



TOWN OF EAST GRANBY
LAND USE APPLICATION FORM

Date 10/23/23

Application to: Planning & Zoning Commission X PZC APPL.# 23-13
Zoning Board of Appeals _____ Administrative Staff _____

Property location: _____

Purpose of the application: Proposed Text Amendment

Name, Address & Telephone # of Applicant:
Meadow Street Partners LLP
Attn. Ken Vincunas
P.O. Box 528
Agawam, MA 01001
Phone # 413-789-3720
Email: kvincunas@devassociates.com

Name, Address & Telephone # of Owner if different:

Please complete appropriate sections:

Proposed Use (if applicable) _____
Is property under PA 490? Yes ___ No ___ Present Zone(s) of affected property: _____
Property in acres: _____ Number of Lots: Existing _____ Proposed _____

Total area in wetlands: _____ Area of wetlands affected by this proposal: _____
Are there any easements or rights-of-way? Yes ___ No ___ (if yes, they must be shown)

Names & addresses of others involved in the project:

Timothy Coon, P.E.
J.R. Russo + Associates LLC
P.O. Box 938
East Windsor, CT 06088
tcoon@jrusso.com 860-623-0569



Signature of applicant

Signature of owner (if not applicant)

PLEASE SUBMIT THIRTEEN (13) COMPLETE SETS OF ALL FORMS, MAPS OR DOCUMENTATION INCLUDED WITH YOUR APPLICATION.

**TOWN OF EAST GRANBY
PLANNING & ZONING APPLICATION FORM**

SELECT & COMPLETE ONLY ONE (1) SECTION:

Section #1

- REVISED SITE PLAN** - \$110 Fee minimum **CHANGE OF USE** - Yes ___ No ___
 SPECIAL REVIEW – SIGNS - \$110 Fee
 SITE PLAN - \$160 plus \$100/acre or portion thereof (up to 20 acres) plus \$10/acre in excess of 20 with a maximum of \$3,000.

Property Location _____

Please check appropriate response.

- W.P.C.A. - Approval included ___ Application submitted ___ N/A ___
 F.V.H.D. - Approval included ___ Application submitted ___ N/A ___
 Inland/Wetlands - Approval included ___ Application submitted ___ N/A ___
 Town Engineer - Approval included ___ Application submitted ___ N/A ___
-

Section #2

- SPECIAL PERMIT** - \$160 plus \$100/acre or portion thereof (up to 20 acres) plus \$10/acre in excess of 20 with a maximum of \$3,000.

This includes the site plan review.
Explain proposed use in a separate letter.

Please check appropriate response.

- Inland/Wetlands - Approval included ___ Application submitted ___ N/A ___
 W.P.C.A. - Approval included ___ Application submitted ___ N/A ___
 F.V.H.D. - Approval included ___ Application submitted ___ N/A ___
 Town Engineer - Approval included ___ Application submitted ___ N/A ___

Affordable Housing proposed - yes ___ no ___

Property Location _____

Section #3

- REGULATION CHANGE** - \$210 Fee

Explain proposed change and reason for the proposal in a separate letter. Be sure to include the exact Section numbers affected by this proposal.



October 20, 2023

Tom Derlinga, Chairman
Planning & Zoning Commission
9 Center Street
East Granby, CT 06026

Re: Request for Text Amendment

Dear Mr. Derlinga,

Meadow Street Partners LLP currently owns approximately 23.55 acres of undeveloped land at 1 Gateway Boulevard and 81 Rainbow Road in East Granby. These properties are located within the Commerce Park Transitional (CPT) Zone and have frontage on Rainbow Road (CT State Highway Rte. 20). On behalf of Meadow Street Partners LLP, I am requesting a text amendment to the East Granby Zoning Regulations to allow Drive-thru uses as a Permitted Use in the CPT Zone on parcels with frontage on a State Highway. This amendment will only impact four (4) existing parcels in the CPT Zone that have frontage on Rte. 20. We believe that drive-thru uses in this limited area are appropriate and consistent with the surrounding uses. Thus, we are requesting the following amendments to Section V.D.2 of the Zoning Regulations:

2. Permitted Uses

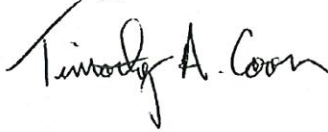
All uses in this section are permitted subject to Site Plan approval:

- a. *Business and professional offices*
- b. *Medical offices*
- c. *Research and development laboratories*
- d. *Light manufacturing, fabrication, processing or assembly of goods (buildings up to 400 thousand square feet)*
- e. *Warehouses and Distribution Centers (buildings up to 400 thousand square feet)*
- f. *Retail and Personal Service establishments (including Drive-thru establishments Type B on parcels with frontage on a State Highway)*
- g. *Restaurants (including Drive-thru establishments Type A on parcels with frontage on a State Highway)*
- h. *Existing agricultural uses*

- i. *Existing cemeteries*
- j. *Passive and active recreational amenities and parking, for the benefit of proposed adjoining permitted uses and/or for the benefit of the Town of East Granby. May include a Town-owned and operated park.*

If there are any questions, or you require further information, please call our office at (860) 623-0569.

Sincerely,

A handwritten signature in cursive script that reads "Timothy A. Coon". The signature is written in black ink and is positioned above the typed name.

Timothy A. Coon, P.E.
J.R. Russo & Associates, LLC

cc: Meadow Street Properties LLP