	0.0	N.A.	N.A.
LOADING DOCK + EAST PARKING	Illuminance	Fc	1.47	4.9	0.1	14.70	49.00
NORTHEAST ENTRY	Illuminance	Fc	2.35	4.2	0.8	2.94	5.25
NORTHWEST ENTRY	Illuminance	Fc	2.79	4.9	1.9	1.47	2.58
SOUTH DRIVEWAY	Illuminance	Fc	1.71	5.9	0.4	4.28	14.75
WEST CAR PARKING	Illuminance	Fc	2.11	6.3	0.9	2.34	7.00
WEST TRUCK PARKING	Illuminance	Fc	1.49	4.9	0.1	14.90	49.00

Greg Loda / Evan White
Lighting Affiliates
1208 Cromwell Ave
Rocky Hill, CT 06067

website: www.lightingaffiliates.com
Voice Number: (860) 721-1171 x 219
Email: gloda@lightingaffiliates.com

SITE LIGHTING
PREPARED FOR
Joner's Express Transportation
10 RUSSELL ROAD
EAST GRANBY, CONNECTICUT

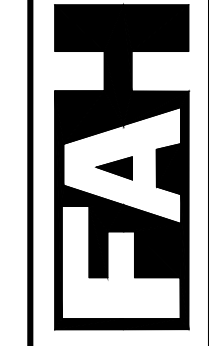
Date: 09-29-2023 Drawn by: RJK Job no: 23145
Scale: N.T.S. Checked by: DSZ Sheet no: 1 OF 1
© 2023/23145 - East Russell Road/Submitted 2023-09-29/SL-1.dwg, SL-1, Oct. 11, 2023 - 11:36:05 AM

No.	Date	Description

APPLICANT: Joner's Express Transportation
P.O. Box 872
Windsor Locks, CT 06096
(877) 966-3796

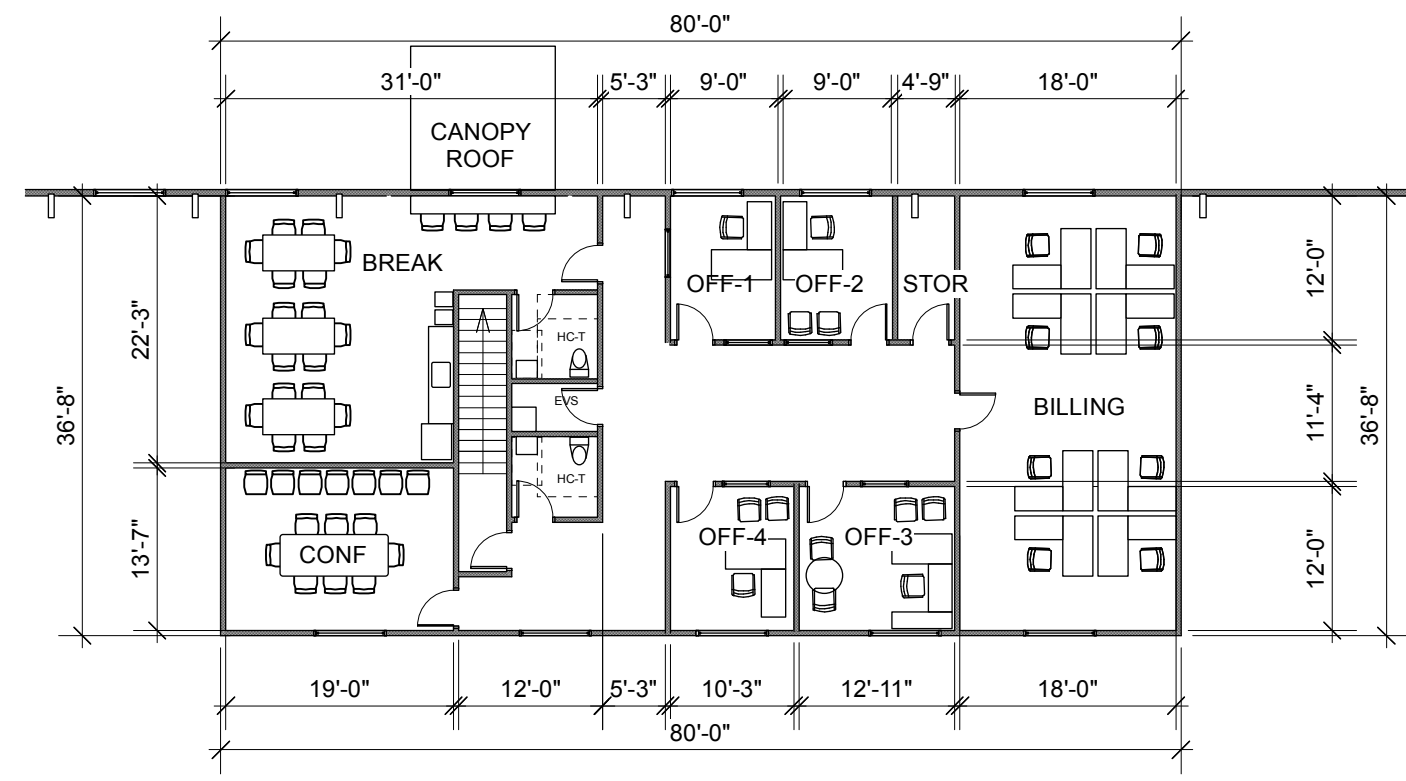
OWNER: Anthony Aquisanti
P.O. Box Z
East Granby, CT 06026
(860) 653-2551

SL-1



F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

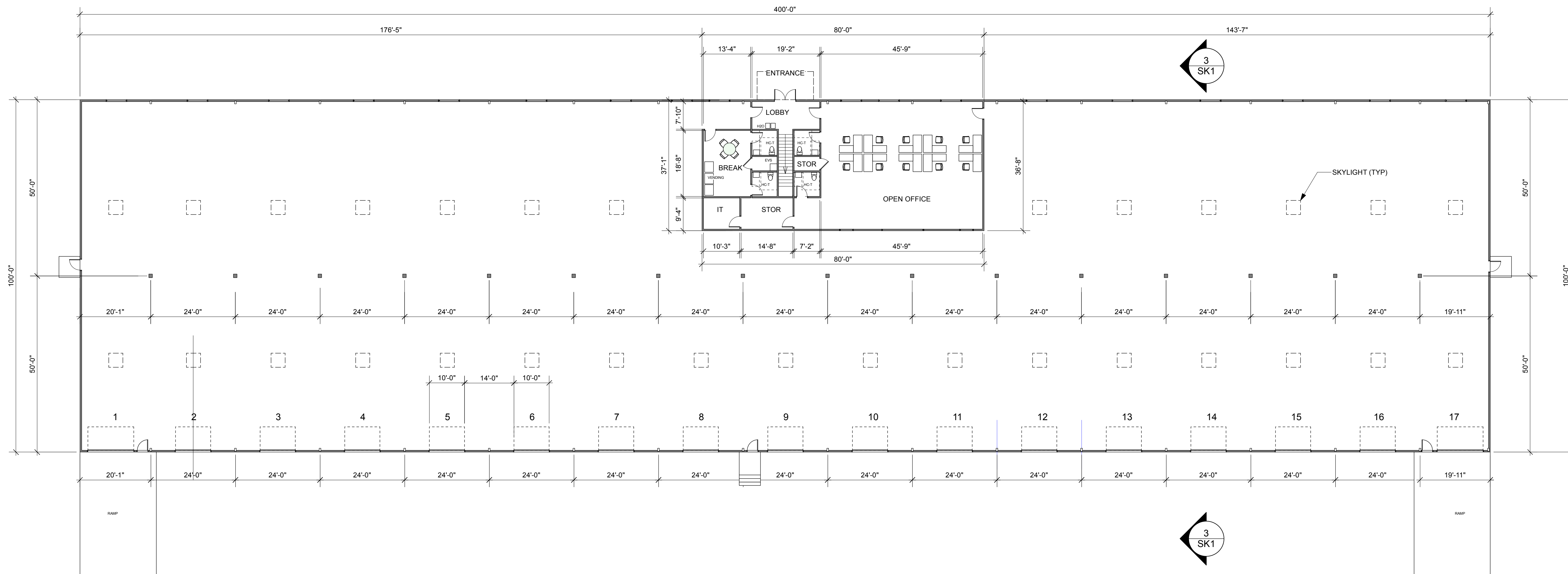
Phone (860) 653-8000
Fax (860) 844-8600
e-mail info@fah.com



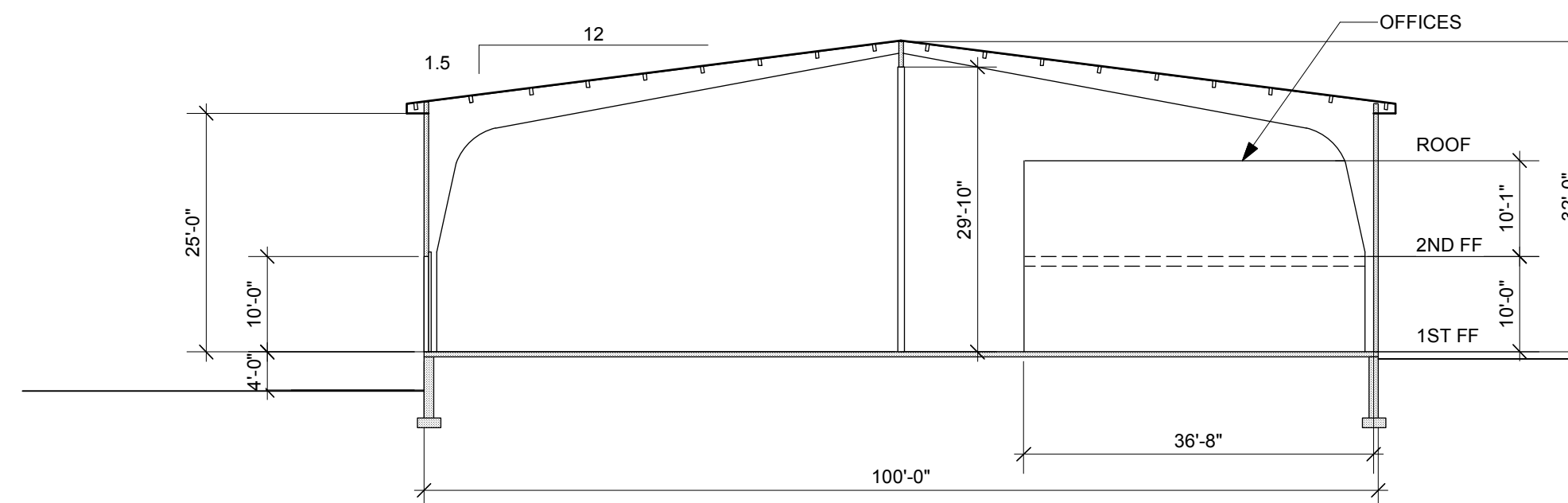
2 SCHEMATIC SECOND FLOOR PLAN
 A100 Scale: 1/16" = 1'-0"

AREA CALCULATIONS

1ST FLOOR OFFICE	2,928 SF
2ND FLOOR OFFICE	2,928 SF
TOTAL OFFICE	5,856 SF
TOTAL WAREHOUSE	37,072 SF

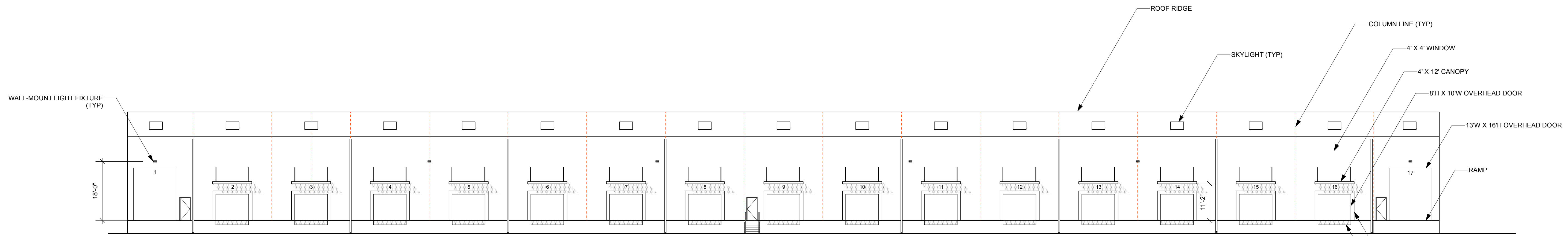


1 SCHEMATIC FIRST FLOOR PLAN
 A100 Scale: 1/16" = 1'-0"

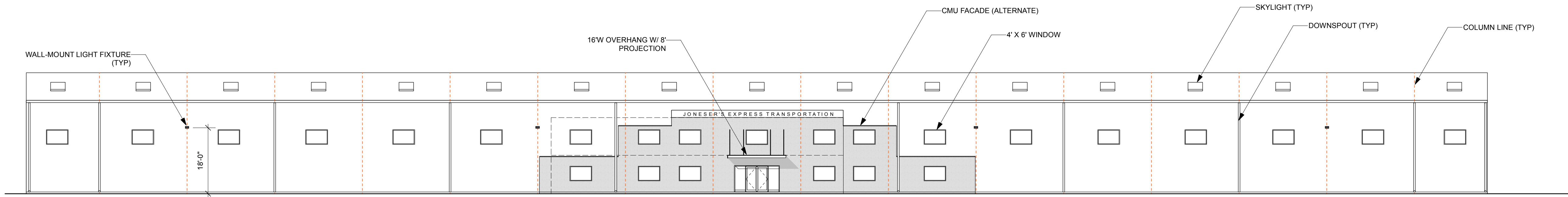


3 SCHEMATIC SECTION
 A100 Scale: 1/16" = 1'-0"

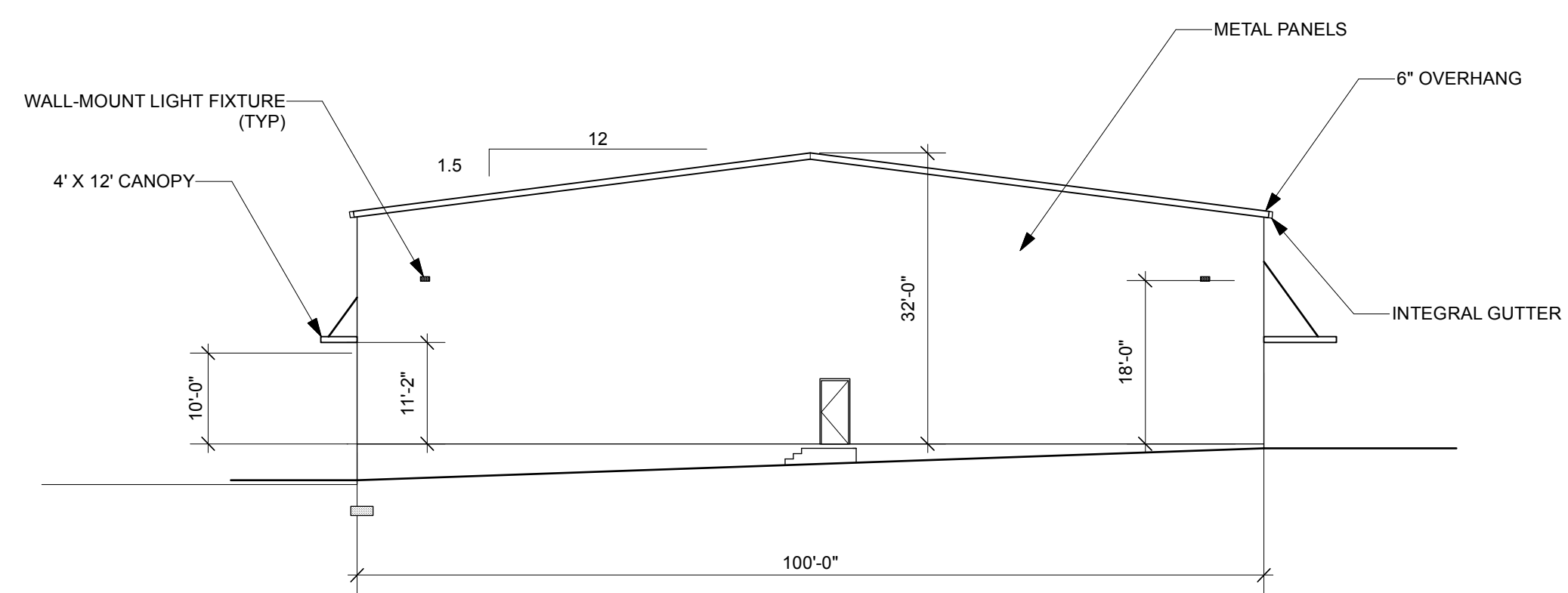
No.	Date	Issue Notes
-	11/01/2023	ISSUED FOR P&Z APPLICATION
Design Firm: VINCENT BABAK ARCHITECTURE LLC 71 WHITFIELD STREET #2D GUILFORD, CT 06437 860-604-4118		
Consultant:		
Project Title: NEW WAREHOUSE JONESER'S EXPRESS TRANSPORTATION 10 RUSSELL ROAD - EAST GRANBY, CT		
Sheet Title: SCHEMATIC FIRST FLOOR PLAN SCHEMATIC SECOND FLOOR PLAN SCHEMATIC BUILDING SECTION		
Project Manager	VB	Project ID: JET EAST GRANBY
Drawn By	VB	Scale: 1:96
Reviewed By	VB	Sheet No. A-100
Date	11/1/23	of 1
CAD File Name: JET.E.GRANBY.20231004.plan.vwx		



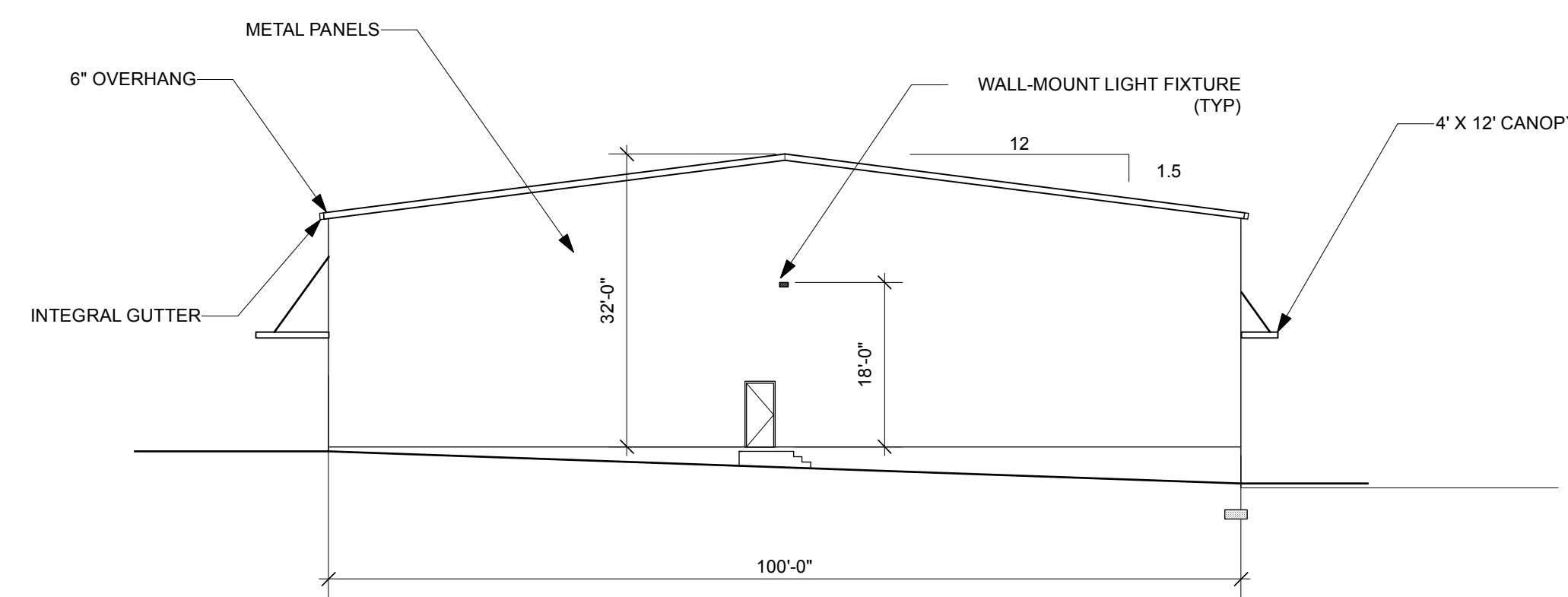
1 EAST ELEVATION
 A200 Scale: 1/16" = 1'-0"



2 WEST ELEVATION
 A200 Scale: 1/16" = 1'-0"

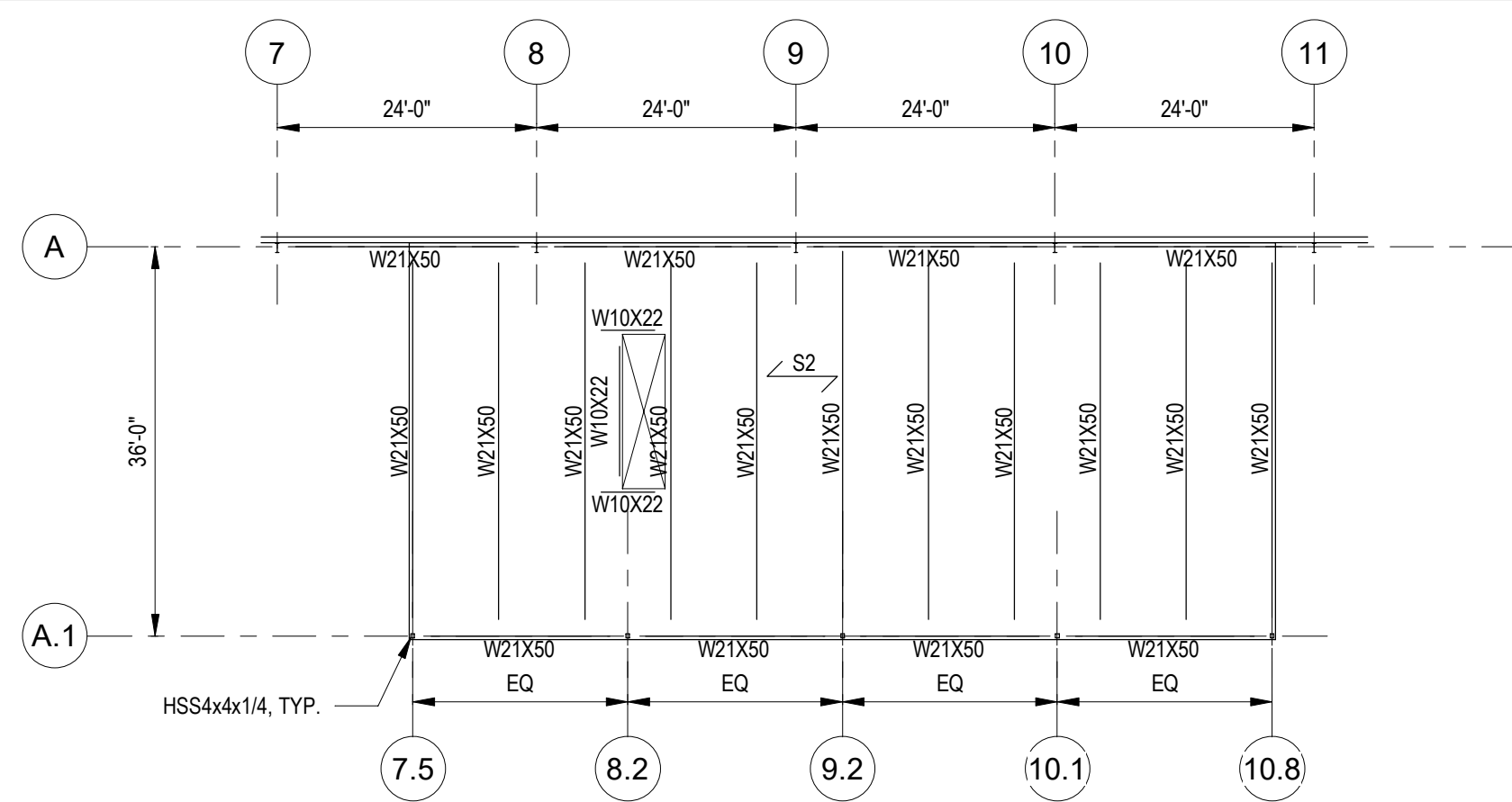


3 NORTH ELEVATION
 A200 Scale: 1/16" = 1'-0"



4 NORTH ELEVATION
 A200 Scale: 1/16" = 1'-0"

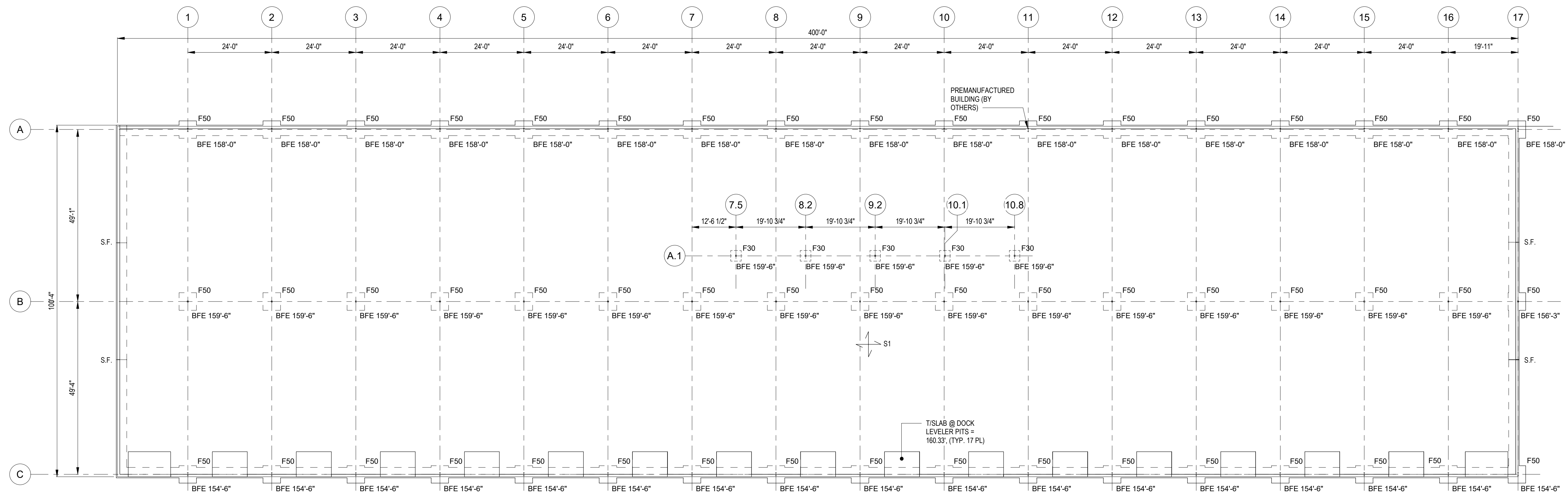
No.	Date	ISSUED FOR P&Z APPLICATION
	11/01/2023	
Design Firm: VINCENT BABAK ARCHITECTURE LLC 71 WHITFIELD STREET #2D GUILFORD, CT 06437 860-604-4118		
Consultant:		
Project Title: NEW WAREHOUSE JONESER'S EXPRESS TRANSPORTATION 10 RUSSELL ROAD - EAST GRANBY, CT		
Sheet Title: SCHEMATIC BUILDING ELEVATIONS		
Project Manager	VB	Project ID: JET EAST GRANBY
Drawn By	VB	Scale: 1:96
Reviewed By	VB	Sheet No. A-200
Date	11/1/23	of
CAD File Name	JET.E.GRANBY.20231004.elevation.vwx	2



FRAMING PLAN NOTES:

- ← S2 = FLOOR CONSTRUCTION: 2" NORMAL WEIGHT CONCRETE ON 1 1/2" DEEP 20 GA COMPOSITE STEEL FLOOR DECK REINFORCED W/ 6X6-W2.1XW2.1 WELDED WIRE FABRIC. (TOTAL THICKNESS= 3 1/2")
- TOP OF SLAB ELEVATION = 172.0', UNLESS NOTED OTHERWISE.
- TOP OF STEEL ELEVATION = 171.7', UNLESS NOTED OTHERWISE.

2 SCHEMATIC SECOND FLOOR FRAMING PLAN
SCALE: 1/16" = 1'-0"



1 SCHEMATIC FOUNDATION PLAN
SCALE: 1/16" = 1'-0"

FOUNDATION PLAN NOTES:

- ⊕ S1 = FLOOR CONSTRUCTION: 6" CONCRETE SLAB ON GRADE, REINFORCED WITH 6#6-W2.0XW2.0 WWF OVER POLY VAPOR BARRIER ON A 8" LAYER OF COMPACTED CRUSHED STONE. SEE DETAIL ON SHEET SX.X.
- TOP OF SLAB ELEVATION = 162.0', UNLESS NOTED OTHERWISE.
- TOP OF DOCK LEVELER PIT SLAB ELEVATION = 160.33', UNLESS NOTED OTHERWISE.
- BOTTOM OF FOOTING ELEVATION NOTED AS [BFE X'-X"].
- TOP OF FOUNDATION WALL = 162.0' UNLESS NOTED.
- COORDINATE LOCATION OF PEDESTRIAN AND OVERHEAD DOORS WITH ARCHITECTURAL DRAWINGS. SEE SX.X FOR DETAIL AT FOUNDATION WALL.

- 11/01/2023		ISSUED FOR P&Z APPLICATION
No.	Date	Issue Notes
Design Firm		
VINCENT BABAK ARCHITECT 71 WHITFIELD STREET #2D GUILFORD, CT 06437 860-604-4118		
Consultant		
CENTEK ENGINEERING 63-2 NORTH BRANFORD ROAD BRANFORD, CT 06405		
Project Title		
NEW WAREHOUSE JONESER'S EXPRESS TRANSPORTATION 10 RUSSELL ROAD - EAST GRANBY, CT		
Sheet Title		
SCHEMATIC FLOOR PLANS - STRUCTURAL		
Project Manager	FRC	Project ID
Drawn By	DRA	Scale
Reviewed By	Checker	Sheet No.
Date	11/01/2023	S100
CAD File Name	JET.E GRANBY	

