

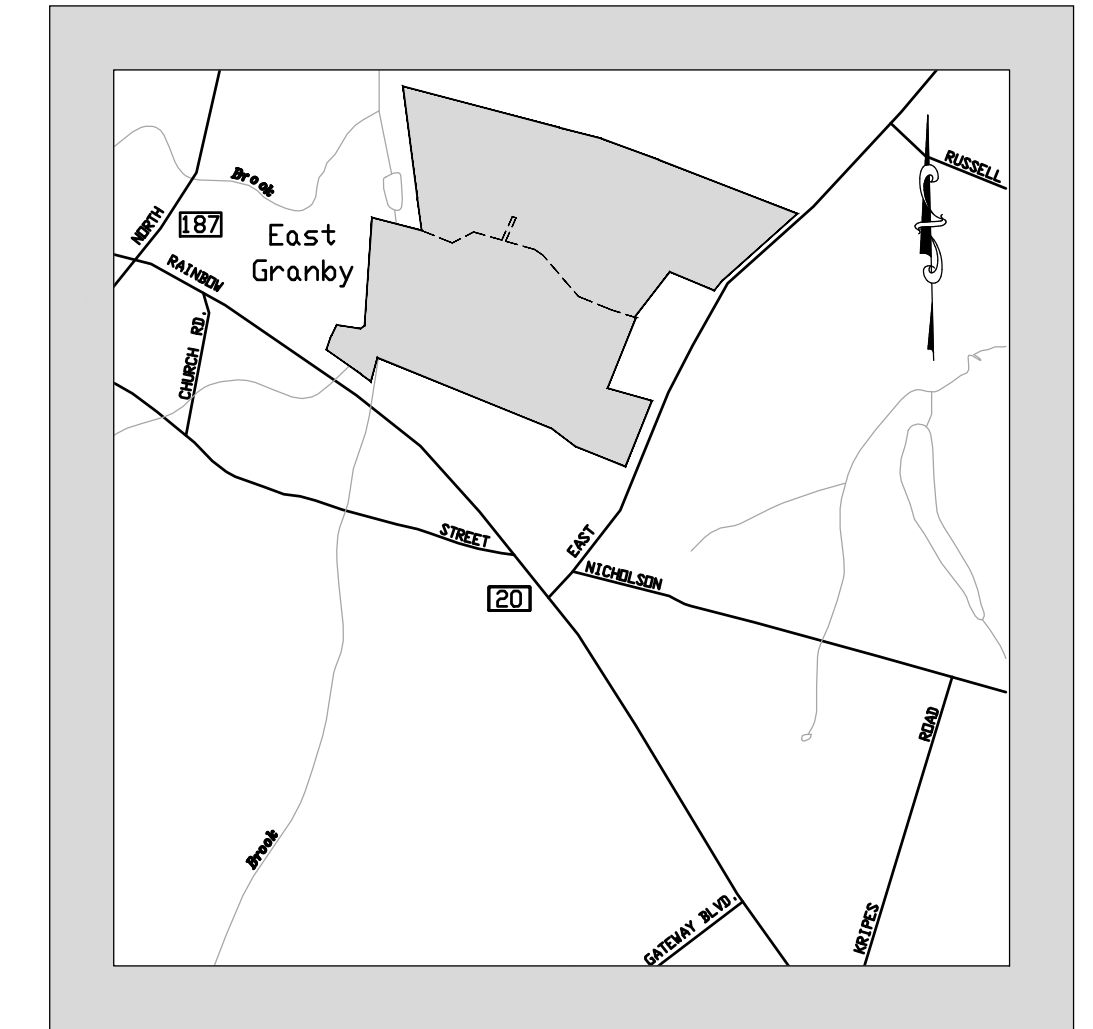
THE BRAMBLE BUSH VILLAGE

A Multi-Family Development
East Street / Bramble Bush Circle
East Granby, Connecticut

Inland Wetland & Special Permit Application

March 24, 2023

Revised Thru May 8, 2023



VICINITY MAP
(NOT TO SCALE)

DEVELOPMENT TEAM

Owner/Developer	K SFR East Granby Owner, LLC.
Civil and Traffic Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	F. A. Hesketh & Associates, Inc.

LIST OF DRAWINGS

MA-1	Title Sheet
LA-1 & LA-2	Master Plan
LS-1 thru LS-5	Layout Plan
GR-1 & GR-2	Landscape Plan
PP-1 thru PP-3	Grading and Drainage Plan
EC-1 & EC-2	Plan & Profile
UT-1 & UT-2	Soil Erosion and Sediment Control Plan
SD-1 thru SD-5	Utility Plan
NT-1	Details
A-101 thru A-104	Notes
ILP-1 thru ILP-4	Floor Plans & Elevs.
	Improvement Location Plan

PERMIT - WETLANDS REGULATED ACTIVITY

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Guy A. Hesketh P.E. #19394



F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 · Fax (860) 844-8600
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects



(LOT LINES BETWEEN PARCELS TO BE EXTINGUISHED)

EAST GRANBY MEADOWS
(Phase 2)

BRAMBLE BUSH VILLAGE
(Phase 1)

OVERALL DEVELOPMENT DATA

PHASE 1

Bramble Bush Village

Lot Area	28.65 Acres
Buildable Area	24.22 Acres
Total Units	116 Units

PHASE 2

East Granby Meadows

Lot Area	26.29 Acres
Buildable Area	18.27 Acres
Total Units	47 Units

OVERALL COMBINED DEVELOPMENT

Lot Area	54.94 Acres
Buildable Area	42.49 Acres
Total Units	163 Units
Proposed Density	3.8 Units per Acre

DEVELOPMENT DATA

Zone: MFRD
Section IV.6

Requirement	Required	Proposed
Minimum Parcel Area	10 Acres	54.94 Acres
Minimum Buildable Land		42.49 Acres
Minimum Parcel Frontage	200 Feet	591.41 Feet *
Minimum Front Yard Setback	75 Feet	75 Feet
Minimum Side Yard Setback	50 Feet	52 ± Feet
Minimum Rear Yard Setback	50 Feet	121 ± Feet
Minimum Landscaped Front Yard	25 Feet	39 ± Feet
Minimum Landscaped Buffer	25 Feet	25 Feet
Maximum Building Coverage	20 Percent	13.0 Percent
Maximum Lot Coverage	40 Percent	30.1 Percent
Minimum Building Separation	25 Feet	25 Feet
Maximum Building Height	35 Feet	24 ± Feet
Maximum Stories	2.5 Stories	2 Stories
Minimum Open Space	60 Percent	80 ± Percent
Minimum Parking Spaces (2.5 Spaces per Unit)	408 Spaces	428 Spaces

* Longest Frontage along East Street

PARKING TABULATION

Required (Section VII.B.2)

Multiple-family dwelling: 2.5 spaces per dwelling unit

163 Units x 2.5 required spaces per unit = 408 Required Spaces

Proposed

A. Garage Spaces	163 Spaces
B. Driveway Spaces	163 Spaces
C. Dedicated Reserved (HC Accessible)	3 Spaces
D. Standard On-Street Spaces	77 Spaces
E. Electric Vehicle Charging Spaces	22 Spaces *
Total Proposed Spaces	428 Spaces

* Proposed Outdoor Electric Vehicle Charging spaces equals 10 Percent of Bramble Brook Garage Spaces plus all Bramble Brook On-Street Spaces

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<p>Revisions:</p> <table border="1"> <tr><th>No.</th><th>Date</th><th>Description</th></tr> <tr><td>1.</td><td>05-08-2023</td><td>Merged Parcels</td></tr> </table>		No.	Date	Description	1.	05-08-2023	Merged Parcels	<p>F. A. Hesketh & Associates, Inc. 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahsketh.com - matriefahsketh.com</p> <p>Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects</p> <p>FAH</p>
No.	Date	Description						
1.	05-08-2023	Merged Parcels						
<p>MASTER PLAN PREPARED FOR K SFR EAST GRANBY OWNER, LLC BRAMBLE BUSH CIRCLE OLD DEERFIELD CIRCLE EAST GRANBY, CONNECTICUT</p> <p>Date: 05-08-2023 Drawn by: KLL Job no: 22092 Scale: 1" = 100' Checked by: GAH Sheet no: 1 OF 1 Q:\2022\22092 - Krown Point East Granby\Submittal\2023-05-08\MA-1 2023-05-08.dwg, MA-1, May 08, 2023 - 8:23:28 AM</p>								
<p>MA-1</p>		<p>MA-1</p>						

SIGNAGE LEGEND

Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	3
B		31-0648	3
C		31-0552	2
D		Custom (12" x 18")	22
E		31-1119	2

PAVEMENT LEGEND

Symbol	Type
e	Electric Vehicle Charging Space
r	Reserved (Handicap Accessible) Space
s	Standard On-Street Space

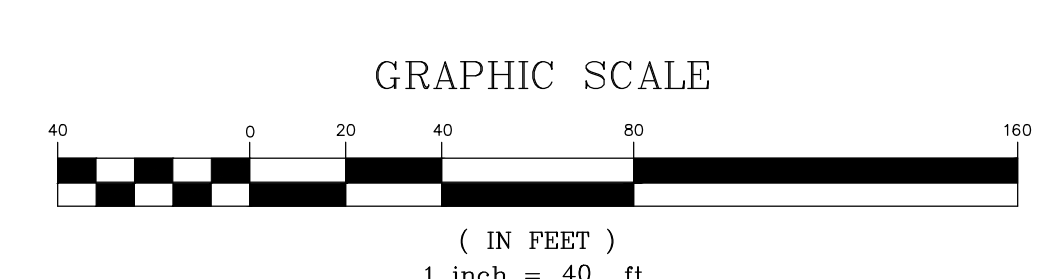
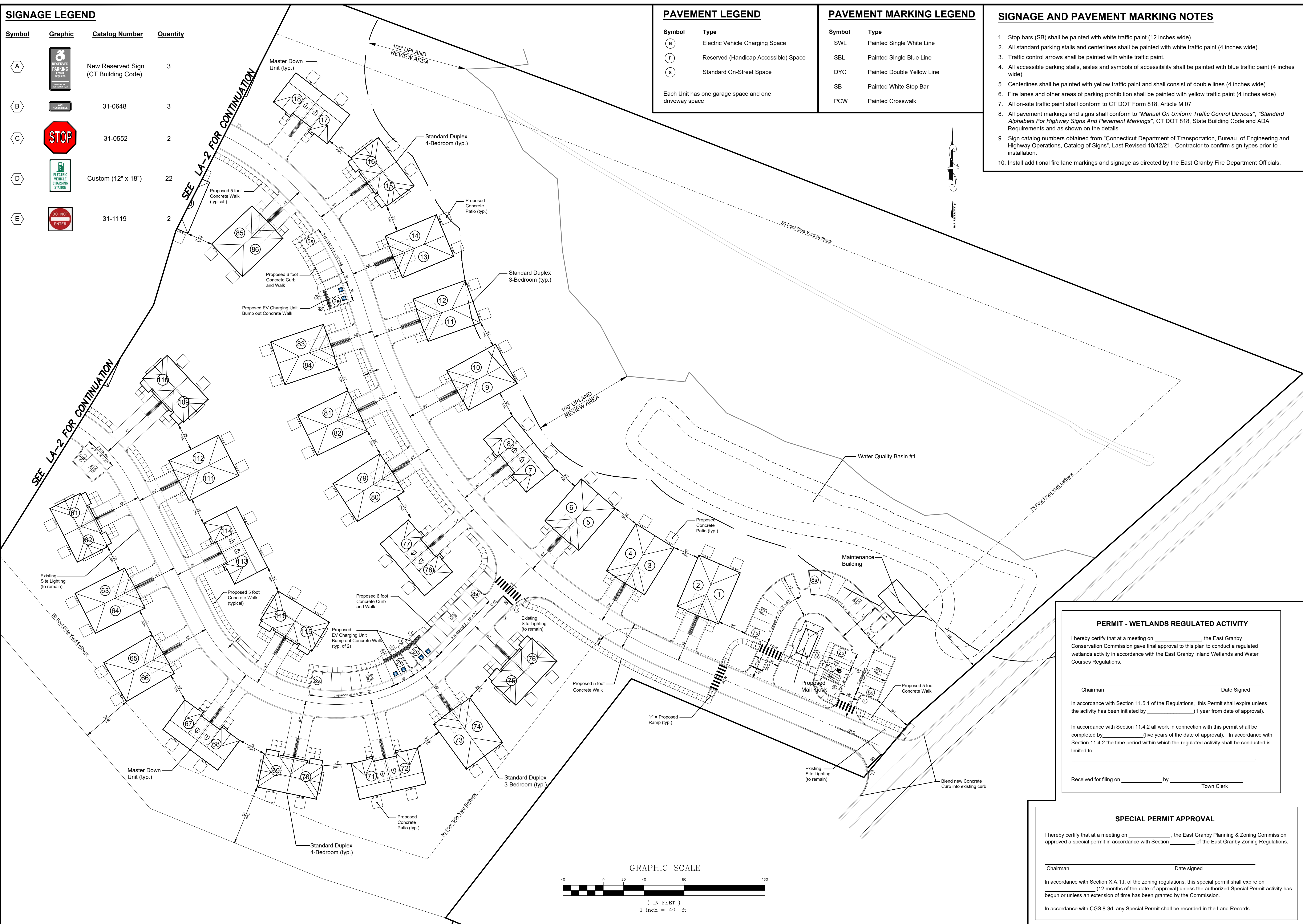
Each Unit has one garage space and one driveway space

PAVEMENT MARKING LEGEND

Symbol	Type
SWL	Painted Single White Line
SBL	Painted Single Blue Line
DYC	Painted Double Yellow Line
SB	Painted White Stop Bar
PCW	Painted Crosswalk

SIGNAGE AND PAVEMENT MARKING NOTES

1. Stop bars (SB) shall be painted with white traffic paint (12 inches wide)
2. All standard parking stalls and centerlines shall be painted with white traffic paint (4 inches wide).
3. Traffic control arrows shall be painted with white traffic paint.
4. All accessible parking stalls, aisles and symbols of accessibility shall be painted with blue traffic paint (4 inches wide).
5. Centerlines shall be painted with yellow traffic paint and shall consist of double lines (4 inches wide)
6. Fire lanes and other areas of parking prohibition shall be painted with yellow traffic paint (4 inches wide)
7. All on-site traffic paint shall conform to CT DOT Form 818, Article M.07
8. All pavement markings and signs shall conform to "Manual On Uniform Traffic Control Devices", "Standard Alphabets For Highway Signs And Pavement Markings", CT DOT 818, State Building Code and ADA Requirements and as shown on the details
9. Sign catalog numbers obtained from "Connecticut Department of Transportation, Bureau. of Engineering and Highway Operations, Catalog of Signs", Last Revised 10/12/21. Contractor to confirm sign types prior to installation.
10. Install additional fire lane markings and signage as directed by the East Granby Fire Department Officials.



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LAYOUT PLAN
 PREPARED FOR
KSFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-24-2023 Drawn by: KLL Job no: 22062
 Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 2
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LA-1

FAH

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Water Quality Basin #3

100' UPLAND REVIEW AREA

100' UPLAND REVIEW AREA

Water Quality Basin #2



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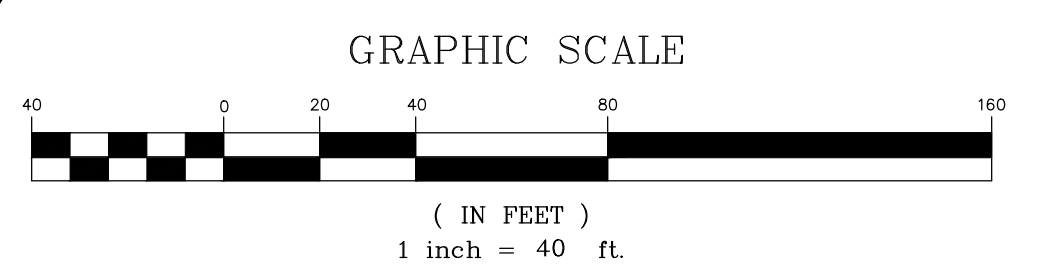
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UTILITY PLAN

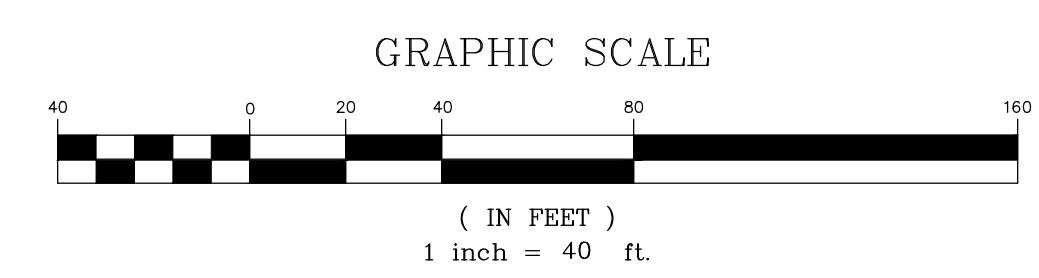
PREPARED FOR
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EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DFT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2
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LA-2

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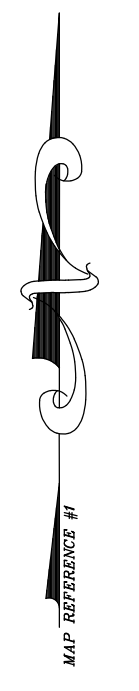
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LS-1



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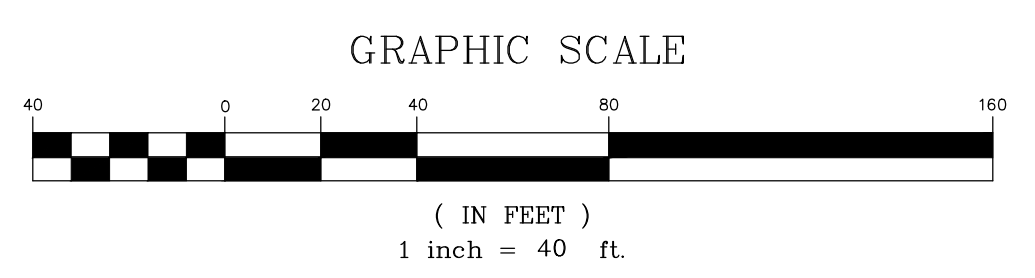
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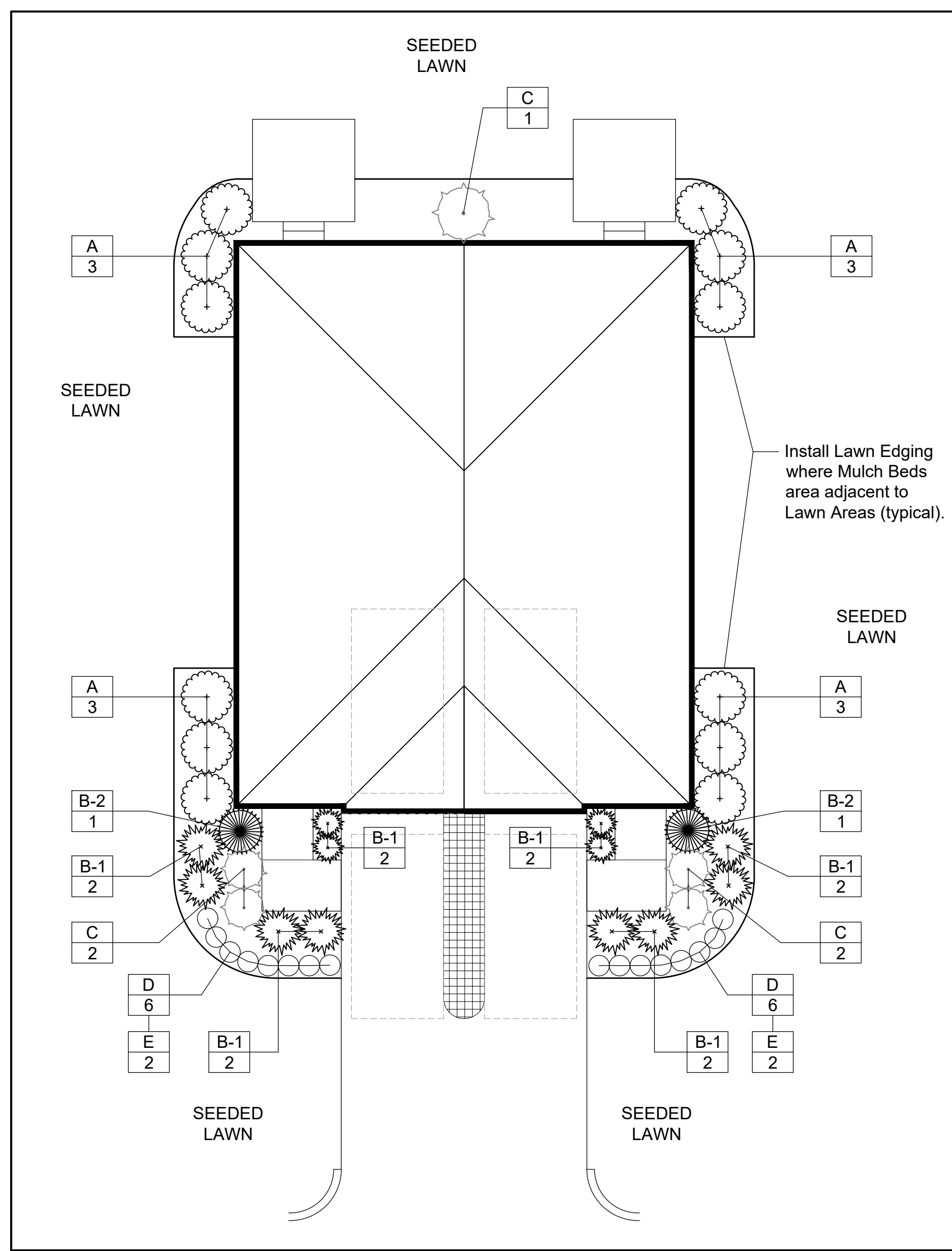
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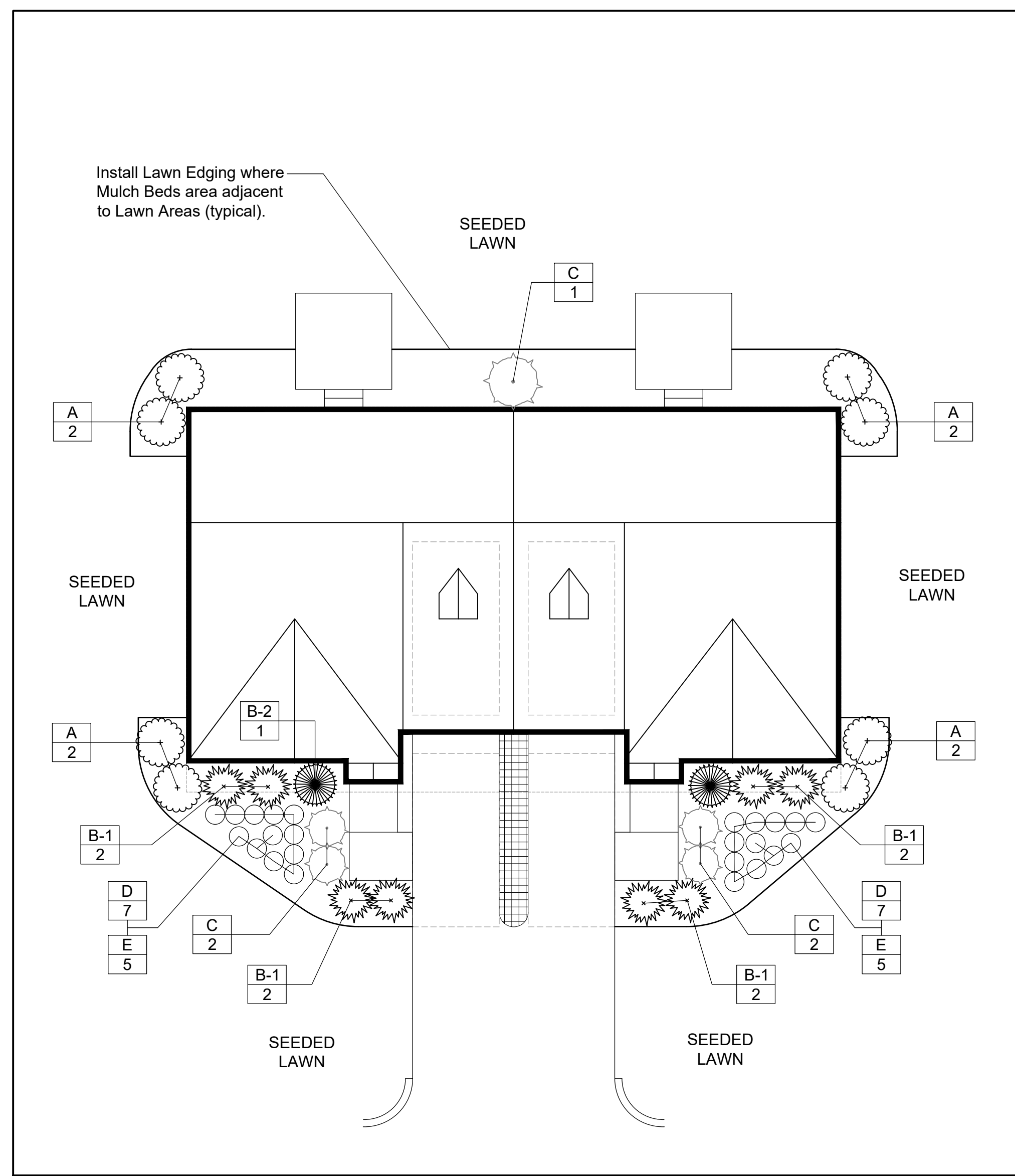
LS-2

FAH

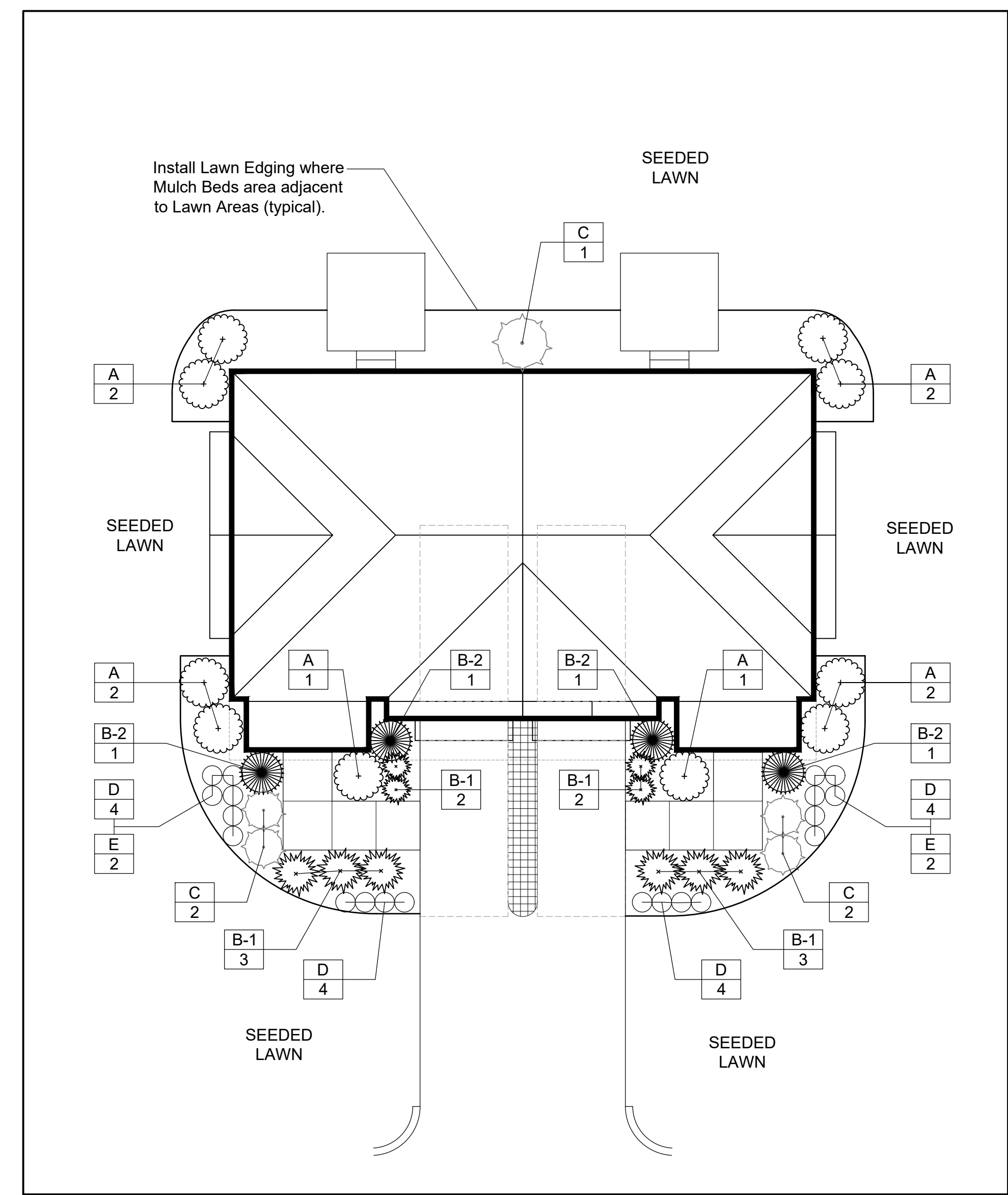
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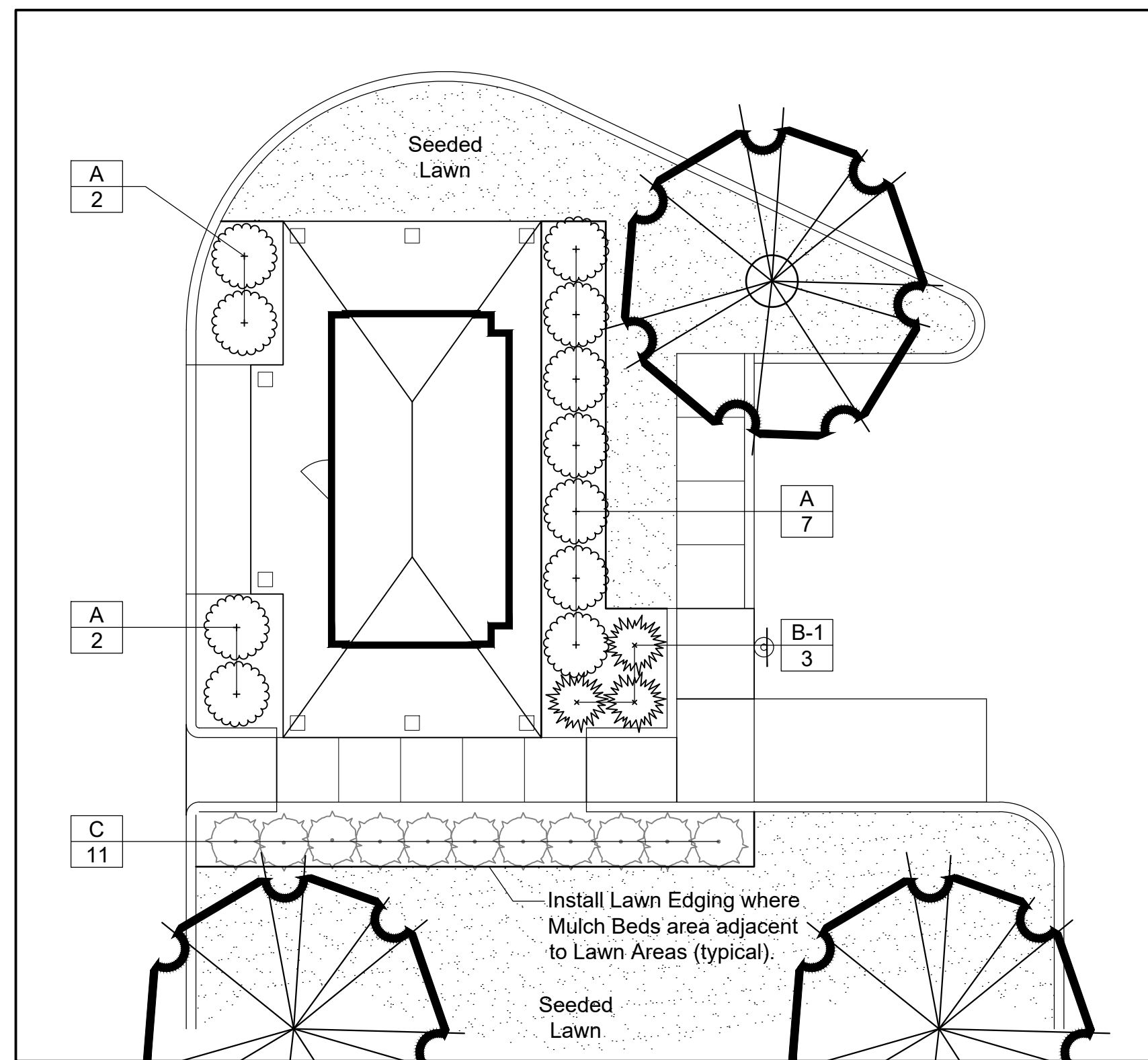
3-BEDROOM FOUNDATION PLANTING
(typical of 34)



MASTER DOWN FOUNDATION PLANTING
(typical of 12)



4-BEDROOM FOUNDATION PLANTING
(typical of 12)



MAIL KIOSK FOUNDATION PLANTING

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Scale: AS SHOWN Checked by: GAH Sheet no: 3 OF 5
© 2022/2082 - Krown Point East Granby/Submittal 2023-05-08/LS-1 2023-05-08.dwg, LS-3, May, 03, 2023 - 3:28:02 PM

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LS-3

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

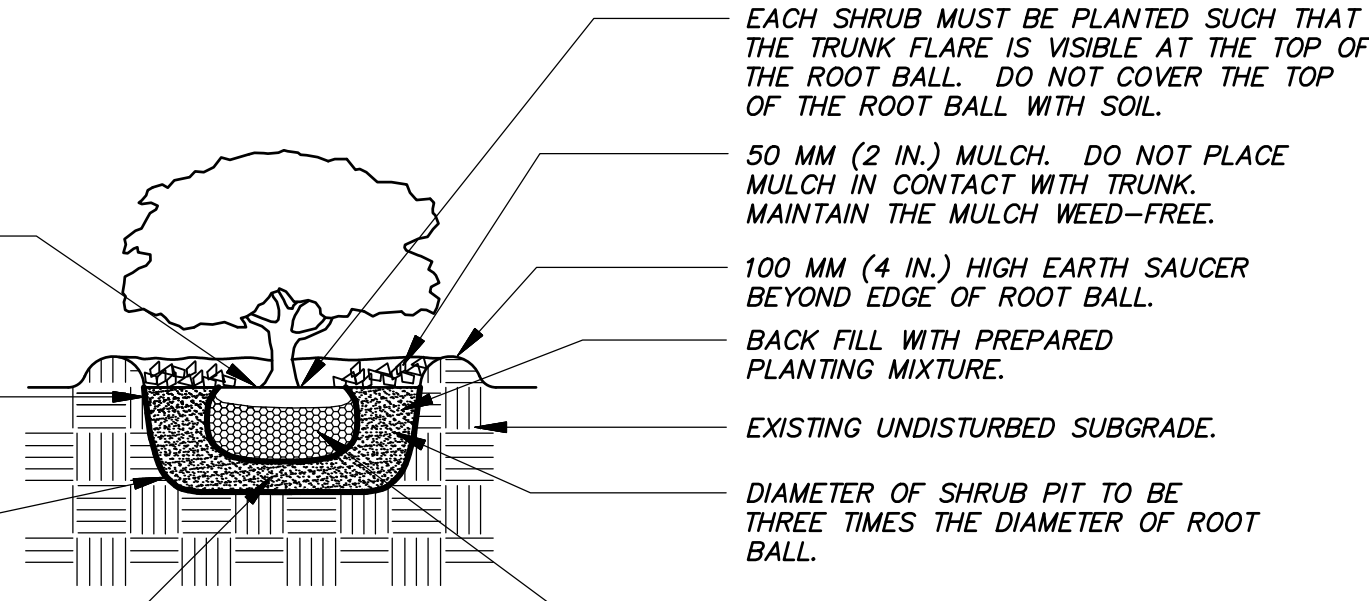
FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



EACH SHRUB MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF SHRUB PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF SHRUB IS SHIPPED IN A CONTAINER, REMOVE CONTAINER AND CAREFULLY LOOSEN ROOT MASS.

SHRUB PLANTING DETAIL

N.T.S.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

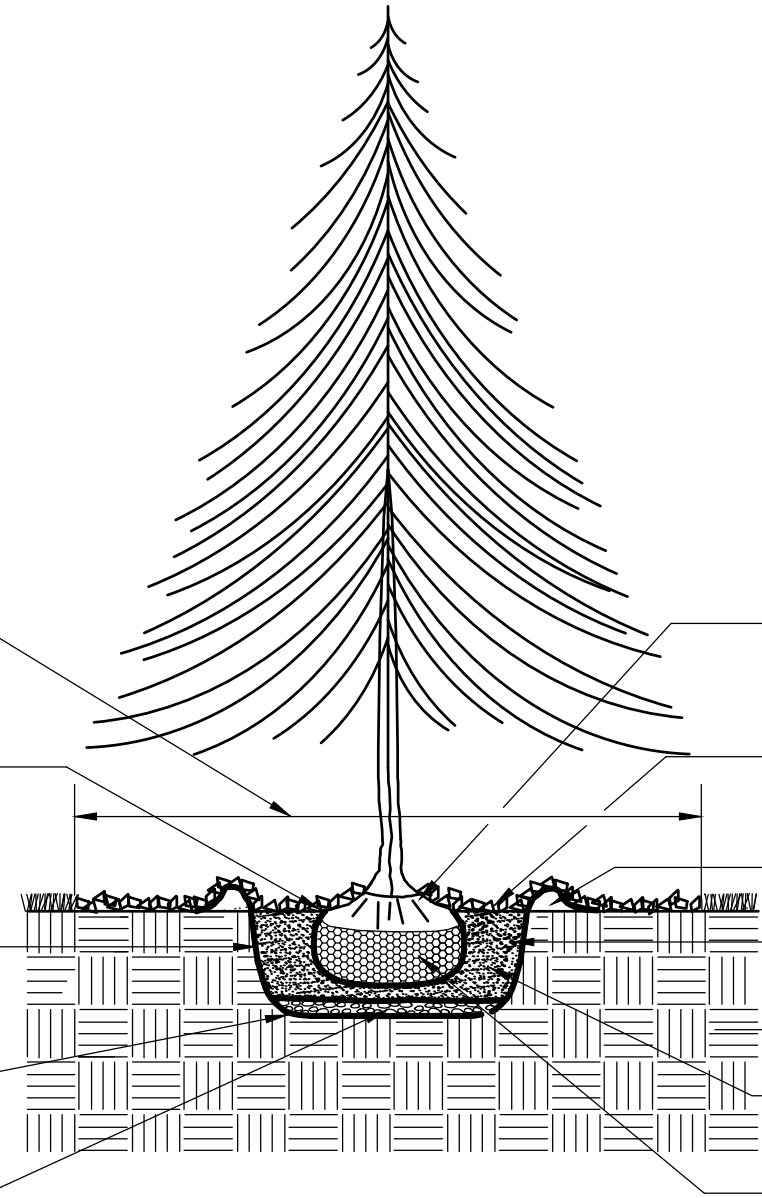
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

EVERGREEN B&B TREE PLANTING DETAIL

N.T.S.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

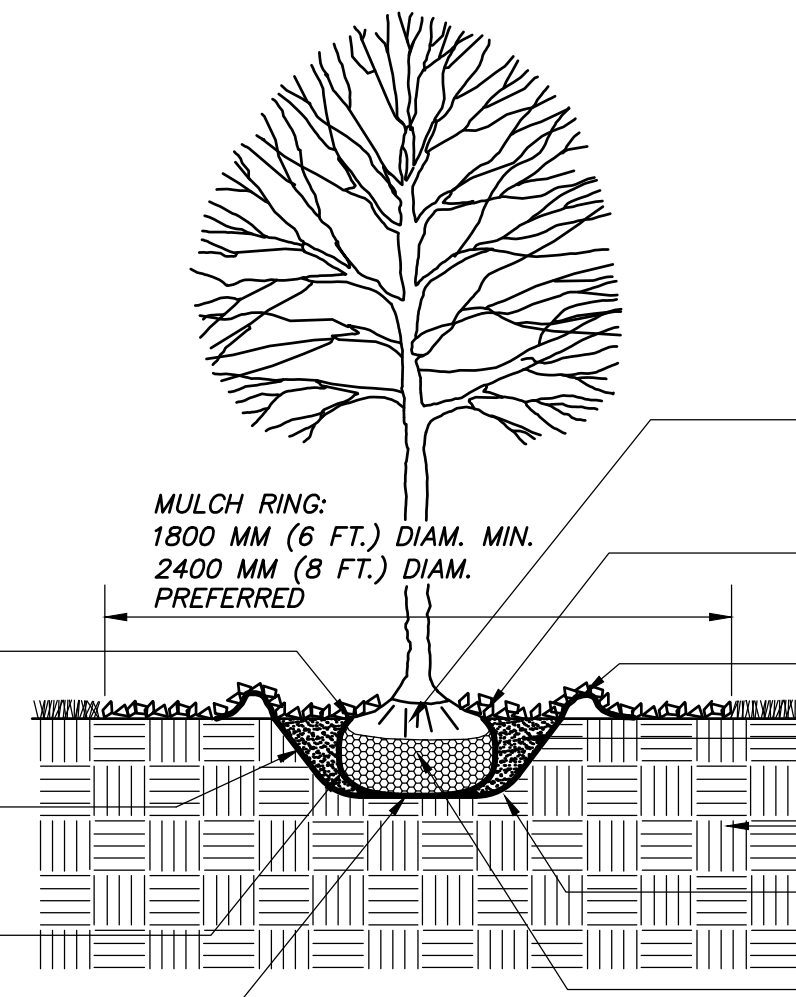
WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

50 MM (2 IN.) MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MAINTAIN THE MULCH WEED-FREE.

100 MM (4 IN.) HIGH EARTH SAUCER BEYOND EDGE OF ROOT BALL.

BACK FILL WITH PREPARED PLANTING MIXTURE.

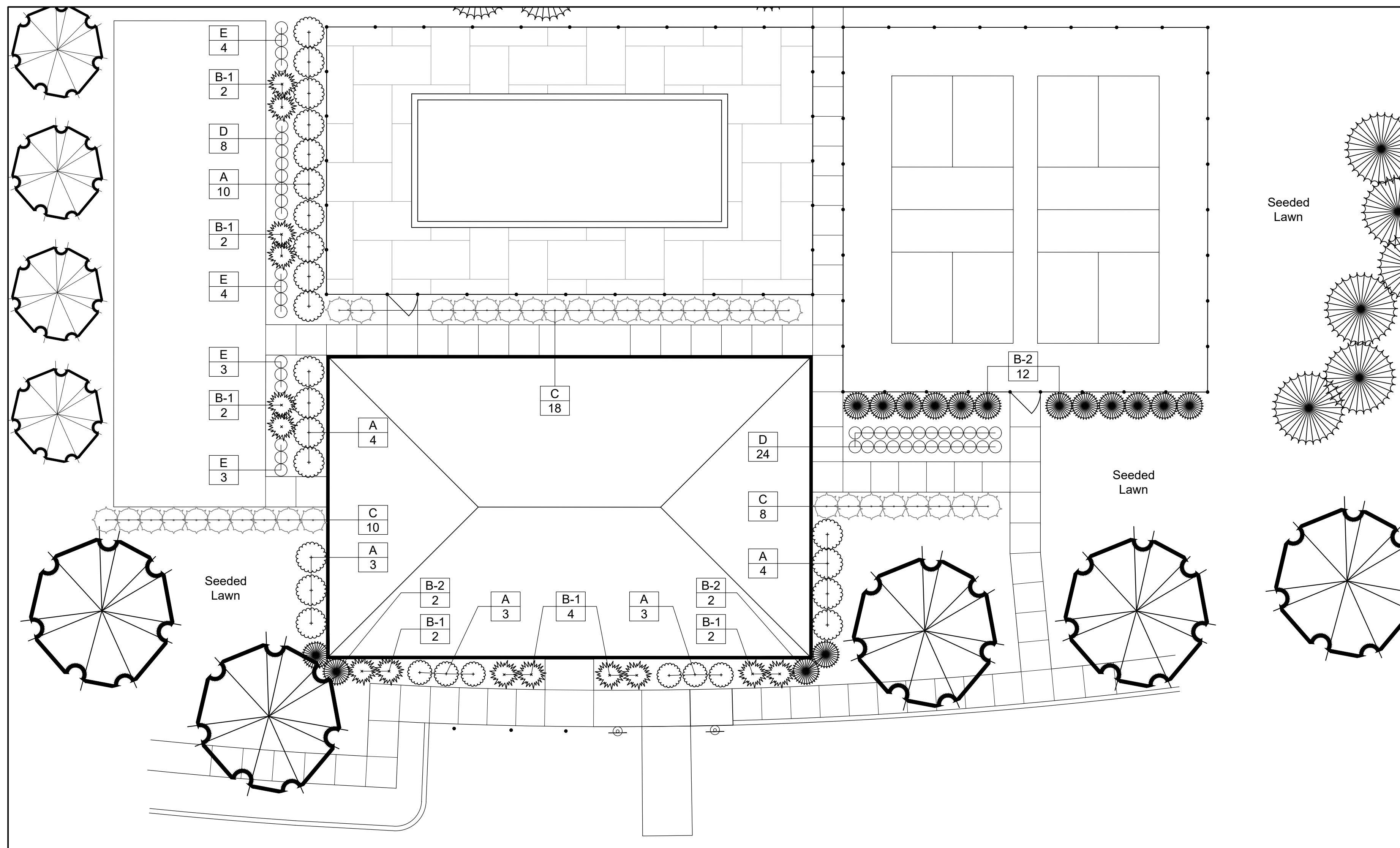
EXISTING UNDISTURBED SUBGRADE.

DIAMETER OF TREE PIT TO BE THREE TIMES THE DIAMETER OF ROOT BALL.

REMOVE ALL TWINE, ROPE, AND BURLAP FROM TOP THIRD OF ROOT BALL. IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL, CAREFULLY REMOVE ENTIRE WIRE BASKET WITHOUT DISTURBING ROOT BALL.

B&B TREE PLANTING DETAIL

N.T.S.



COMMUNITY CENTER AND AMENITY SPACE FOUNDATION PLANTING

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-34, any Special Permit shall be recorded in the Land Records.

No.	Date	Description
1.	05-08-2023	Merged Parcel

LANDSCAPE PLAN
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE
 EAST GRANBY, CONNECTICUT
 Date: 03-24-2023 Drawn by: KLL Job no: 22062
 Scale: AS SHOWN Checked by: GAH Sheet no: 4 OF 5
 0:\2022\22062 - Krown Point East Granby\Submittal\2023-05-08\LS-1 2023-05-08.dwg, LS-4, May, 03, 2023 - 3:28:19 PM

LS-4

LANDSCAPE SCHEDULE

Deciduous Canopy Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AXA	<i>Acer x freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	29	2 1/2 to 3 inch caliper	Balled and Burlapped	50 Feet
GTS	<i>Gleditsia triacanthos</i> 'Shademaster'	Shademaster Honeylocust	29	2 1/2 to 3 inch caliper	Balled and Burlapped	40 Feet
QA	<i>Quercus alba</i>	White Oak	21	2 1/2 to 3 inch caliper	Balled and Burlapped	60 Feet
UAV	<i>Ulmus americana</i> 'Valley Forge'	Valley Forge American Elm	19	2 1/2 to 3 inch caliper	Balled and Burlapped	70 Feet

Flowering Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AGA	<i>Amelanchier x grand.</i> 'Autum Brilliance'	Autumn Brilliance Serviceberry	57	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet
CVW	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	21	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet
CXS	<i>Cornus x rutgersensis</i> 'Stellar Pink'	Stellar Pink Dogwood	50	1 1/2 to 2 inch caliper	Balled and Burlapped	20 Feet

Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AC	<i>Abies concolor</i>	White Fir	37	5 to 6 foot height	Balled and Burlapped	50 Feet
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	28	5 to 6 foot height	Balled and Burlapped	45 Feet
PS	<i>Pinus strobus</i>	Eastern White Pine	46	5 to 6 foot height	Balled and Burlapped	60 Feet
TPG	<i>Thuja plicata</i> 'Green Giant'	Green Giant Arborvitae	41	5 to 6 foot height	Balled and Burlapped	40 Feet

Deciduous Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AAB	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	30	18 to 24 inch height	#3 Container	6 Feet
CA	<i>Clethra alnifolia</i>	Summersweet	22	18 to 24 inch height	#2 Container	5 Feet

Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
JK	<i>Juniperus x pfitzeriana</i> 'Kallay's Compact'	Kallay's Compact Juniper	23	18 to 24 inch spread	#2 Container	3 Feet

SEED TYPES

Seed Type 1 - General Lawn

Sun & Shade Mixture

By: Jonathan Green or approved equal

Seed rate: 25 pounds per 9,375 square feet

- 20% Darkstar II Perennial Ryegrass
- 20% Carmen Chewings Fescue
- 15% Deepblue Kentucky Bluegrass
- 15% Eugene Creeping Red Fescue
- 15% Yorkshire Dales Perennial Ryegrass
- 15% Salisbury Chewings Fescue

Seed Type 2 - Conservation Mix

New England Erosion Control / Restoration Mix

By: New England Wetland Plants, Inc. or approved equal

Seed rate: 35 pounds per Acre

- Switchgrass (*Panicum virgatum*), Virginia Wild Rye (*Elymus virginicus*), Creeping Red Fescue (*Festuca rubra*), Fox Sedge (*Carex vulpinoidea*), Creeping Bentgrass (*Agrostis stolonifera*), Silky Wild Rye (*Elymus villosus*), Partridge Pea (*Chamaecrista fasciculata*), Soft Rush (*Juncus effusus*), Flat-top Aster (*Aster umbellatus*), Nodding Bur-marigold (*Bidens cernua*), Joe-pye Weed (*Eupatorium maculatum*), Boneset (*Eupatorium perfoliatum*), Grass-leaved Goldenrod (*Solidago graminifolia*), Grey Goldenrod (*Solidago nemoralis*)

Seed Type 3 - WetMix

New England Wetmix
by New England Wetland Plants, Inc.
www.newp.com
413-548-8000

Application Rate: 1 lbs per 2,500 square feet

- Fox Sedge (*Carex vulpinoidea*), Hop Sedge (*Carex lupulina*), Bearded Sedge (*Carex comosa*), Lurid Sedge (*Carex lurida*), Nodding Bur Marigold (*Bidens cernua*), Soft Rush (*Juncus effusus*), Grass-leaved Goldenrod (*Solidago graminifolia*), Blue Vervain (*Verbena hastata*), Boneset (*Eupatorium perfoliatum*), Flat-top Aster (*Aster umbellatus*), Hard-stem Bulrush (*Scirpus acutus*), Green Bulrush (*Scirpus atrovirens*), Woolgrass (*Scirpus cyperinus*), Sensitive Fern (*Onoclea sensibilis*), Spotted Joe-Pye Weed (*Eupatorium maculatum*), Water Plantain (*Alisma plantago-aquatica*), Soft-Stem Bulrush (*Scirpus validus*), Ditch Stonecrop (*Penthorum sedoides*)

UNIT FOUNDATION PLANTINGS (Units A,B,C,D, E and F) SCHEDULE

A Deciduous Accent Shrubs

Botanical Name	Common Name	Size	Root	Mature Height
<i>Clethra alnifolia</i>	Summersweet	18 to 24 inch height	#2 Container	5 to 6 Feet
<i>Prunus x cistena</i>	Purple Leaf Sand Cherry	18 to 24 inch height	#2 Container	5 to 6 Feet
<i>Spiraea x bumalda</i> 'Gold Mound'	Gold Mound Spiraea	18 to 24 inch height	#2 Container	3 to 4 Feet
<i>Spiraea japonica</i> 'Little Princess'	Little Princess Spiraea	18 to 24 inch height	#2 Container	3 to 4 Feet

B Evergreen Accent Shrubs

Botanical Name	Common Name	Size	Root	Mature Height
<i>Juniperus chinensis</i> species (B-1)	Spreading and Mounding Junipers	18 to 24 inch spread	#2 Container	2 to 4 Feet depending on species
<i>Taxus x media</i> 'Densiflora' (B-1)	Dense Spreading Yew	18 to 24 inch height	#2 Container	3 to 4 Feet
<i>Taxus cuspidata</i> 'Capitata' (B-2)	Upright Yew	3 to 4 foot height	#3 Container	20 Feet

C Broadleaf Evergreen Shrubs

Botanical Name	Common Name	Size	Root	Mature Height
<i>Azalea</i> species	Flowering Azalea Species	18 to 24 inch height	#2 Container	4 to 5 Feet depending on species
<i>Buxus</i> x 'Green Gem'	Green Gem Boxwood	18 to 24 inch height	#2 Container	2 to 3 Feet
<i>Ilex crenata</i> 'Green Lustre'	Green Lustre Japanese Holly	18 to 24 inch height	#2 Container	3 Feet
<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	18 to 24 inch height	#2 Container	4 to 5 Feet
<i>Rhododendron</i> species	Flowering Rhododendron	18 to 24 inch height	#2 Container	5 to 6 Feet depending on species

D Perennials

Botanical Name	Common Name	Size	Root	Mature Height
<i>Echinacea purpurea</i> 'Prairie Splendor'	Prairie Splendor Coneflower	10 to 12 inch height	#1 Container	2 Feet
<i>Nepata faassentii</i> 'Walker's Low'	Walker's Low Catmint	10 to 12 inch height	#1 Container	18 to 24 Inches
<i>Rudbeckia fulgida</i> sullivantii 'Little Goldstar'	Little Goldstar Coneflower	10 to 12 inch height	#1 Container	16 to 18 Inches

E Ornamental Grasses

Botanical Name	Common Name	Size	Root	Mature Height
<i>Calamagrostis acutiflora</i> 'Karl Foerster'	Karl Foerster Feather Reed Grass	18 to 24 inch height	#2 Container	4 to 6 Feet
<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass	10 to 12 inch height	#2 Container	2 to 3 Feet

Plants to be installed based upon climatic conditions and shall be coordinated in the field with the Project Landscape Architect

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman

Date Signed

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____
Town Clerk

SPECIAL PERMIT APPROVAL

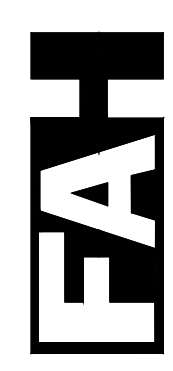
I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

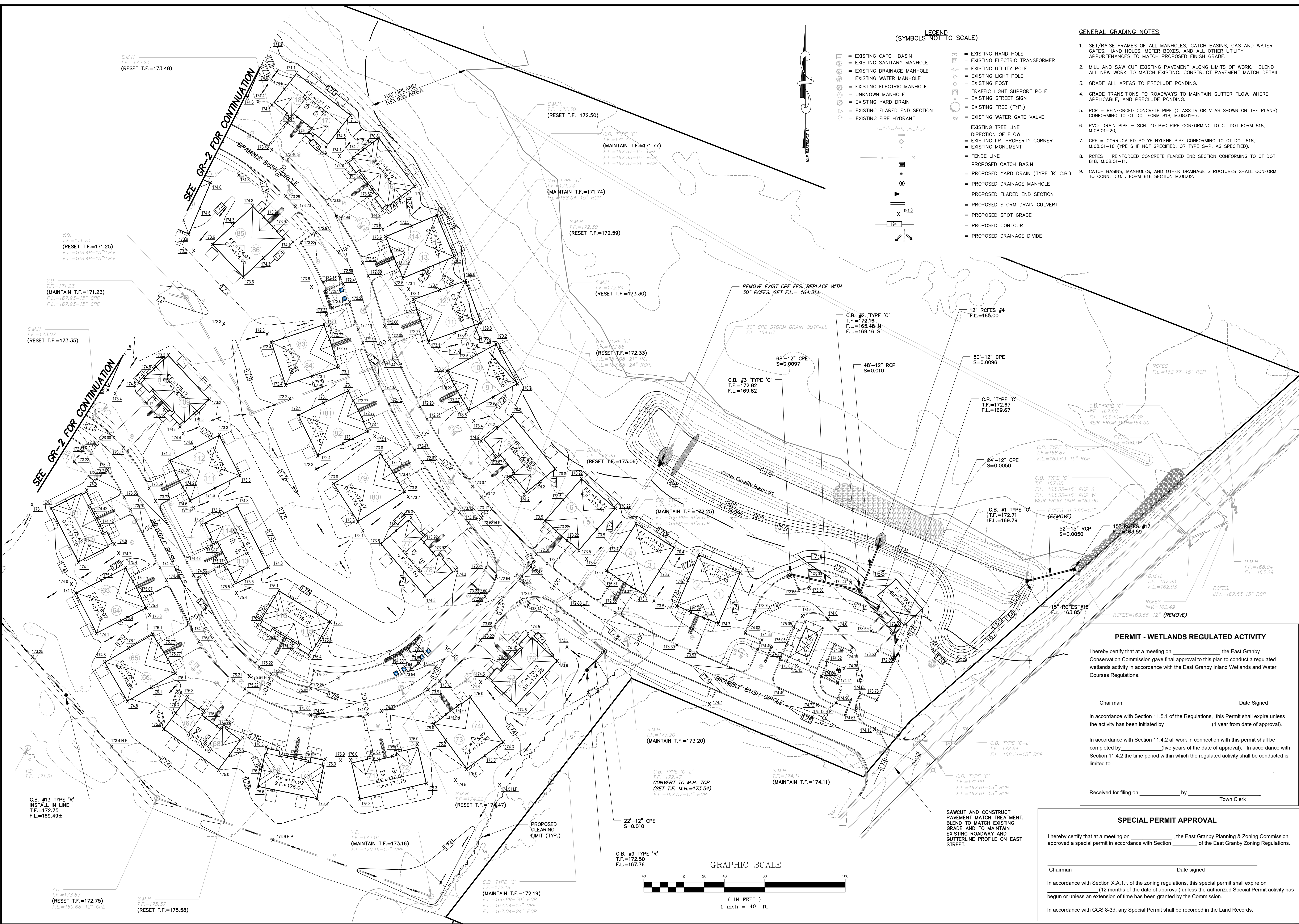
Chairman

Date signed

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

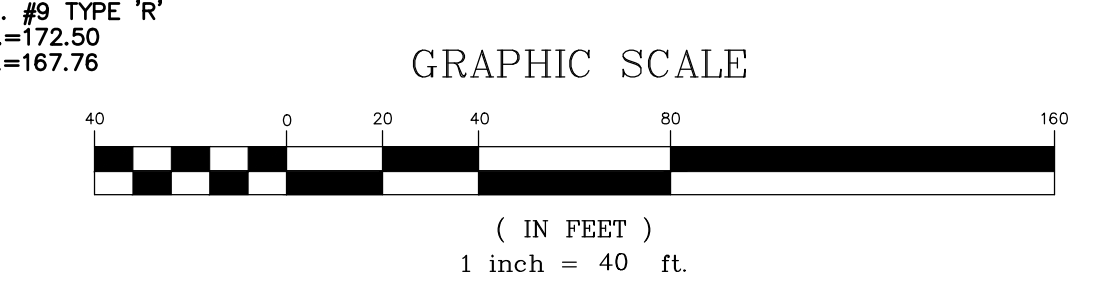
Revisions: No. Date Description 1. 05-08-2023 Merged Parcel	LANDSCAPE PLAN PREPARED FOR K SFR EAST GRANBY OWNER, LLC BRAMBLE BUSH CIRCLE EAST GRANBY, CONNECTICUT Date: 03-24-2023 Drawn by: KLL Job no: 22082 Scale: AS SHOWN Checked by: GAH Sheet no: 5 OF 5 C:\2022\22082 - Crown Point East Granby\Submittal\2023-05-08\LS-1 2023-05-08.dwg, LS-5, May, 03, 2023 - 3:28:34 PM		F. A. Hesketh & Associates, Inc. 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahhsketh.com - mallefahhsketh.com



LEGEND (SYMBOLS NOT TO SCALE)

- EXISTING CATCH BASIN
- EXISTING SANITARY MANHOLE
- EXISTING DRAINAGE MANHOLE
- EXISTING WATER MANHOLE
- EXISTING ELECTRIC MANHOLE
- UNKNOWN MANHOLE
- EXISTING YARD DRAIN
- EXISTING FLARED END SECTION
- EXISTING FIRE HYDRANT
- EXISTING HAND HOLE
- EXISTING ELECTRIC TRANSFORMER
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING POST
- TRAFFIC LIGHT SUPPORT POLE
- EXISTING STREET SIGN
- EXISTING TREE (TYP.)
- EXISTING WATER GATE VALVE
- EXISTING TREE LINE
- DIRECTION OF FLOW
- EXISTING I.P. PROPERTY CORNER
- EXISTING MONUMENT
- FENCE LINE
- PROPOSED CATCH BASIN
- PROPOSED YARD DRAIN (TYPE 'R' C.B.)
- PROPOSED DRAINAGE MANHOLE
- PROPOSED FLARED END SECTION
- PROPOSED STORM DRAIN CULVERT
- PROPOSED SPOT GRADE
- PROPOSED CONTOUR
- PROPOSED DRAINAGE DIVIDE

- GENERAL GRADING NOTES**
- SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
 - MILL AND SAW CUT EXISTING PAVEMENT ALONG LIMITS OF WORK. BLEND ALL NEW WORK TO MATCH EXISTING. CONSTRUCT PAVEMENT MATCH DETAIL.
 - GRADE ALL AREAS TO PRECLUDE PONDING.
 - GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW, WHERE APPLICABLE, AND PRECLUDE PONDING.
 - RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM B18, M.08.01-7.
 - PVC DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM B18, M.08.01-20.
 - CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT B18, M.08.01-18 (YPE S IF NOT SPECIFIED, OR TYPE S-P, AS SPECIFIED).
 - RCFES = REINFORCED CONCRETE FLARED END SECTION CONFORMING TO CT DOT CONN. D.O.T. FORM B16 SECTION M.08.02.
 - CATCH BASINS, MANHOLES, AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM B16 SECTION M.08.02.



PERMIT - WETLANDS REGULATED ACTIVITY

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Chairman _____ Date Signed _____

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Received for filing on _____ by _____ Town Clerk _____

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

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Revisions:

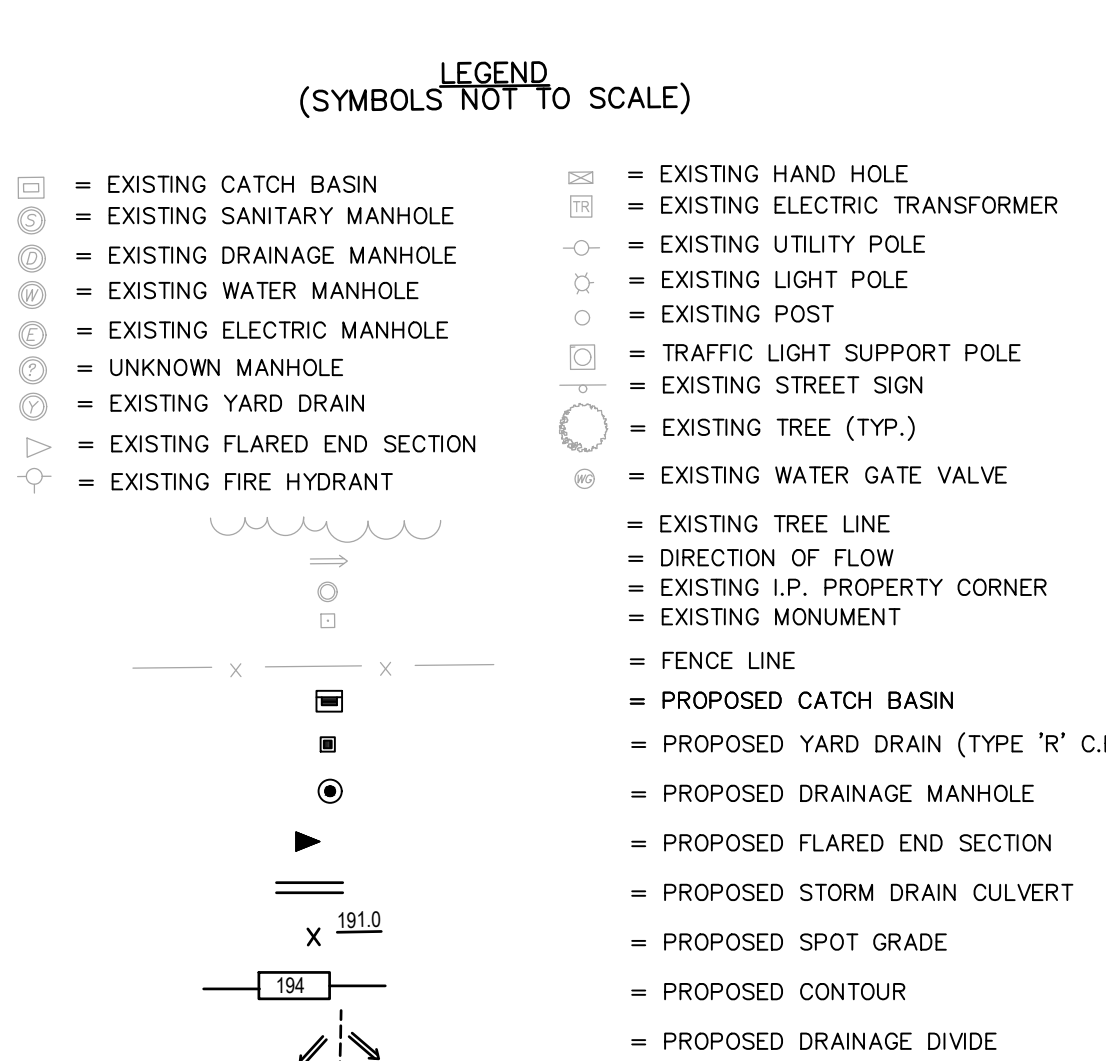
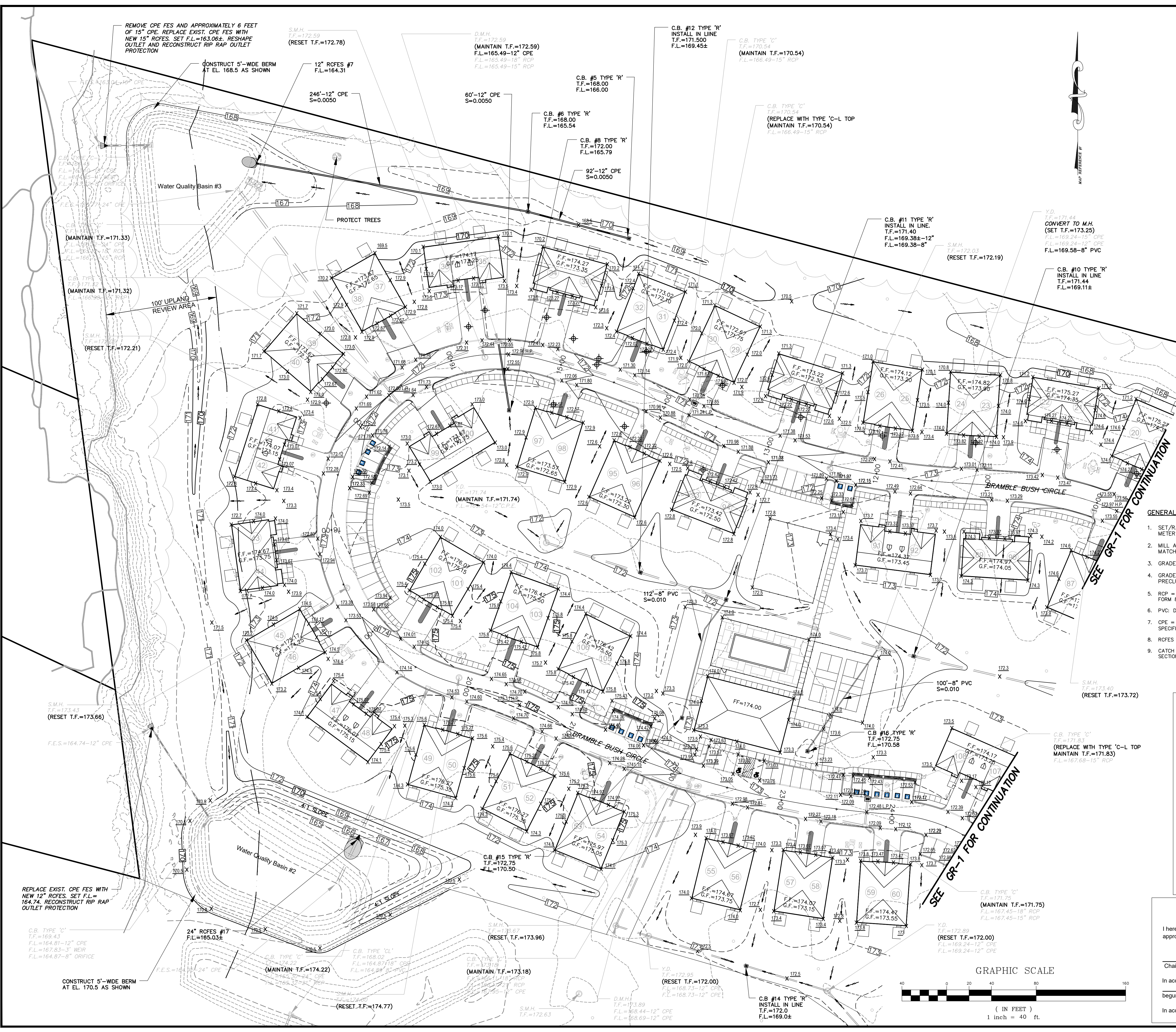
No.	Date	Description
1.	05-08-2023	Merged Parcel

GRADING & DRAINAGE PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 2
Q:\2022\22082 - Krown Point East Granby\Submittal\2023-05-08-08-05-05.dwg, GR 1, May, 03, 2023 - 3:55:52 PM

GR-1



GENERAL GRADING NOTES

1. SET/RAISE FRAMES OF ALL MANHOLES, CATCH BASINS, GAS AND WATER GATES, HAND HOLES, METER BOXES, AND ALL OTHER UTILITY APPURTENANCES TO MATCH PROPOSED FINISH GRADE.
2. MILL AND SAW OUT EXISTING PAVEMENT ALONG LIMITS OF WORK. BLEND ALL NEW WORK TO MATCH EXISTING. CONSTRUCT PAVEMENT MATCH DETAIL.
3. GRADE ALL AREAS TO PRECLUDE PONDING.
4. GRADE TRANSITIONS TO ROADWAYS TO MAINTAIN GUTTER FLOW, WHERE APPLICABLE, AND PRECLUDE PONDING.
5. RCP = REINFORCED CONCRETE PIPE (CLASS IV OR V AS SHOWN ON THE PLANS) CONFORMING TO CT DOT FORM 818, M.08.01-7.
6. PVC: DRAIN PIPE = SCH. 40 PVC PIPE CONFORMING TO CT DOT FORM 818, M.08.01-20.
7. CPE = CORRUGATED POLYETHYLENE PIPE CONFORMING TO CT DOT 818, M.08.01-18 (YPE S IF NOT SPECIFIED, OR TYPE S-P, AS SPECIFIED).
8. RCFES = REINFORCED CONCRETE FLARED END SECTION CONFORMING TO CT DOT 818, M.08.01-11.
9. CATCH BASINS, MANHOLES, AND OTHER DRAINAGE STRUCTURES SHALL CONFORM TO CONN. D.O.T. FORM 818 SECTION M.08.02.

PERMIT - WETLANDS REGULATED ACTIVITY

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Chairman _____ Date Signed _____

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Received for filing on _____ by _____ Town Clerk

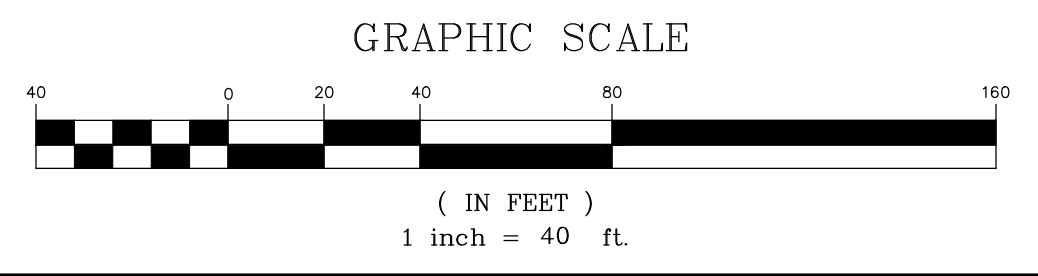
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Chairman _____ Date signed _____

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F. A. Hesketh & Associates, Inc.
 3 Creamery Brook, East Granby, CT 06026
 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com mail@fahsketh.com

FAH

Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

No.	Date	Description
1.	05-08-2023	Merged Parcel

GRADING & DRAINAGE PLAN

PREPARED FOR

K SFR EAST GRANBY OWNER, LLC

BRAMBLE BUSH CIRCLE

EAST GRANBY, CONNECTICUT

Date: 05-24-2023 Drawn by: DRT Job no: 22062

Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2

© 2023, 2022 - Krown Point East Granby/Submitted 2023-05-08/08-10-2023-05-08.dwg, GR 2, May, 03, 2023 - 3:54:39 PM

GR-2

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

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PERMIT - WETLANDS REGULATED ACTIVITY

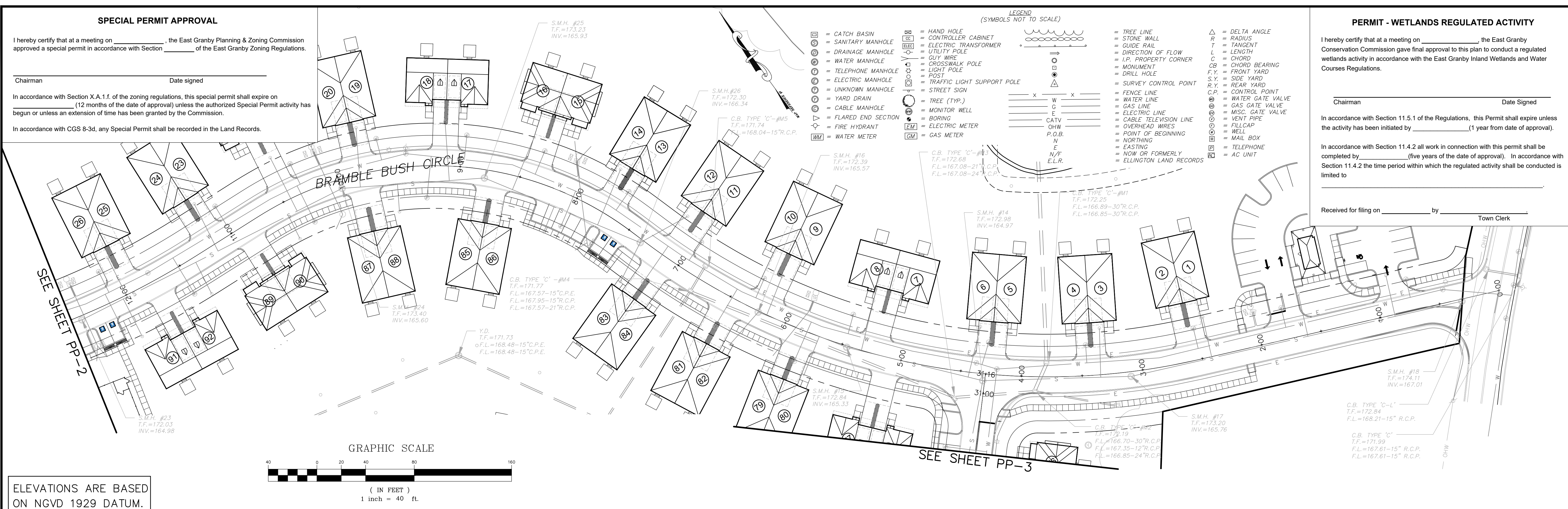
I hereby certify that at a meeting on _____ the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

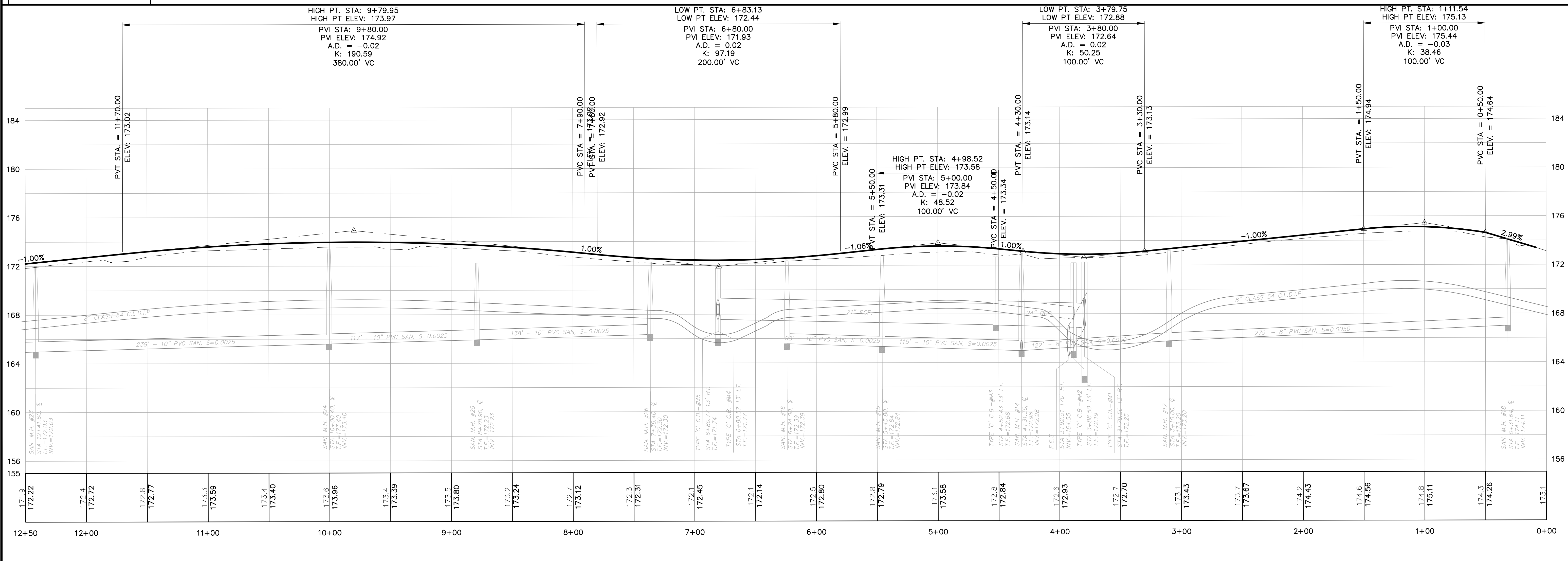
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Received for filing on _____ by _____ Town Clerk



ELEVATIONS ARE BASED ON NGVD 1929 DATUM.



PROFILE
SCALE: 1"=40' HORIZ
1"=4' VERT.

FAH
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahinc.com mail@fahinc.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

No.	Date	Description
1.	05-08-2023	Merged Parcel

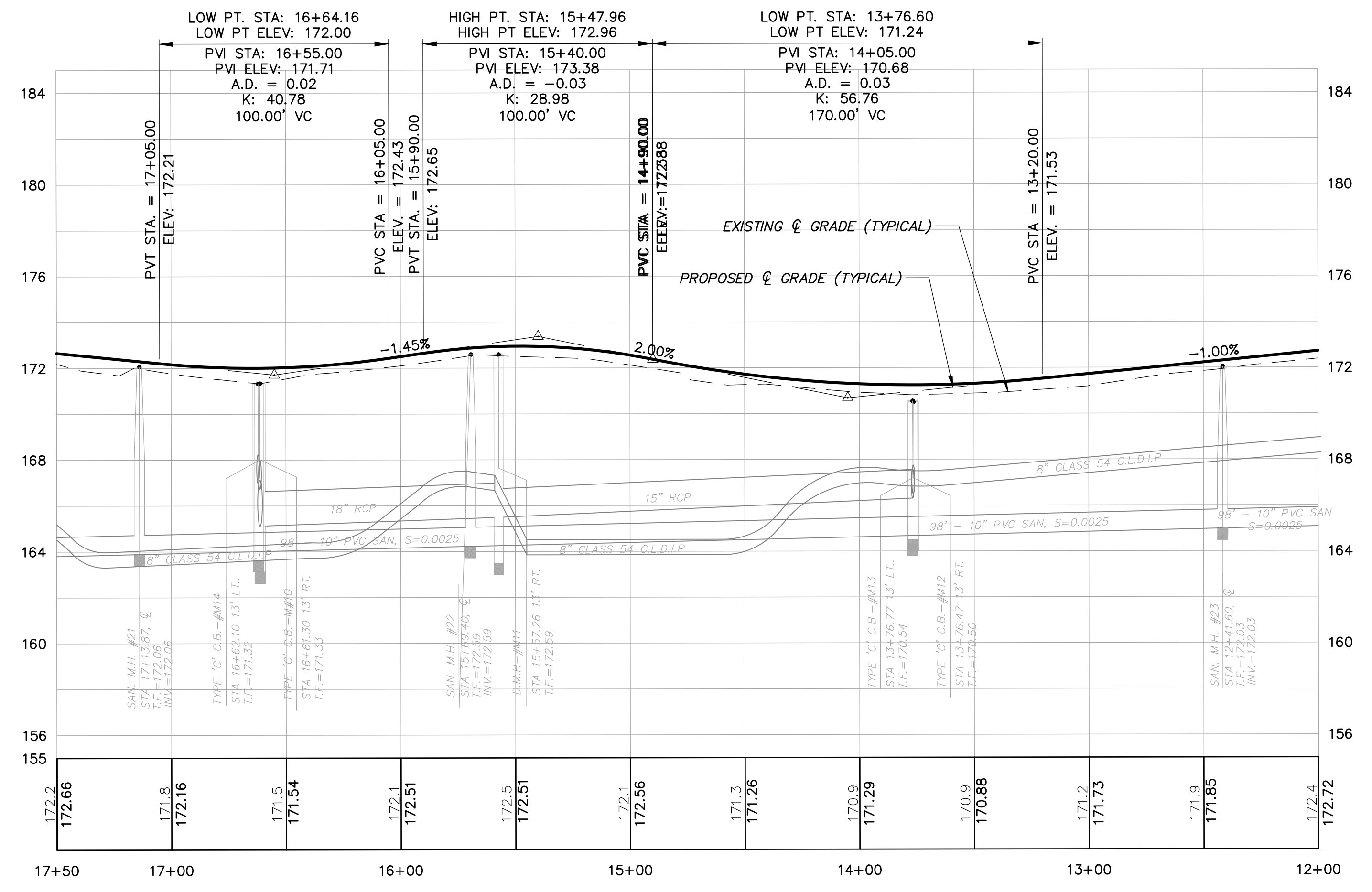
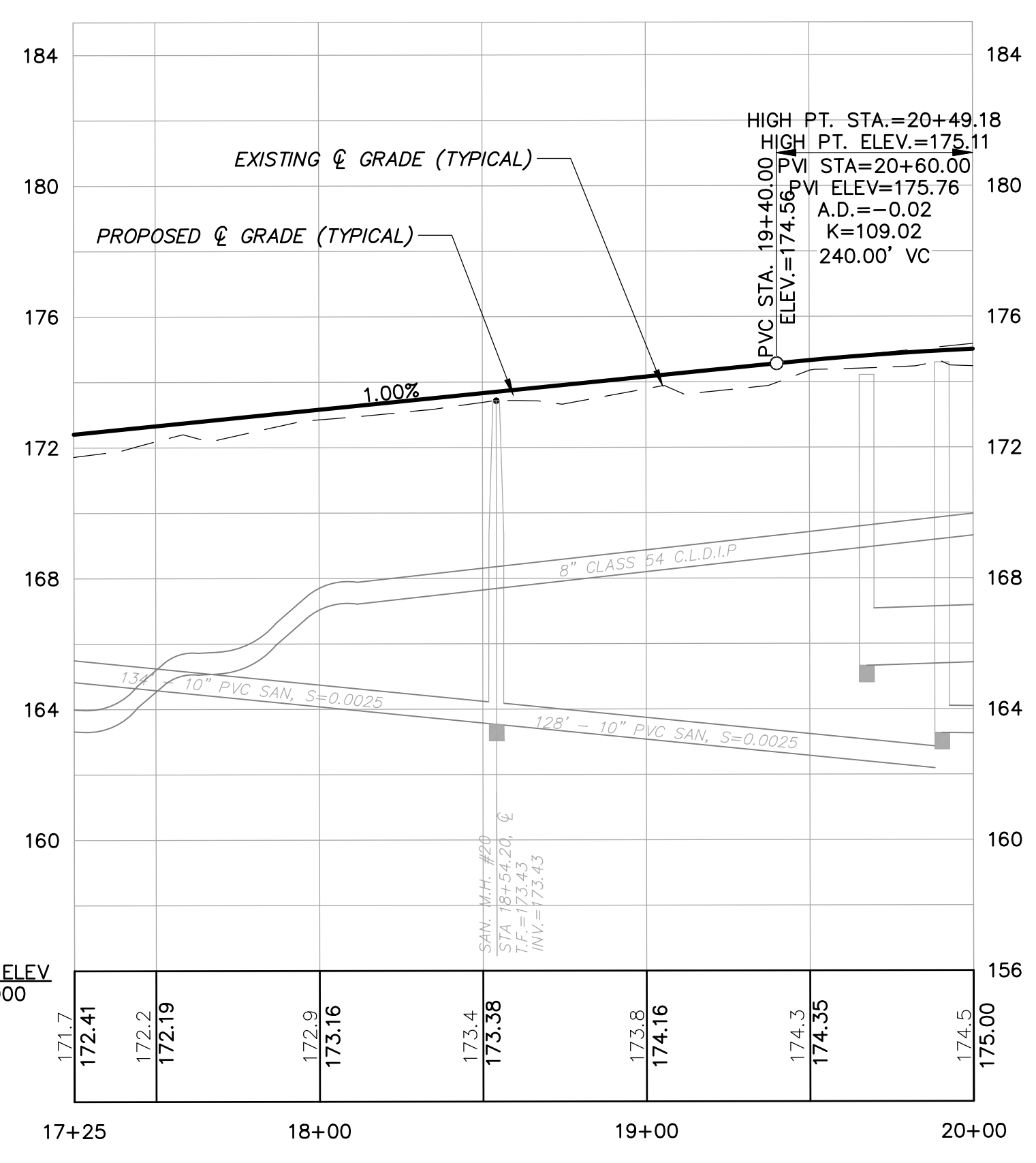
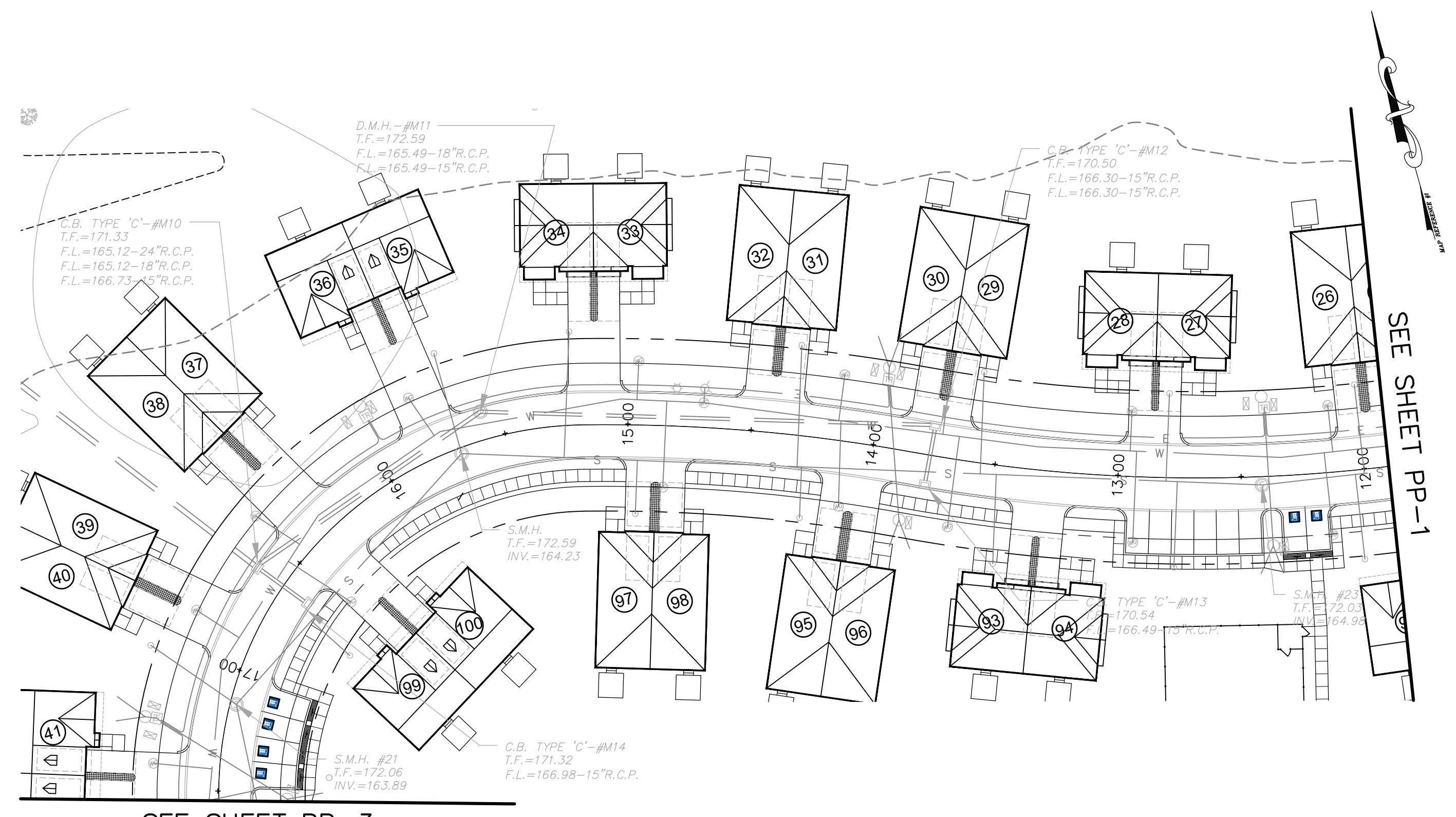
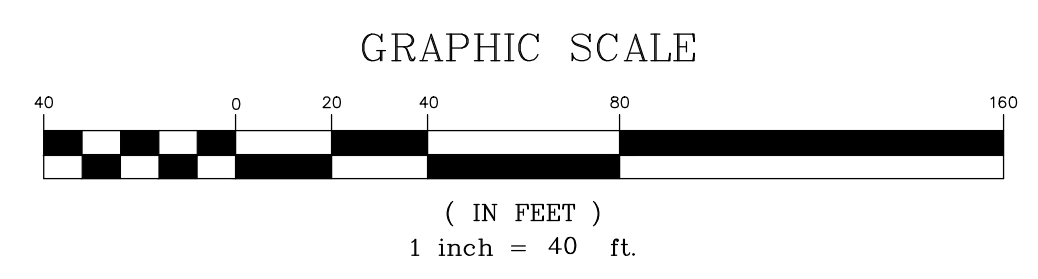
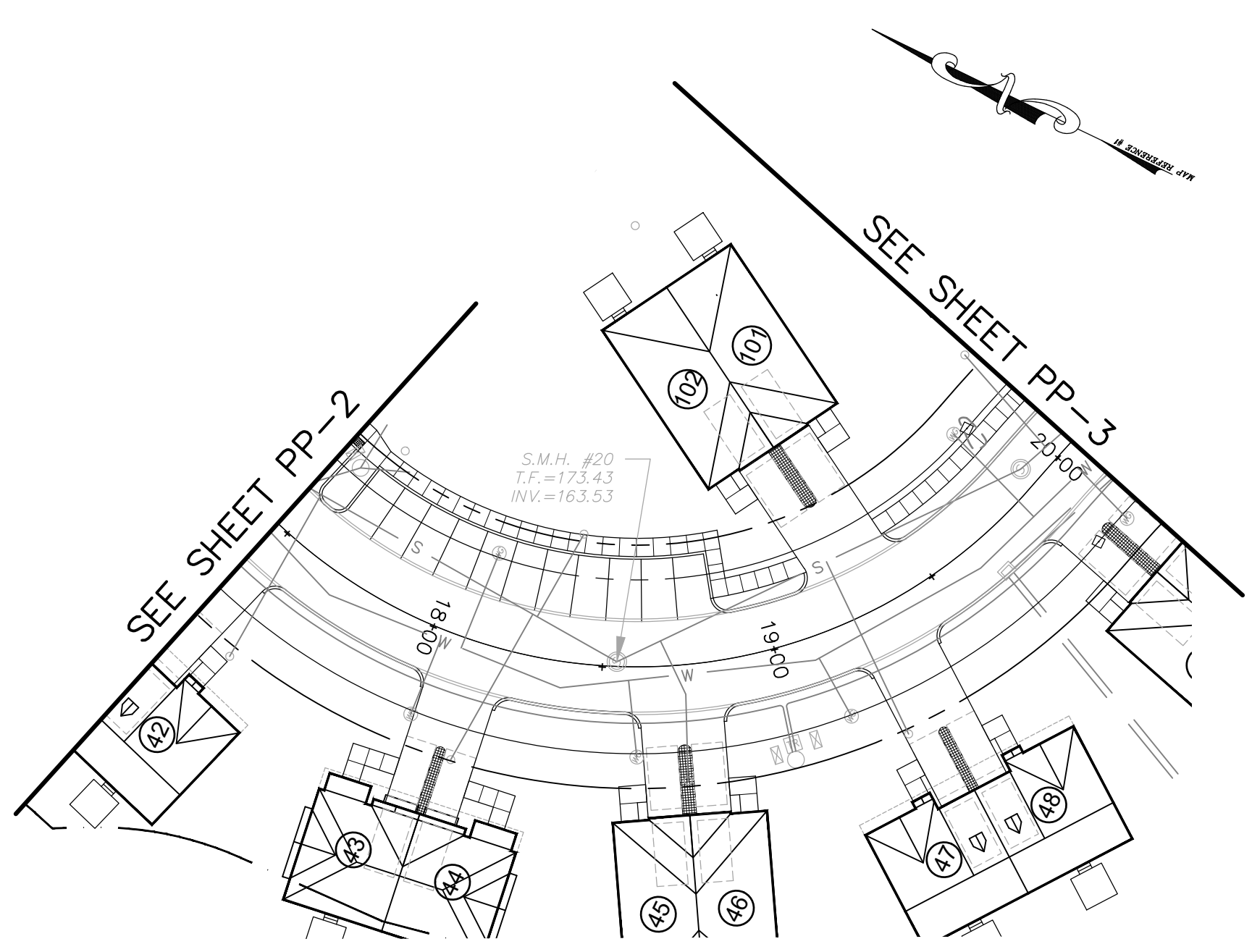
Revisions:

PLAN & PROFILE
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-24-2023 Drawn by: DRT Job no: 22062
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 3
0:1202212062 - Kram Point East Granby\Submittal\2023-05-08\PP-1 2023-05-08.dwg, SHEET 1, May 03, 2023 - 4:06:53 PM

PP-1

LEGEND
(SYMBOLS NOT TO SCALE)

- = CATCH BASIN
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = WATER MANHOLE
- = TELEPHONE MANHOLE
- = ELECTRIC MANHOLE
- = UNKNOWN MANHOLE
- = YARD DRAIN
- = CABLE MANHOLE
- = FLARED END SECTION
- = FIRE HYDRANT
- = WATER GATE VALVE
- = GAS GATE VALVE
- = MISC. GATE VALVE
- = VENT PIPE
- = FILLCAP
- = WELL
- = MAIL BOX
- = HAND HOLE
- = CONTROLLER CABINET
- = ELECTRIC TRANSFORMER
- = UTILITY POLE
- = GUY WIRE
- = CROSSWALK POLE
- = LIGHT POLE
- = POST
- = STREET LIGHT SUPPORT POLE
- = STREET SIGN
- = TREE (TYP.)
- = MONITOR WELL
- = BORING
- = ELECTRIC METER
- = GAS METER
- = WATER METER
- = TELEPHONE
- = AC UNIT
- = TREE LINE
- = STONE WALL
- = GUIDE RAIL
- = DIRECTION OF FLOW
- = I.P. PROPERTY CORNER
- = MONUMENT
- = DRILL HOLE
- = SURVEY CONTROL POINT
- = FENCE LINE
- = WATER LINE
- = GAS LINE
- = ELECTRIC LINE
- = CABLE TELEVISION LINE
- = OVERHEAD WIRES
- = POINT OF BEGINNING
- = NOTHING
- = EASTING
- = NOW OR FORMERLY
- = XXX LAND RECORDS
- = DELTA ANGLE
- = RADIUS
- = TANGENT
- = LENGTH
- = CHORD
- = CHORD BEARING
- = CONTROL POINT



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Revisions:

No.	Date	Description
1.	05-08-2023	Merged Parcel

IMPROVEMENT LOCATION PLAN - RECORD

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
Checked by: GAH Sheet no: 2 OF 3
Scale: 1" = 40'

PP-2

FAH

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahhsketh.com mail@fahhsketh.com

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

PERMIT - WETLANDS REGULATED ACTIVITY

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Received for filing on _____ by _____ Town Clerk

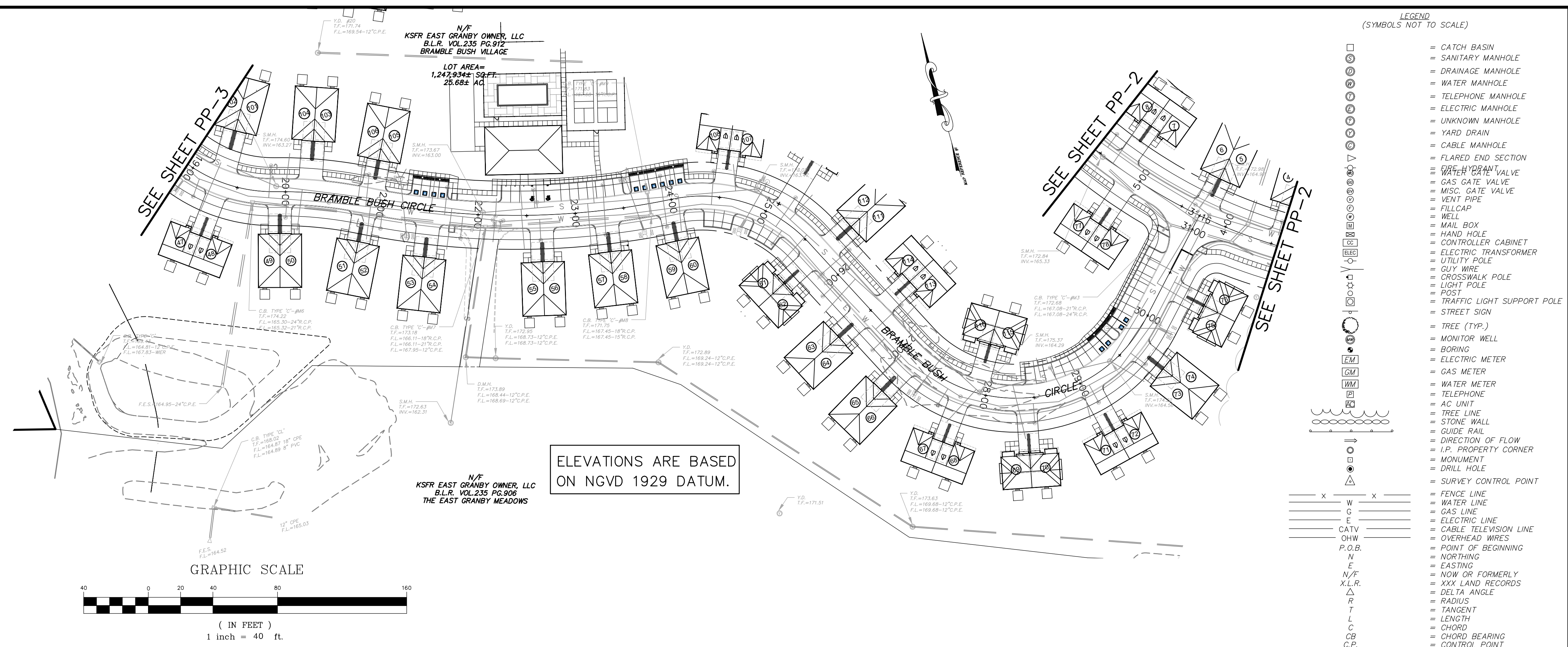
SPECIAL PERMIT APPROVAL

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Chairman _____ Date signed _____

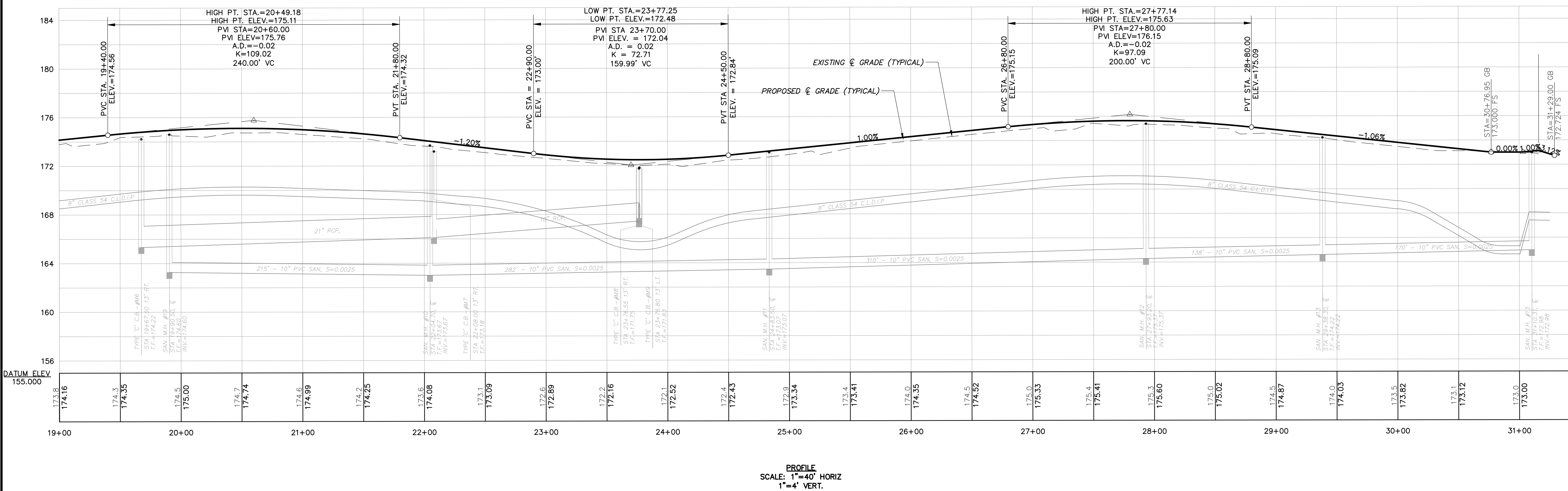
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LEGEND (SYMBOLS NOT TO SCALE)

[Symbol]	= CATCH BASIN
[Symbol]	= SANITARY MANHOLE
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[Symbol]	= ELECTRIC MANHOLE
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[Symbol]	= YARD DRAIN
[Symbol]	= CABLE MANHOLE
[Symbol]	= FLARED END SECTION
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[Symbol]	= GAS GATE VALVE
[Symbol]	= MISC. GATE VALVE
[Symbol]	= VENT PIPE
[Symbol]	= FILL CAP
[Symbol]	= WELL
[Symbol]	= MAIL BOX
[Symbol]	= HAND HOLE
[Symbol]	= CONTROLLER CABINET
[Symbol]	= ELECTRIC TRANSFORMER
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[Symbol]	= TREE (TYP.)
[Symbol]	= MONITOR WELL
[Symbol]	= BORING
[Symbol]	= ELECTRIC METER
[Symbol]	= GAS METER
[Symbol]	= WATER METER
[Symbol]	= TELEPHONE
[Symbol]	= AC UNIT
[Symbol]	= TREE LINE
[Symbol]	= STONE WALL
[Symbol]	= GUIDE RAIL
[Symbol]	= DIRECTION OF FLOW
[Symbol]	= I.P. PROPERTY CORNER
[Symbol]	= MONUMENT
[Symbol]	= DRILL HOLE
[Symbol]	= SURVEY CONTROL POINT
[Symbol]	= FENCE LINE
[Symbol]	= WATER LINE
[Symbol]	= GAS LINE
[Symbol]	= ELECTRIC LINE
[Symbol]	= CABLE TELEVISION LINE
[Symbol]	= OVERHEAD WIRES
[Symbol]	= POINT OF BEGINNING
[Symbol]	= NOTHING
[Symbol]	= EASTING
[Symbol]	= NOW OR FORMERLY
[Symbol]	= XXX LAND RECORDS
[Symbol]	= DELTA ANGLE
[Symbol]	= TANGENT
[Symbol]	= LENGTH
[Symbol]	= CHORD
[Symbol]	= CHORD BEARING
[Symbol]	= CONTROL POINT



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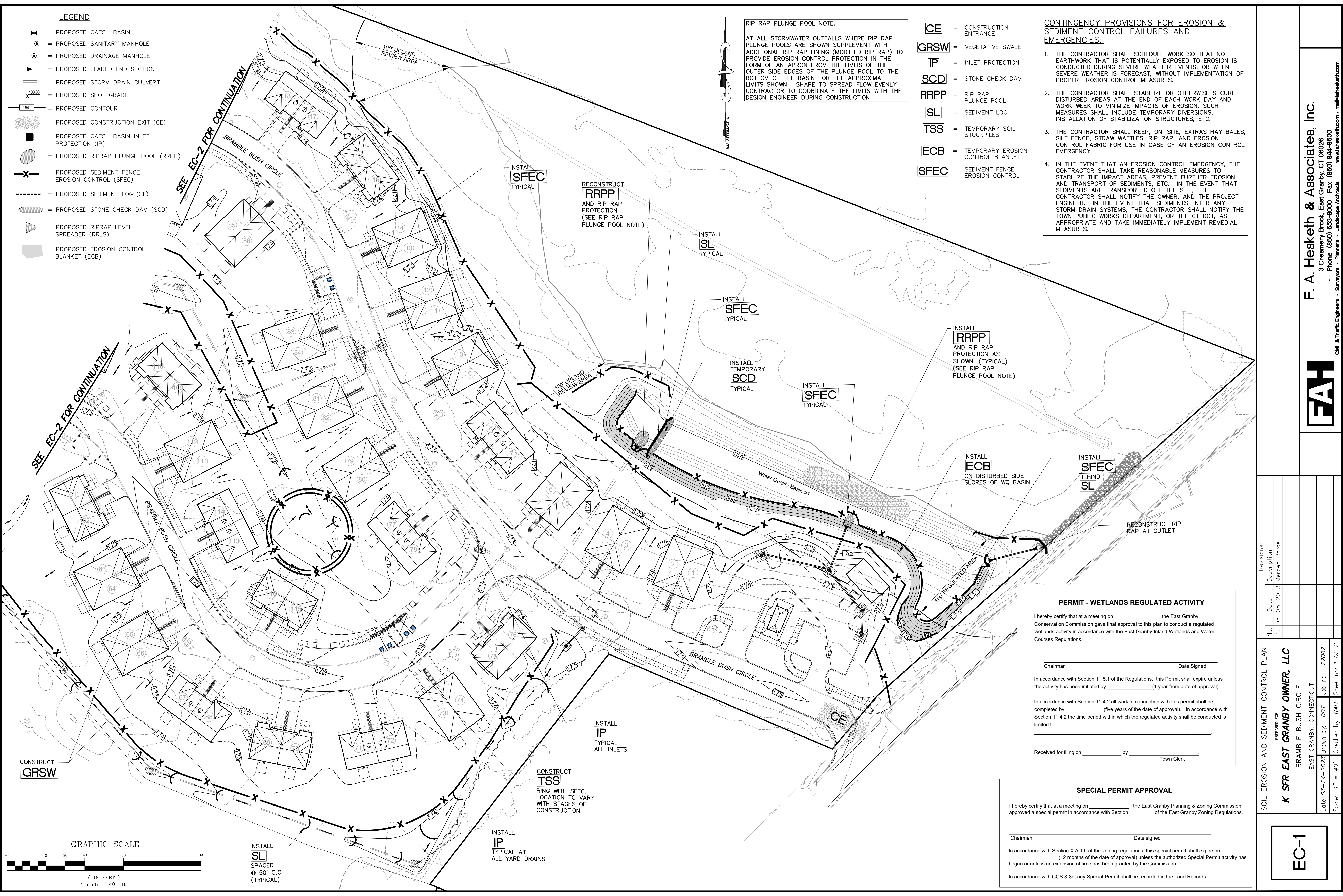
No.	Date	Description
1.	05-08-2023	Merged Parcel

Revisions:

PLAN & PROFILE
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE
 EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
 Scale: 1" = 40' Checked by: GAH Sheet no: 3 OF 3
 03/2023/22082 - Kram Point East Granby Submittal 2023-05-08 VPP-1 2023-05-08.dwg, SHEET 3, May 03, 2023 - 4:07:42 PM

PP-3

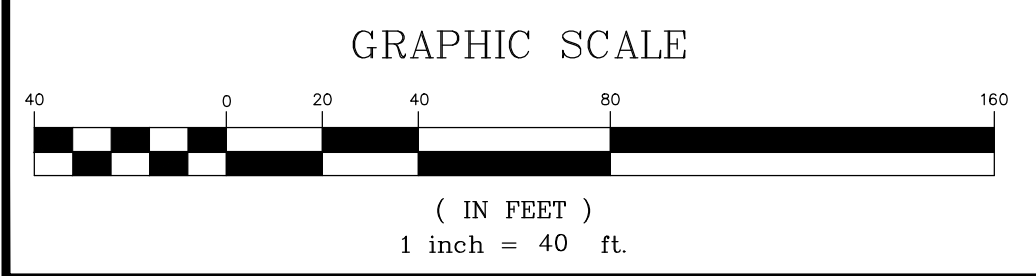


RIP RAP PLUNGE POOL NOTE.
 AT ALL STORMWATER OUTFALLS WHERE RIP RAP PLUNGE POOLS ARE SHOWN SUPPLEMENT WITH ADDITIONAL RIP RAP LINING (MODIFIED RIP RAP) TO PROVIDE EROSION CONTROL PROTECTION IN THE FORM OF AN APRON FROM THE LIMITS OF THE OUTER SIDE EDGES OF THE PLUNGE POOL TO THE BOTTOM OF THE BASIN FOR THE APPROXIMATE LIMITS SHOWN. SHAPE TO SPREAD FLOW EVENLY. CONTRACTOR TO COORDINATE THE LIMITS WITH THE DESIGN ENGINEER DURING CONSTRUCTION.

- CE** = CONSTRUCTION ENTRANCE
- GRSW** = VEGETATIVE SWALE
- IP** = INLET PROTECTION
- SCD** = STONE CHECK DAM
- RRPP** = RIP RAP PLUNGE POOL
- SL** = SEDIMENT LOG
- TSS** = TEMPORARY SOIL STOCKPILES
- ECB** = TEMPORARY EROSION CONTROL BLANKET
- SFEC** = SEDIMENT FENCE EROSION CONTROL

- CONTINGENCY PROVISIONS FOR EROSION & SEDIMENT CONTROL FAILURES AND EMERGENCIES:**
1. THE CONTRACTOR SHALL SCHEDULE WORK SO THAT NO EARTHWORK THAT IS POTENTIALLY EXPOSED TO EROSION IS CONDUCTED DURING SEVERE WEATHER EVENTS, OR WHEN SEVERE WEATHER IS FORECAST, WITHOUT IMPLEMENTATION OF PROPER EROSION CONTROL MEASURES.
 2. THE CONTRACTOR SHALL STABILIZE OR OTHERWISE SECURE DISTURBED AREAS AT THE END OF EACH WORK DAY AND WORK WEEK TO MINIMIZE IMPACTS OF EROSION. SUCH MEASURES SHALL INCLUDE TEMPORARY DIVERSIONS, INSTALLATION OF STABILIZATION STRUCTURES, ETC.
 3. THE CONTRACTOR SHALL KEEP, ON-SITE, EXTRAS HAY BALES, SILT FENCE, STRAW WATTLES, RIP RAP, AND EROSION CONTROL FABRIC FOR USE IN CASE OF AN EROSION CONTROL EMERGENCY.
 4. IN THE EVENT THAT AN EROSION CONTROL EMERGENCY, THE CONTRACTOR SHALL TAKE REASONABLE MEASURES TO STABILIZE THE IMPACT AREAS, PREVENT FURTHER EROSION AND TRANSPORT OF SEDIMENTS, ETC. IN THE EVENT THAT SEDIMENTS ARE TRANSPORTED OFF THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER, AND THE PROJECT ENGINEER. IN THE EVENT THAT SEDIMENTS ENTER ANY STORM DRAIN SYSTEMS, THE CONTRACTOR SHALL NOTIFY THE TOWN PUBLIC WORKS DEPARTMENT, OR THE CT DOT, AS APPROPRIATE AND TAKE IMMEDIATELY IMPLEMENT REMEDIAL MEASURES.

- LEGEND**
- [Symbol] = PROPOSED CATCH BASIN
 - [Symbol] = PROPOSED SANITARY MANHOLE
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PERMIT - WETLANDS REGULATED ACTIVITY

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

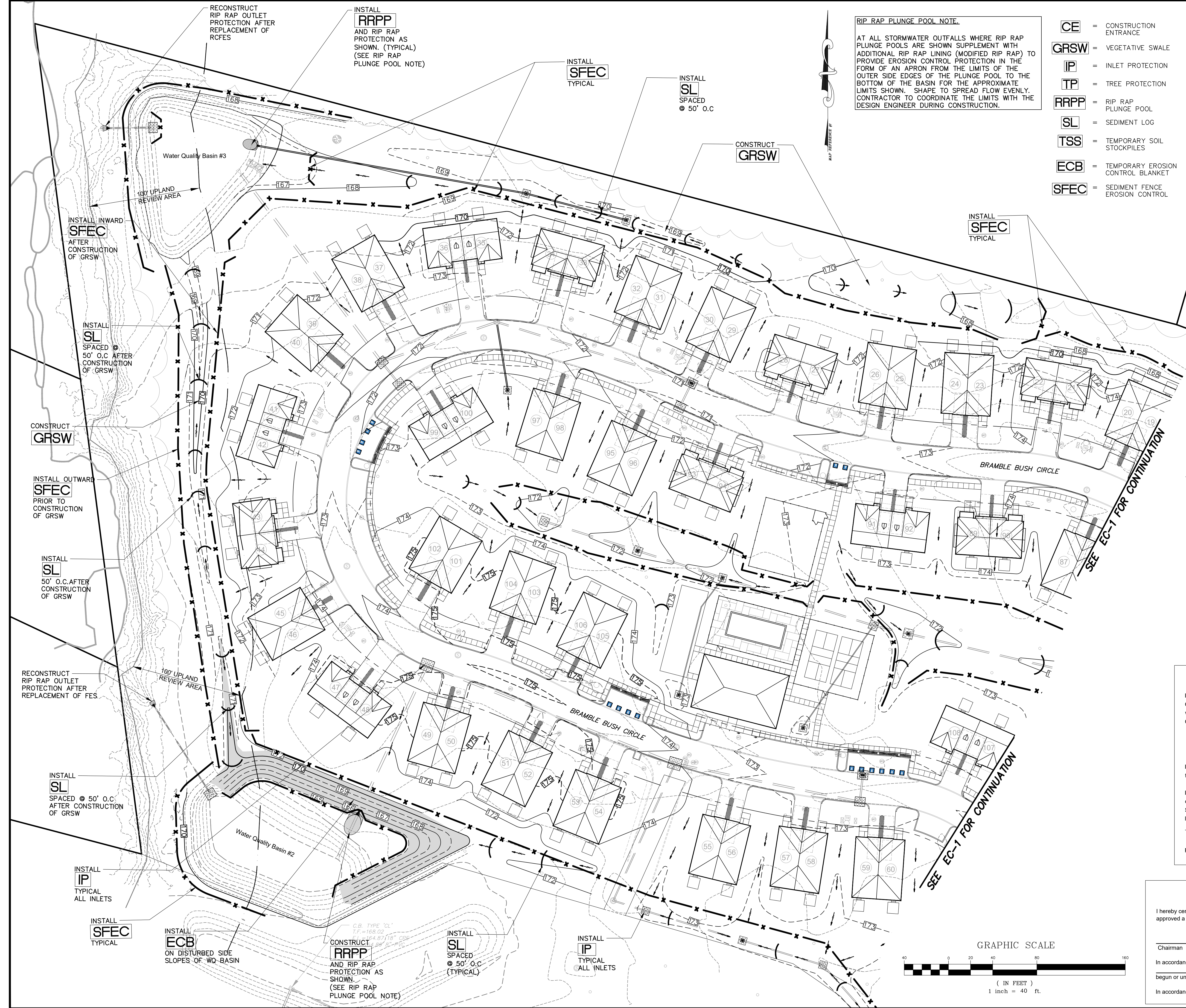
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Revisions: No. Date Description 1. 05-08-2023 Merged Parcel	
SOIL EROSION AND SEDIMENT CONTROL PLAN PREPARED FOR K SFR EAST GRANBY OWNER, LLC BRAMBLE BUSH CIRCLE EAST GRANBY, CONNECTICUT Date: 03-24-2023 Drawn by: DRT Job no: 22082 Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 2 <small>© 2023, 2082 - Crown Point East Granby/Submital 2023-05-08/EC-1 2023-05-08.dwg, EC 1, May, 03, 2023 - 4:12:48 PM</small>	
EC-1	
F.A.H. F. A. Hesketh & Associates, Inc. 3 Creamery Brook, East Granby, CT 06026 Phone (860) 653-8000 Fax (860) 844-8600 www.fahsketh.com mail@fahsketh.com Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects	



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- LEGEND**
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PERMIT - WETLANDS REGULATED ACTIVITY

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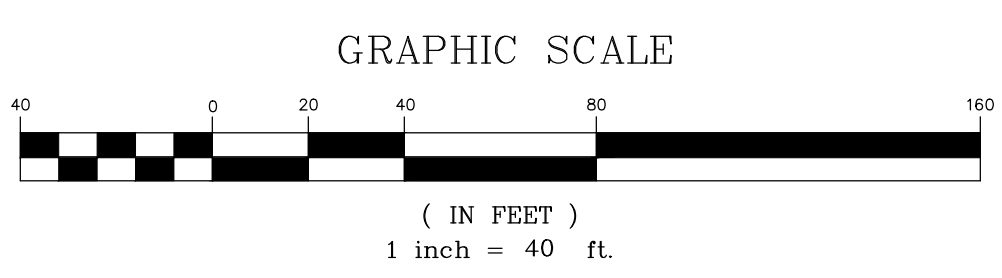
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SOIL EROSION AND SEDIMENT CONTROL PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE
 EAST GRANBY, CONNECTICUT

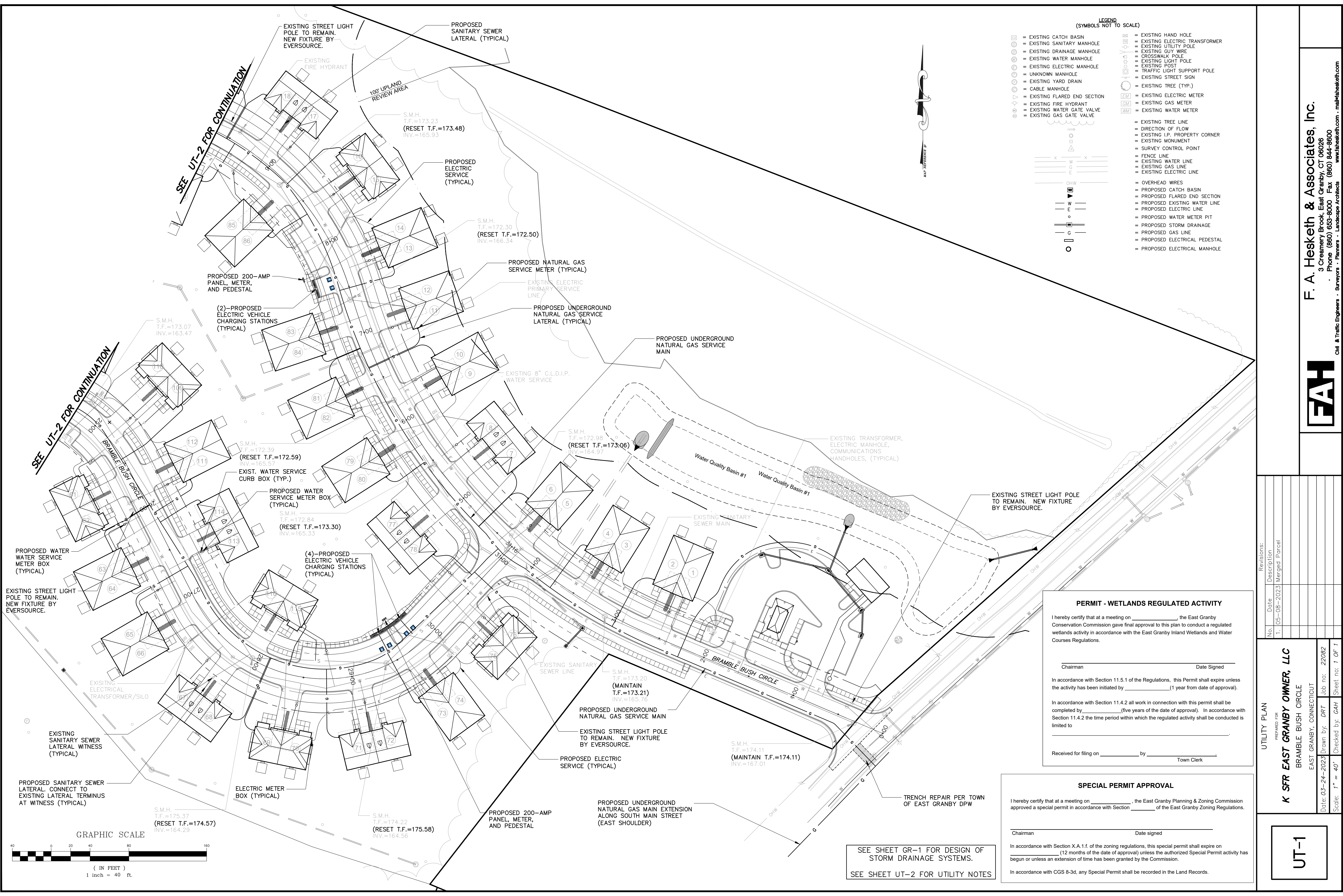
Date: 03-24-2023 Drawn by: DFT Job no: 22092
 Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2
 03/2023/22092 - Krown Point East Granby/Submittal/2023-05-08/EC-1 2023-05-08.dwg, EC 2, May, 03, 2023 - 4:13:10 PM

Revisions:
 No. Date Description
 1. 05-08-2023 Merged Parcel

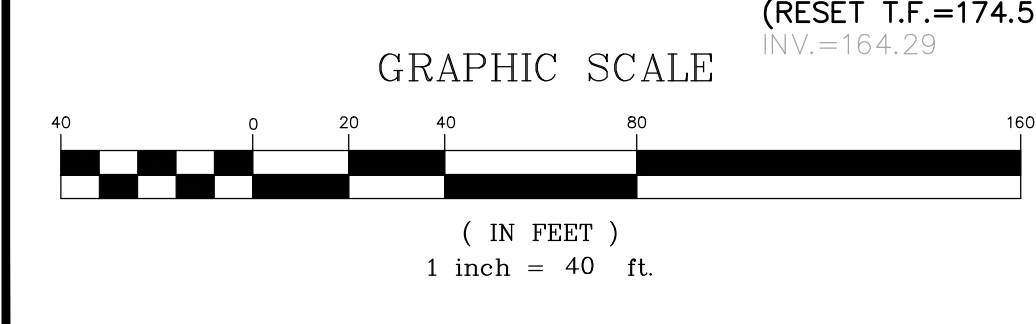
F. A. Hesketh & Associates, Inc.
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 Phone (860) 653-8000 Fax (860) 644-8600
 www.fahsketh.com · matri@fahsketh.com
 Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects

FAH

EC-2



- LEGEND**
(SYMBOLS NOT TO SCALE)
- EXISTING CATCH BASIN
 - EXISTING SANITARY MANHOLE
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 - EXISTING WATER MANHOLE
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 - UNKNOWN MANHOLE
 - EXISTING YARD DRAIN
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 - EXISTING FIRE HYDRANT
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 - EXISTING GAS GATE VALVE
 - EXISTING HAND HOLE
 - EXISTING ELECTRIC TRANSFORMER
 - EXISTING UTILITY POLE
 - EXISTING GUY WIRE
 - CROSSWALK POLE
 - EXISTING LIGHT POLE
 - EXISTING POST
 - TRAFFIC LIGHT SUPPORT POLE
 - EXISTING STREET SIGN
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 - EXISTING ELECTRIC METER
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 - EXISTING TREE LINE
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 - SURVEY CONTROL POINT
 - FENCE LINE
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 - EXISTING GAS LINE
 - EXISTING ELECTRIC LINE
 - OVERHEAD WIRES
 - PROPOSED CATCH BASIN
 - PROPOSED FLARED END SECTION
 - PROPOSED EXISTING WATER LINE
 - PROPOSED ELECTRIC LINE
 - PROPOSED WATER METER PIT
 - PROPOSED STORM DRAINAGE
 - PROPOSED GAS LINE
 - PROPOSED ELECTRICAL PEDESTAL
 - PROPOSED ELECTRICAL MANHOLE



PERMIT - WETLANDS REGULATED ACTIVITY

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

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Chairman _____ Date signed _____

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SEE SHEET GR-1 FOR DESIGN OF STORM DRAINAGE SYSTEMS.
SEE SHEET UT-2 FOR UTILITY NOTES

Revisions:

No.	Date	Description
1.	05-08-2023	Merged Parcel

UTILITY PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 1 OF 1
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UT-1

FAH

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3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahhsketh.com - malriehsketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects



LEGEND
(SYMBOLS NOT TO SCALE)

- EXISTING CATCH BASIN
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- OVERHEAD WIRES
- PROPOSED CATCH BASIN
- PROPOSED FLARED END SECTION
- PROPOSED EXISTING TOWN LINE
- PROPOSED ELECTRIC LINE
- PROPOSED WATER METER PIT
- PROPOSED STORM DRAINAGE
- PROPOSED GAS LINE
- PROPOSED ELECTRICAL PEDESTAL
- PROPOSED ELECTRICAL MANHOLE

- UTILITY NOTES**
- UNDERGROUND UTILITIES DEPICTED ON THIS DRAWING ARE A COMPILATION OF FIELD SURVEY DATA, RECORD UTILITY PLANS, AS-BUILT FIELD SURVEY, AND RECORD DESIGN PLANS. NOT ALL UTILITIES MAY BE SHOWN, AND THOSE SHOWN MAY NOT BE ACCURATE PRIOR TO THE START OF CONSTRUCTION OF THE UTILITIES. THE CONTRACTOR SHALL VERIFY ALL EXISTING UTILITY LOCATIONS AT ALL UTILITY CROSSINGS AND POINTS OF CONNECTION WITH EXISTING UTILITIES TO IDENTIFY POTENTIAL CONFLICTS WITH PROPOSED ALIGNMENT AND GRADE. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AND ARCHITECT OF SUCH CONFLICTS.
 - CONTACT "CALL BEFORE YOU DIG" BY CALLING 811 OR 1-800-922-4455 AT LEAST 72 HOURS PRIOR TO START OF CONSTRUCTION TO HAVE ALL UTILITY SERVICES DEMARCATED IN THE FIELD. CONDUCT, AS REQUIRED, TEST PITS TO VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES.
 - ALL MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE TOWN OF EAST GRANBY STANDARDS AND SPECIFICATIONS, CT DOT FORM 818, AND/OR CUSTODIAL UTILITY COMPANY AND MANUFACTURER'S SPECIFICATIONS AND REQUIREMENTS, AS APPROPRIATE.
 - ALL UTILITIES TAKEN OUT OF SERVICE SHALL BE ABANDONED IN ACCORDANCE WITH REQUIREMENT OF THE CUSTODIAL UTILITY COMPANY SPECIFICATIONS, THE TOWN OF EAST GRANBY WATER POLLUTION CONTROL AUTHORITY STANDARDS, OR STATE OF CONNECTICUT DEPARTMENT OF TRANSPORTATION (CT DOT) AS APPLICABLE.
 - ACTUAL ROUTING OF UTILITY SERVICES MAY BE SUBJECT TO REVISION BY THE CUSTODIAL UTILITY COMPANY. CONTRACTOR SHALL COORDINATE ROUTING OF UTILITIES WITH THE CUSTODIAL UTILITY COMPANY.
 - THE EXISTING SANITARY SEWER SYSTEM AND LATERALS CONNECTION LOCATIONS DEPICTED ON THESE PLANS ARE TAKEN FROM RECORD PLANS FROM TOWN OF EAST GRANBY ARCHIVES AND FIELD SURVEY DATA. THE PLANS INCLUDE THE LOCATION OF WITNESS MARKERS PURPORTED TO IDENTIFY THE LOCATION OF THE EXISTING SANITARY SEWER LATERALS. THE CONTRACTOR SHALL CONDUCT A TEST PIT AT THE PROPOSED LOCATION OF SANITARY SEWER CONNECTION AND VERIFY LOCATION AND INVERT OF SANITARY SEWER BEFORE CONSTRUCTION OF SEWER TO VERIFY IF INVERT ELEVATIONS SHOWN ON THIS PLAN WILL WORK AS DESIGNED. NOTIFY DESIGN ENGINEER AND ARCHITECT OF CONFLICTS PRIOR TO START OF CONSTRUCTION OF NEW SEWER LATERAL CONNECTIONS.
 - ALL NEW UTILITY SERVICES AND CONNECTIONS SHALL BE UNDERGROUND.
 - SEE GRADING AND DRAINAGE PLAN FOR STORM DRAIN DESIGN AND RELATED NOTES.
 - ALL MATERIALS AND CONSTRUCTION OF SANITARY SEWERS SHALL BE IN COMPLIANCE WITH THE EAST GRANBY WATER POLLUTION CONTROL AUTHORITY AND THE MDC STANDARDS AND SPECIFICATIONS.
 - PVC SEWER PIPE = SDR 35 PVC PIPE W/ PUSH-ON GASKETED JOINTS IN CONFORMANCE WITH THE MDC AND TOWN OF EAST GRANBY WATER POLLUTION CONTROL AUTHORITY SPECIFICATIONS.
 - EACH DUPLEX WILL DISCHARGE SEWAGE VIA A COMMON LATERAL CONNECTION TO THE CLOSEST EXISTING SANITARY SEWER LATERAL. LOCATIONS OF EXISTING SANITARY SEWER LATERALS ARE DEPICTED ON THE PLAN ARE FIELD-LOCATED WITNESS. PURPORTED TO BE THE LOCATION OF THE TERMINUS OF THE LATERAL. CONSTRUCTED CIRCA 2009. A SINGLE LATERAL SERVICE WILL EXIT EACH DUPLEX. INTERCONNECTION BETWEEN DUPLEXES WILL BE INTERNAL.
 - INVERT ELEVATIONS OF ALL SANITARY SEWERS MUST BE COORDINATED WITH FINAL ARCHITECTURAL DRAWINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY DESIGN ENGINEER AND ARCHITECT OF CONFLICTS PRIOR TO START OF CONSTRUCTION.
 - ALL MATERIALS AND CONSTRUCTION FOR DOMESTIC WATER AND FIRE SERVICE SHALL BE IN COMPLIANCE WITH MDC STANDARDS AND SPECIFICATIONS.
 - EACH DUPLEX WILL BE SERVED VIA A COMMON WATER SERVICE LATERAL. THE LOCATION OF EXISTING WATER SERVICE CURB BOXES ARE DEPICTED ON THE PLAN. A WATER METER BOX IS REQUIRED AFTER THE CURB BOX. EACH DUPLEX WILL BE SERVED VIA THE COMMON METER BOX. INTERCONNECTION BETWEEN DUPLEXES WILL BE INTERNAL.
 - CONTRACTOR SHALL COORDINATE ELECTRICAL SERVICE WITH EVERSOURCE. IT IS ANTICIPATED THAT THE EXISTING ELECTRICAL INFRASTRUCTURE WILL BE USED. ADDITIONAL SECONDARY SERVICE ROADWAY CROSSINGS AND ELECTRIC SERVICE MANHOLES WILL BE REQUIRED.
 - CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ELECTRIC VEHICLE CHARGING STATION METER AND BREAKER PEDESTALS AND RELATED HANDHOLES FOR SECONDARY SERVICE, ETC. COORDINATE INSTALLATION WITH EVERSOURCE UTILITY SERVICES.
 - SITE LIGHTING FOUNDATIONS, STANDARDS, FIXTURES AND ELECTRICAL CONDUITS AND WIRING. THIS INCLUDES PARKING AREA PERIMETER LIGHTING AND MISCELLANEOUS SITE. COORDINATE INSTALLATION WITH ARCHITECT'S ELECTRICAL DRAWINGS.
 - SAW CUT FOR ALL TRENCHES IN TOWN RIGHT-OF-WAY. CONSTRUCT BACKFILLING AND PAVEMENT REPAIR DETAIL PER TOWN OF EAST GRANBY DEPARTMENT OF PUBLIC WORKS STANDARDS.
 - WORK WITHIN THE TOWN ROAD RIGHT OF WAY WILL REQUIRE A PERMIT FROM THE EAST GRANBY DEPARTMENT OF PUBLIC WORKS. THE CONTRACTOR SHALL OBTAIN SAID PERMIT PRIOR TO INITIATING CONSTRUCTION ACTIVITIES. ALL WORK WITHIN THE TOWN HIGHWAY RIGHT OF WAY SHALL CONFORM TO CONDITIONS OF THE TOWN OF EAST GRANBY DPW PERMIT.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____

Received for filing on _____ by _____ Town Clerk

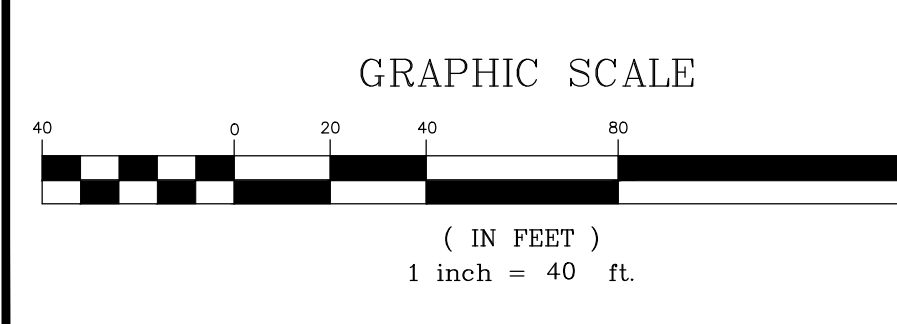
SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-34, any Special Permit shall be recorded in the Land Records.



F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahesketh.com mail:fahesketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

FAH

No.	Date	Description
1.	05-08-2023	Merged Parcel

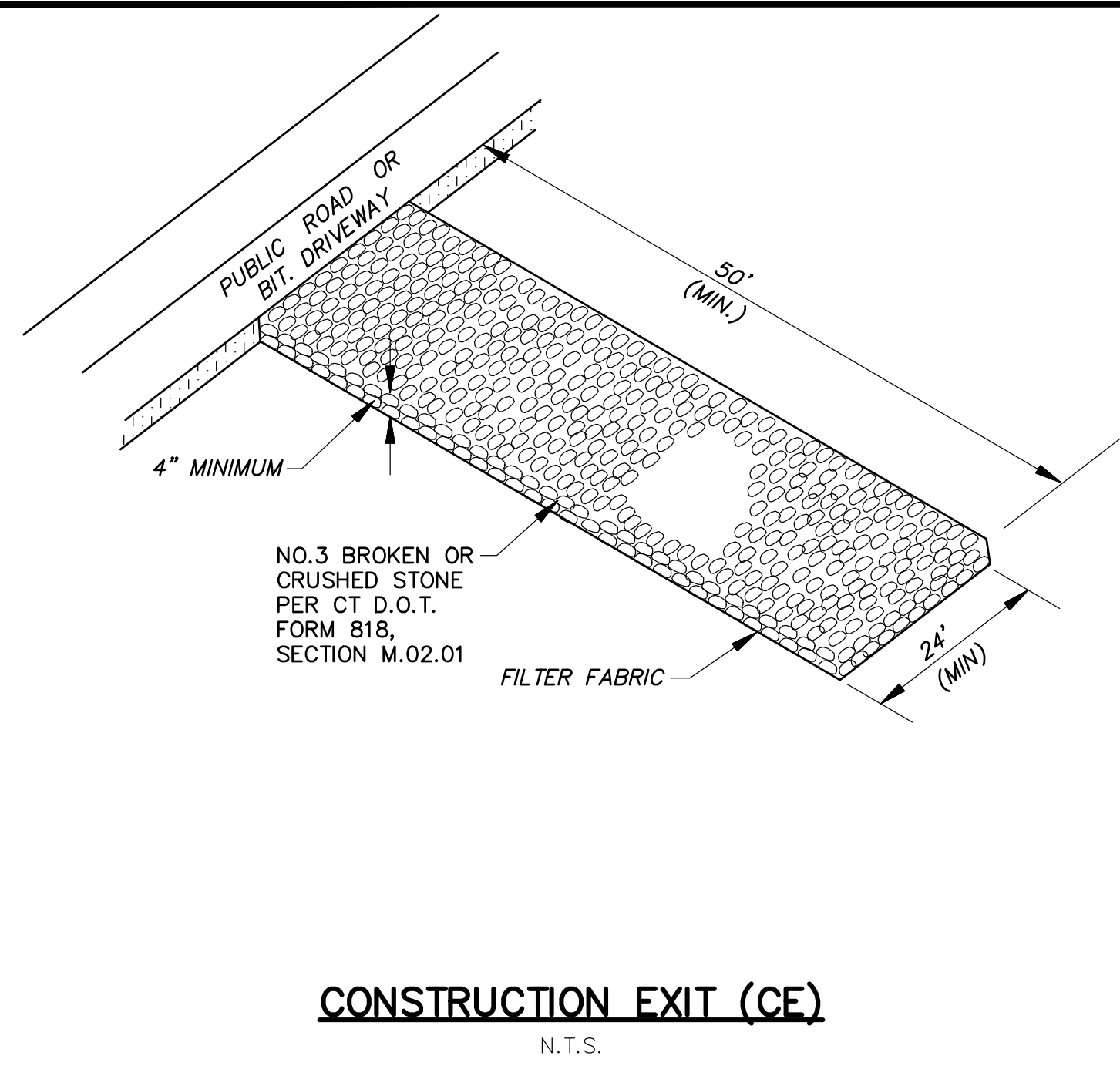
Revisions:

UTILITY PLAN

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

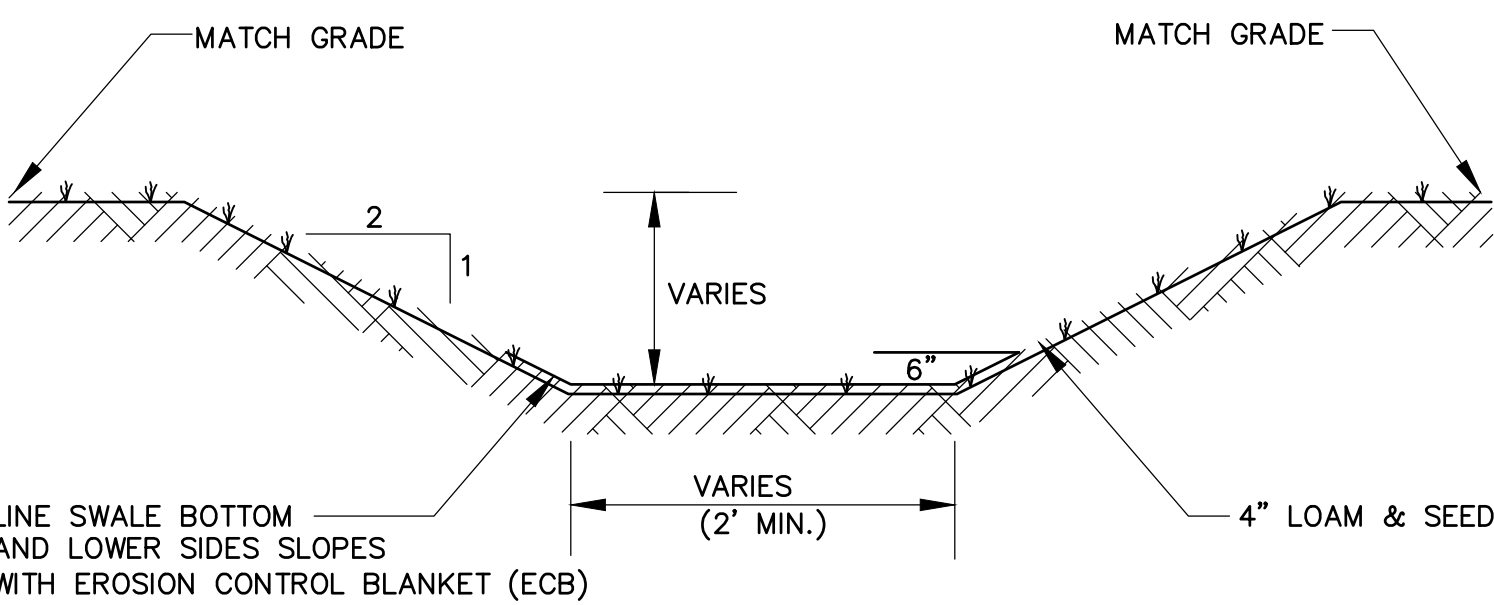
Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: GAH Sheet no: 2 OF 2
© 2023 2:08:22 - Krown Point East Granby\Submittal\2023-05-08\VI-1-2023-05-08.dwg, UT 2, May, 03, 2023 - 4:18:53 PM

UT-2



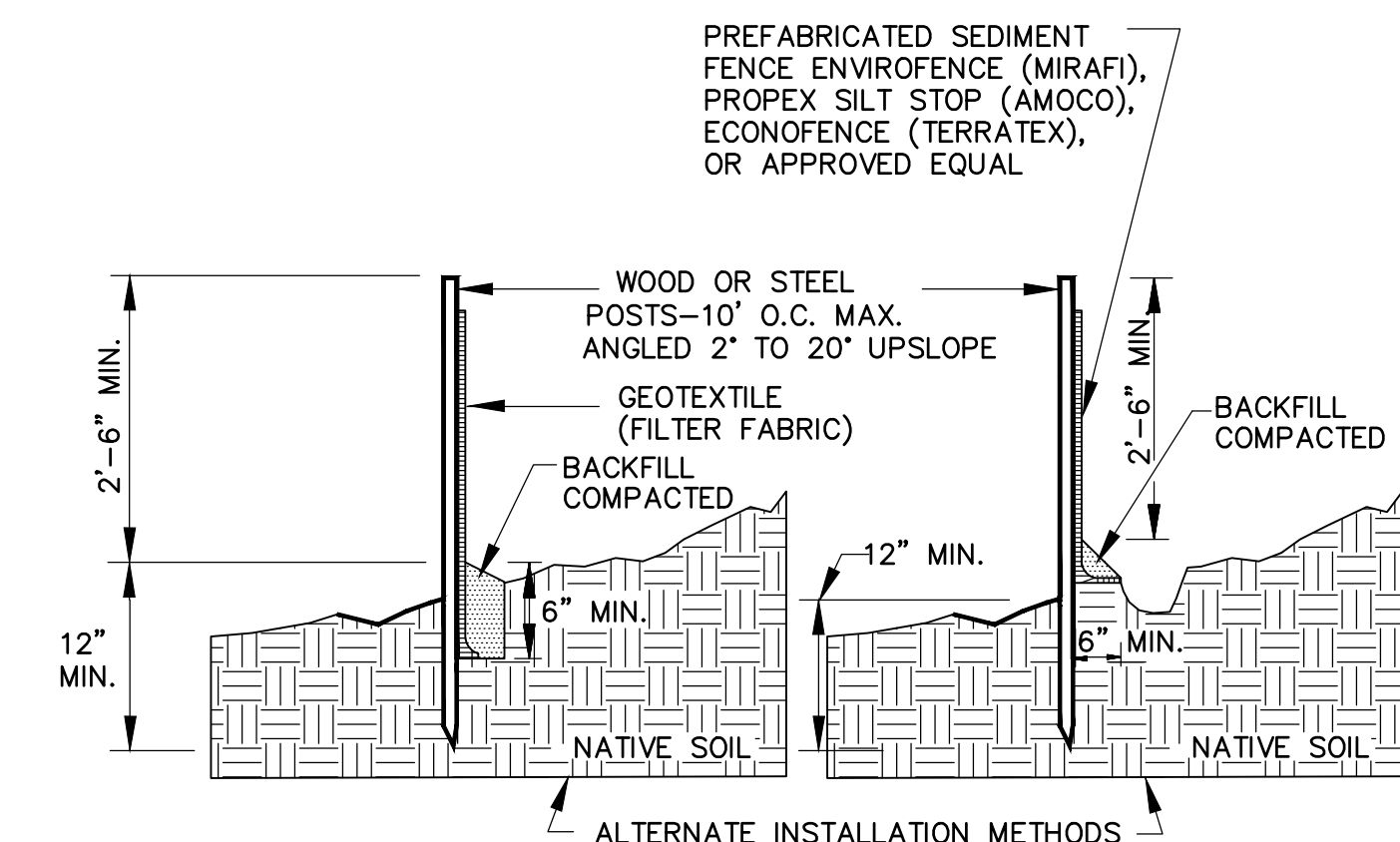
CONSTRUCTION EXIT (CE)

N.T.S.



VEGETATED SWALE DETAIL (GRSW)

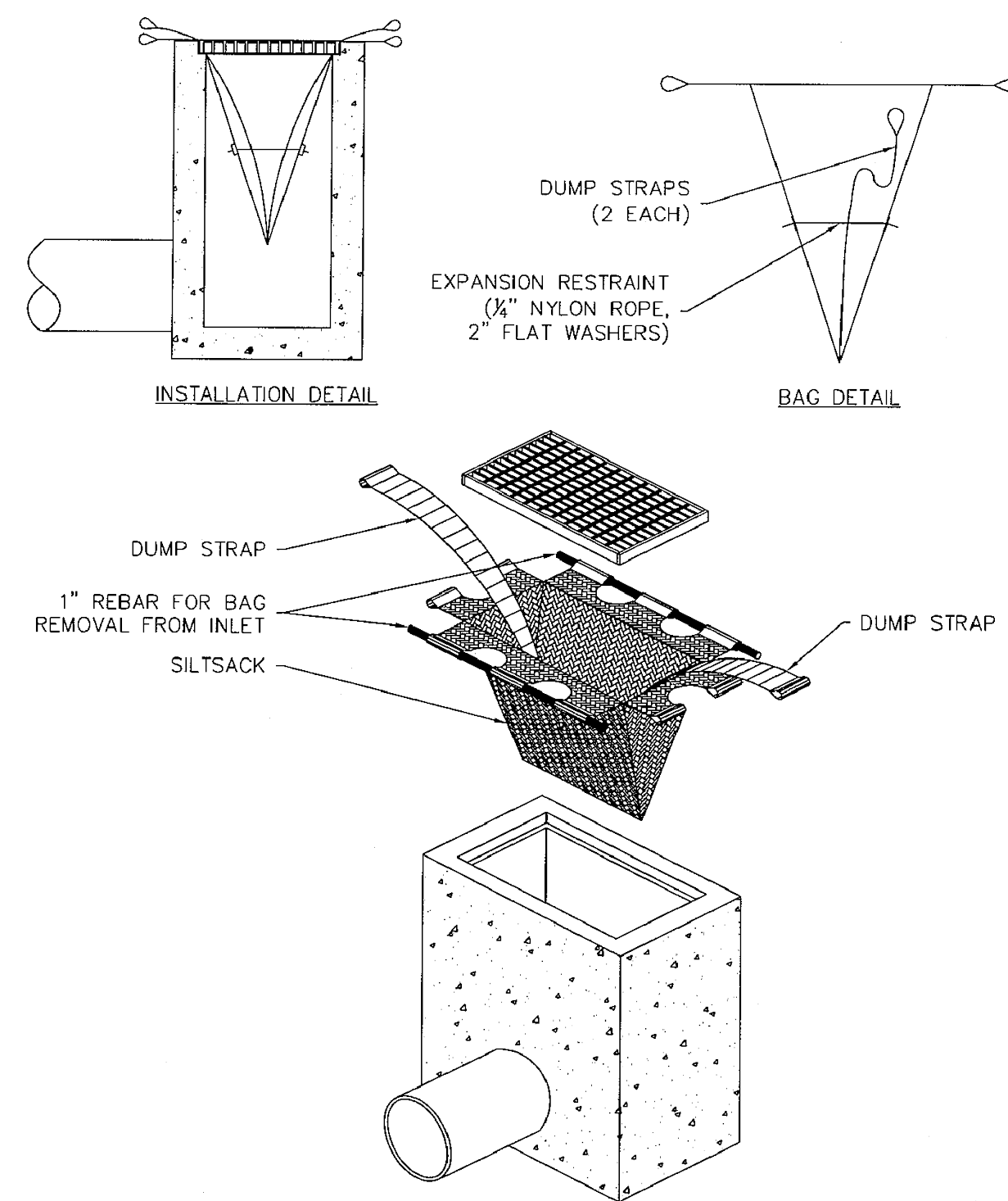
N.T.S.



- NOTE:**
- WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT X 48".
 - JOINTS, WHEN REQUIRED, SHALL BE SPliced & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

SEDIMENT FENCE EROSION CONTROL (SFEC)

N.T.S.



- INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS

INLET PROTECTION (IP) [SILT SACK INSERT]

N.T.S.

Waterway Installation

- Prepare the soil by grading or raking area free of clods and large stones. Do not compact if using fertilizer; add it to soil before grading.
- Seeds and much of required) should be distributed evenly over the prepared soil.
- Seeds should be applied by unrolling down the slope or in the direction of water flow. Always bring down to level area before termination, fold 6" under, and secure with staples.
- Secure
- Place staples 18" to 24" apart throughout to secure matting to ground. All staples must be driven flush with soil surface.
- Always overlap the edges 2" to 6". At the end of each roll, fold back 4" to 8" of the matting. Overlap this 4" to 8" over the start of the next roll. Securely staple the two layers to the ground.

Always check with state or contracting agency for installation specifications or special requirements.

Specifications	Results
Fabric structure	Woven
Fabric weight	52 lbs./yd ²
Fabric width	48"
Yarn count/loop	75 per width, minimum
Weight	42 per linear yard, minimum
Water Absorption	>450% of fabric weight
Open Area	69.65%
Durability	1-2 years
Coverage	approximately 50 rolls per acre (using 100 yd ² rolls)

Staples	Type
11 gauge 6"	
8 gauge 6"	
8 gauge 8"	

Typical usage: Approximately 200 staples per roll.

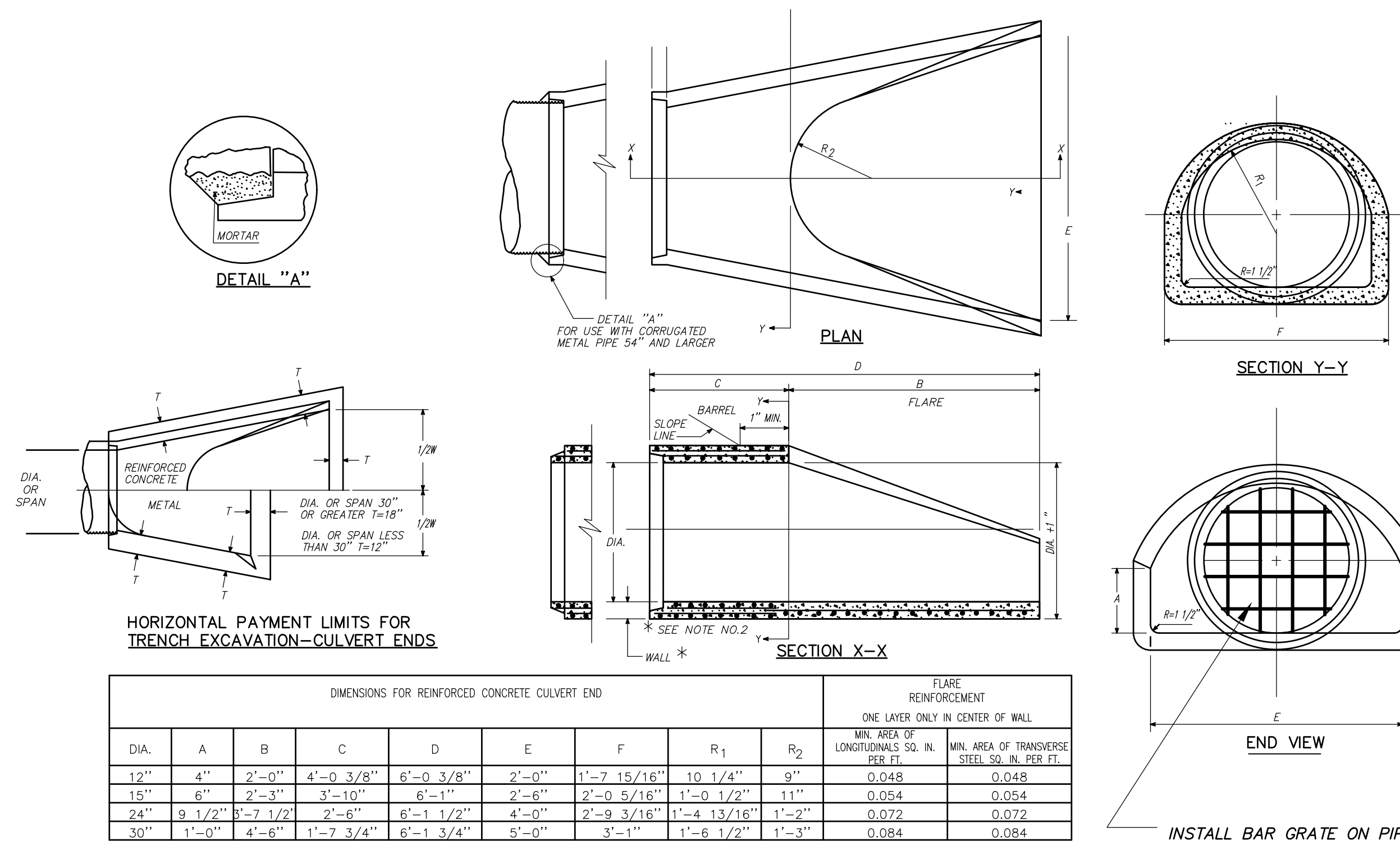
Roll Packaging	Available in regular and smolder resistant treated rolls. (Call or write for current product data sheet on smolder resistant fabric)		
Width x length	Type	Sq. Yards	Weight
48" x 225'	Regular	100	92 lbs.
48" x 225'	Smolder resistant	100	97 lbs.
48" x 142'	UVS-rope roll	65	60 lbs.

- NOTES:**
- MUST BE CERTIFIED WEED FREE.

- USE ANTI-WASH/GEOJUTE PRODUCT OR APPROVED EQUAL

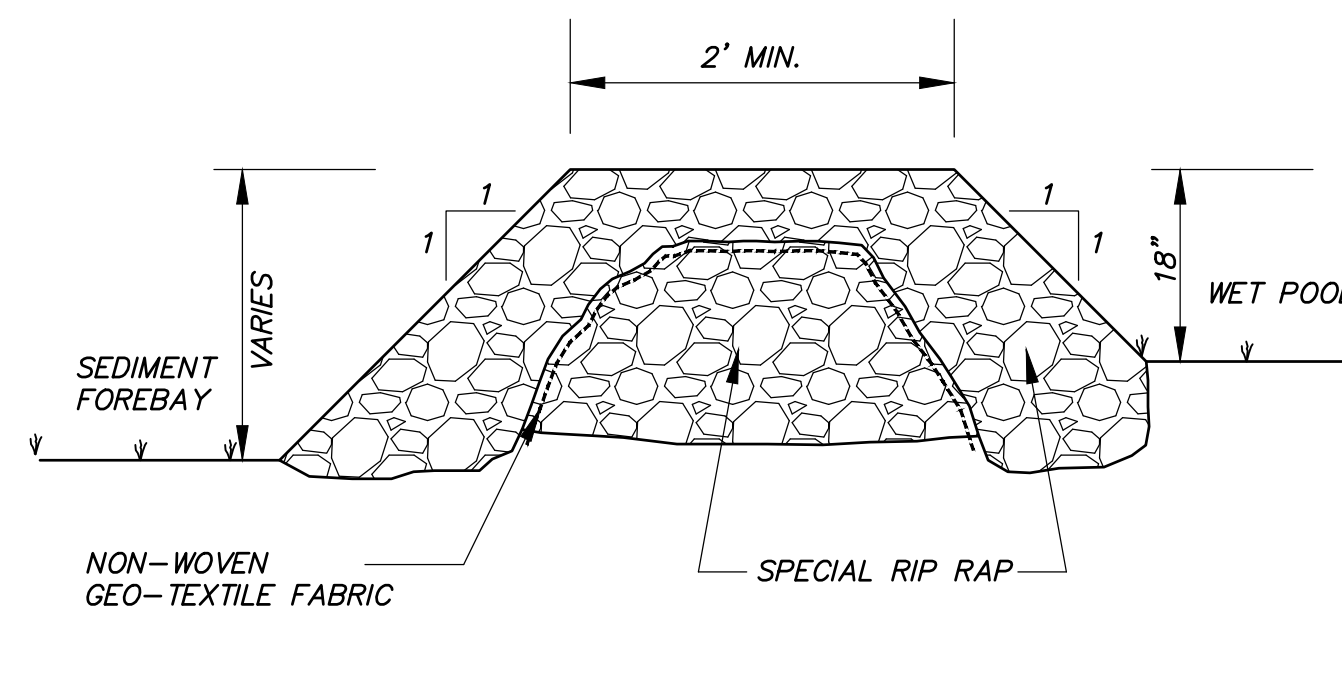
EROSION CONTROL BLANKET (ECB)

N.T.S.



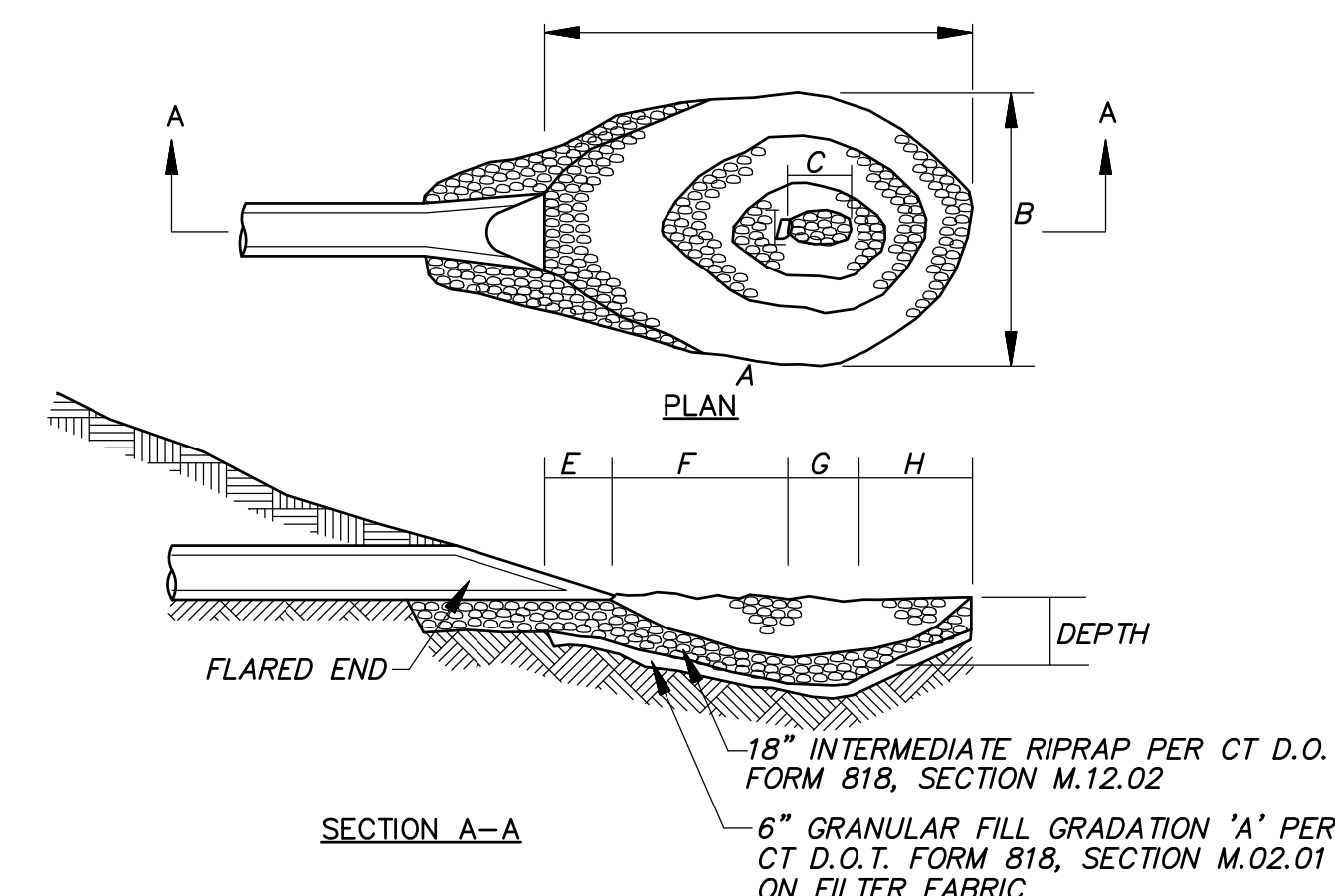
REINFORCED CONCRETE CULVERT END

N.T.S.



STONE CHECK DAM

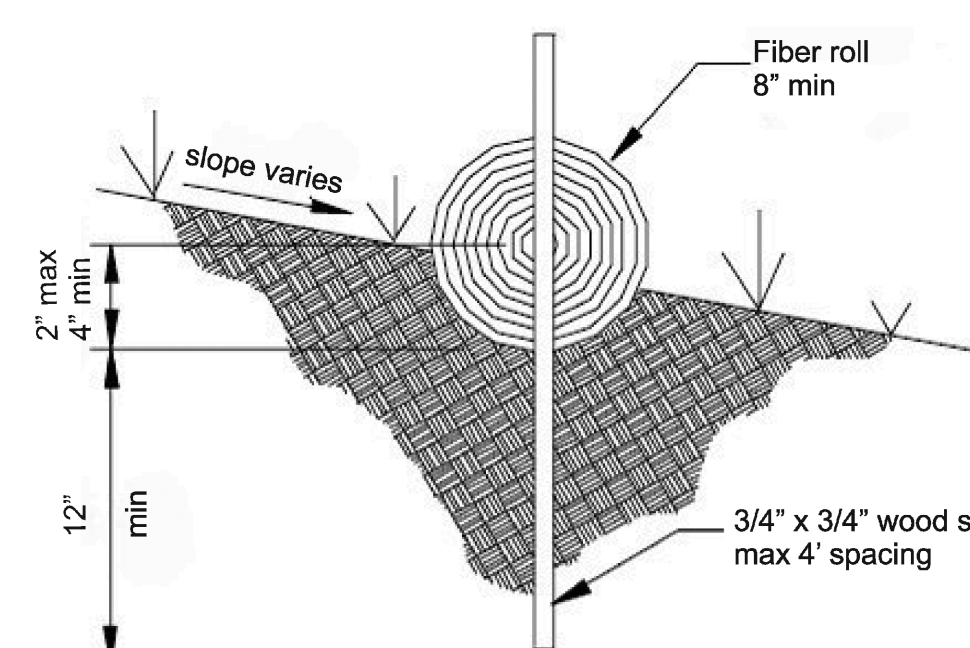
N.T.S.



RIPRAP PLUNGE POOL (RRPP)

N.T.S.

PIPE SIZE	A	B	C	D	E	F	G	H	WT. RIPRAP TONS.	DEPTH
12"	8'	6'	1 1/2'	1'	1'	3 1/2'	1 1/2'	2'	4.5	1'-0"
15"	10'	7'	1 1/2'	1'	1'	4 1/2'	1 1/2'	3'	6	1'-0"
24"	17'	10'	2 1/2'	1 1/2'	1'	8'	2 1/2'	5 1/2'	15	1'-10"
30"	20'	13'	3'	2'	2'	9'	3'	6'	22	2'-0"



- NOTES:**
- USE SEDIMENT LOG BY AMERICAN EXCELSIOR, OR APPROVED EQUAL
 - MUST BE CERTIFIED WEED FREE.

SEDIMENT LOG SECTION

N.T.S.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

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Received for filing on _____ by _____ Town Clerk

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

Revisions:

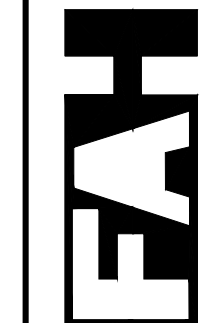
No.	Date	Description
1.	05-08-2023	Merged Parcel

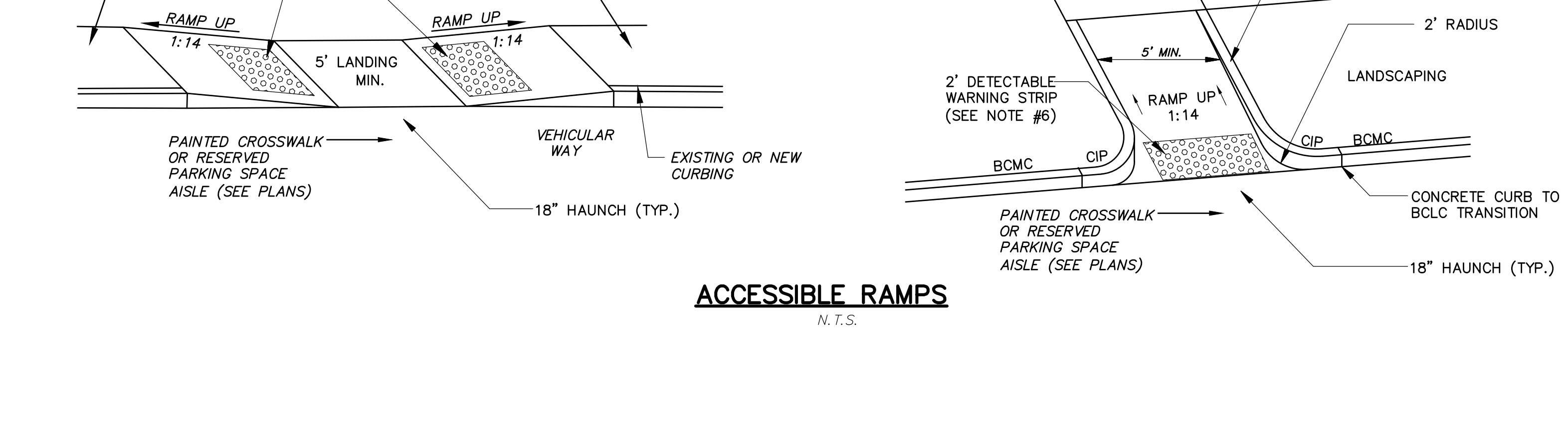
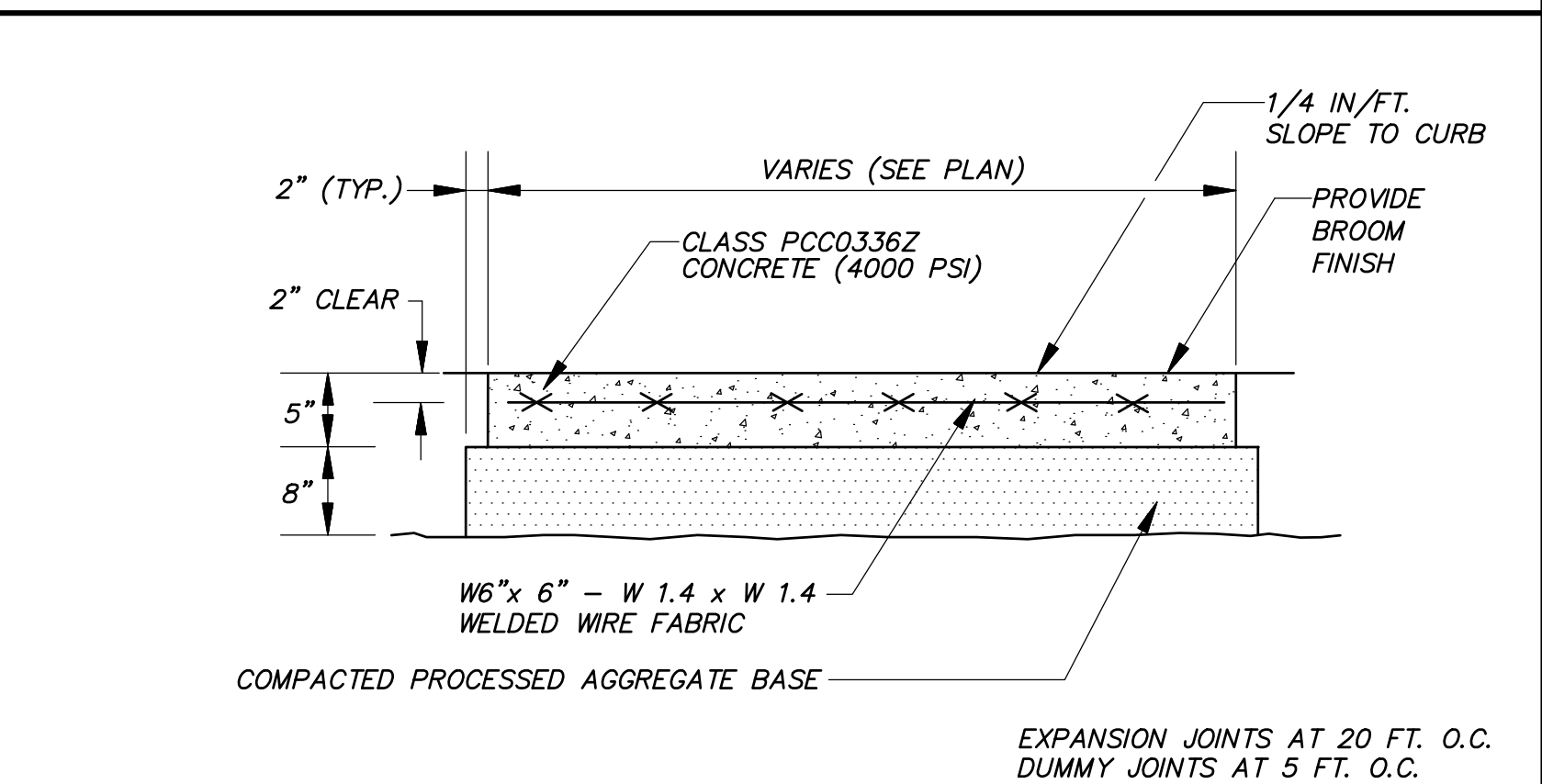
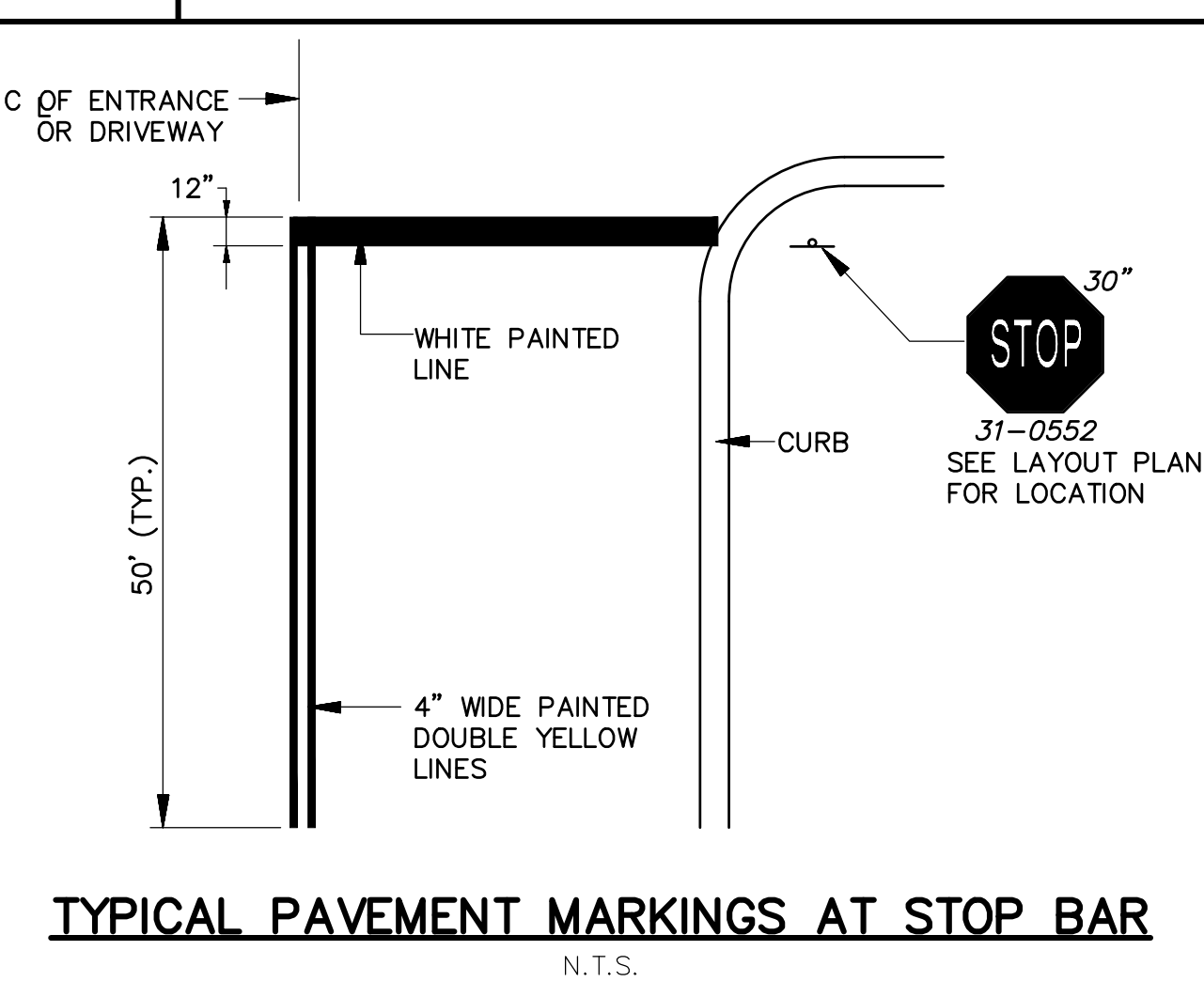
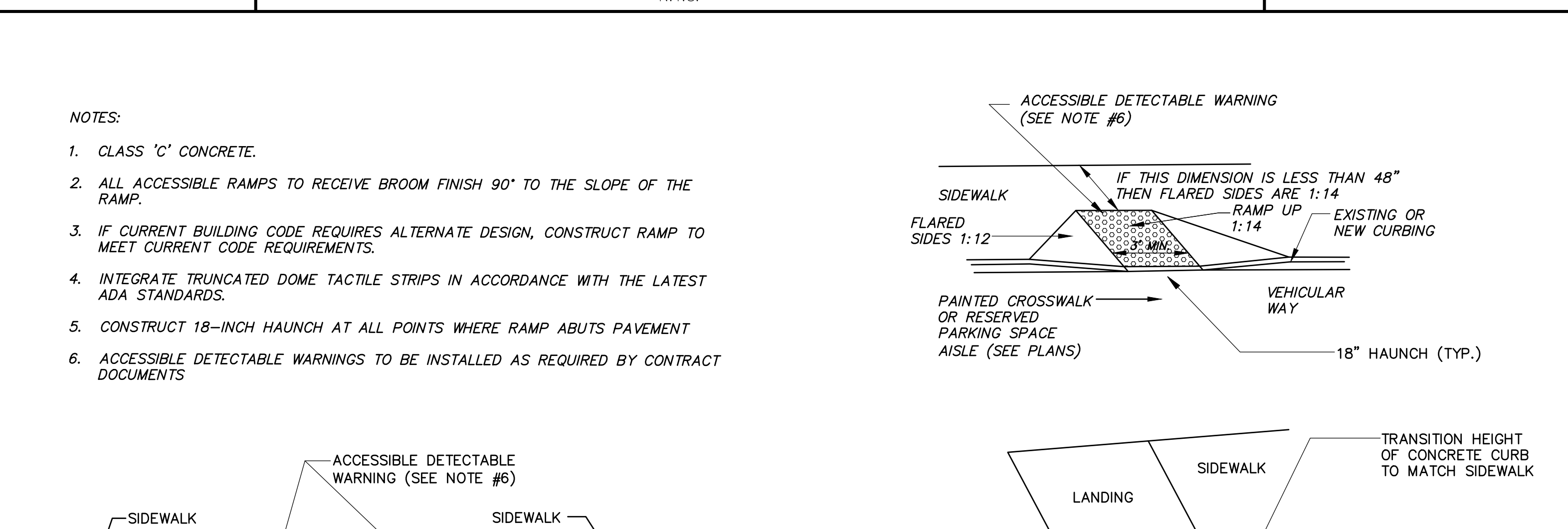
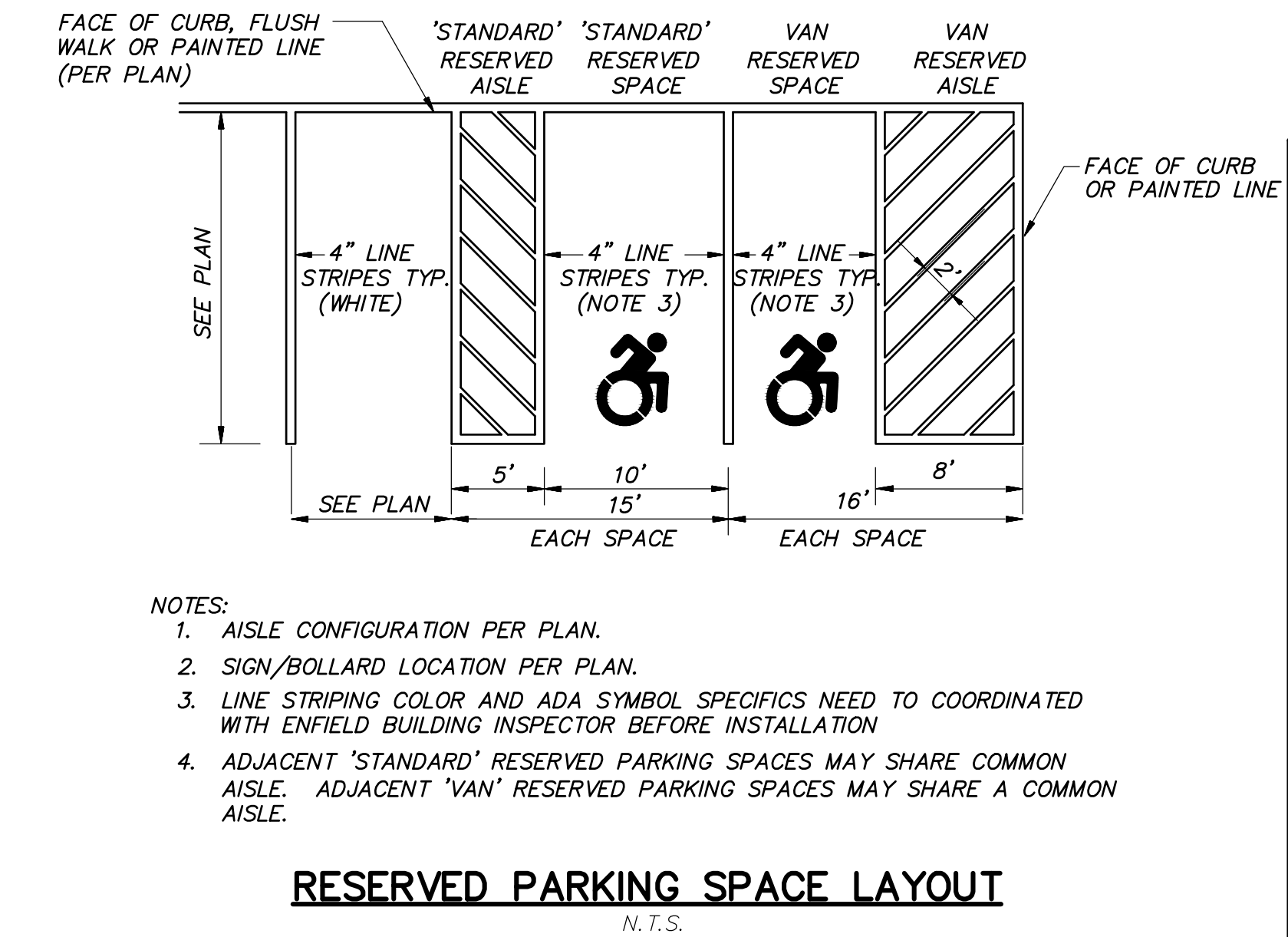
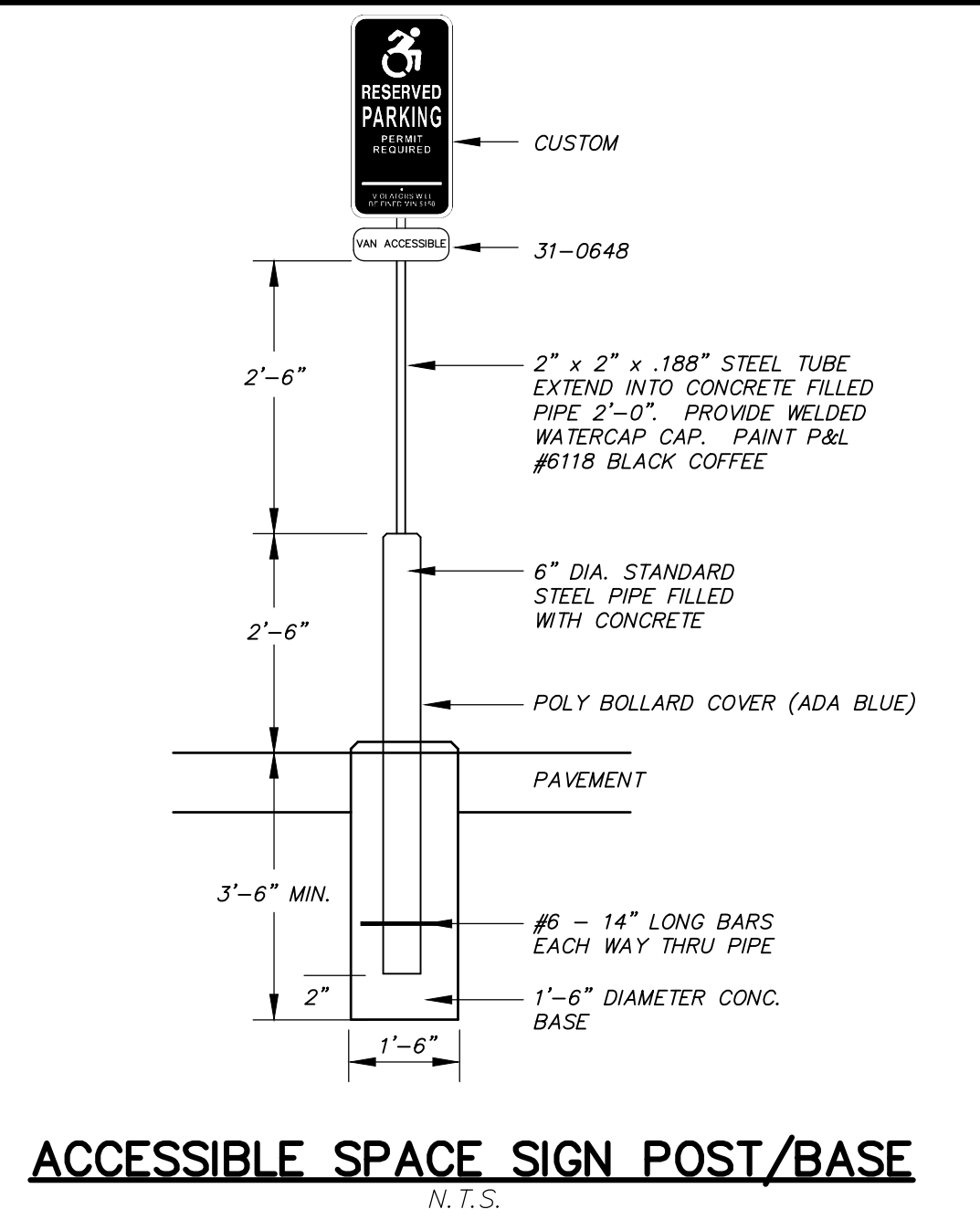
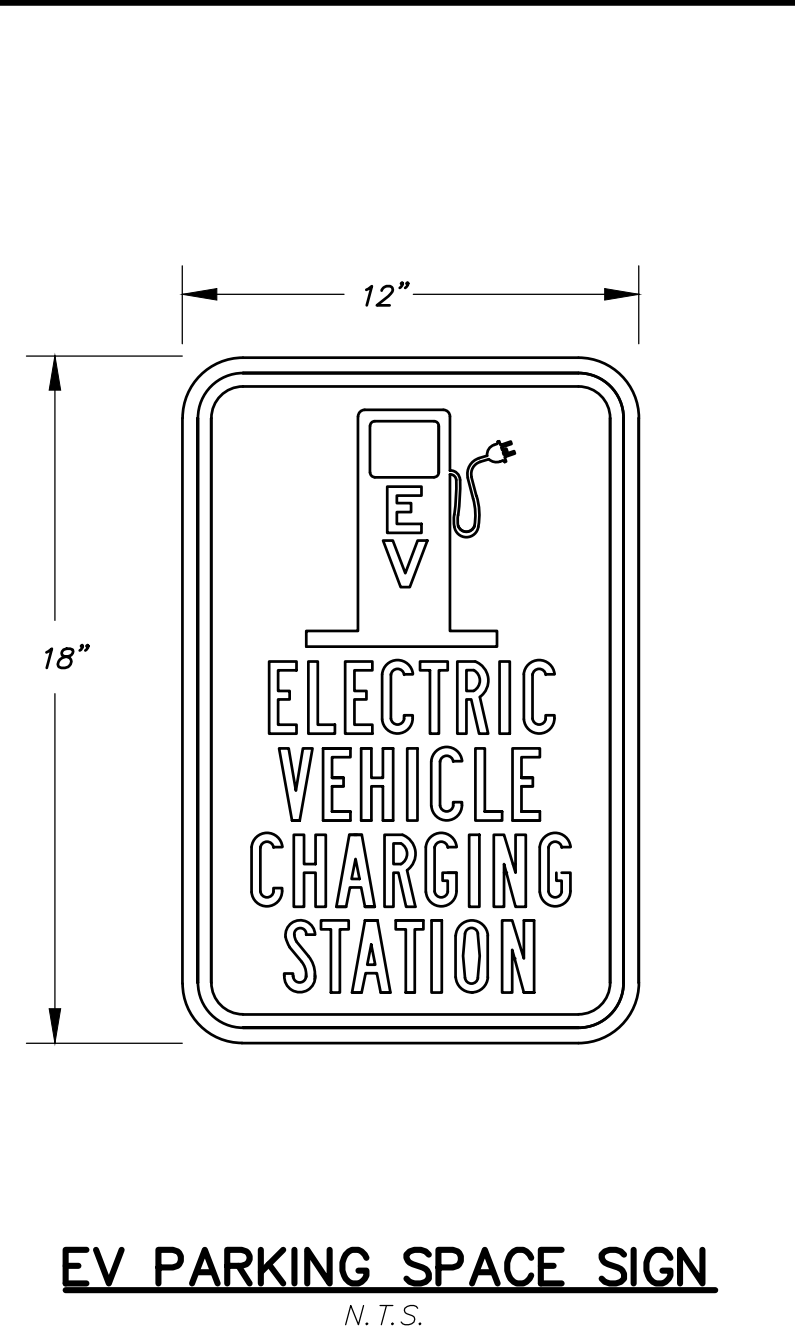
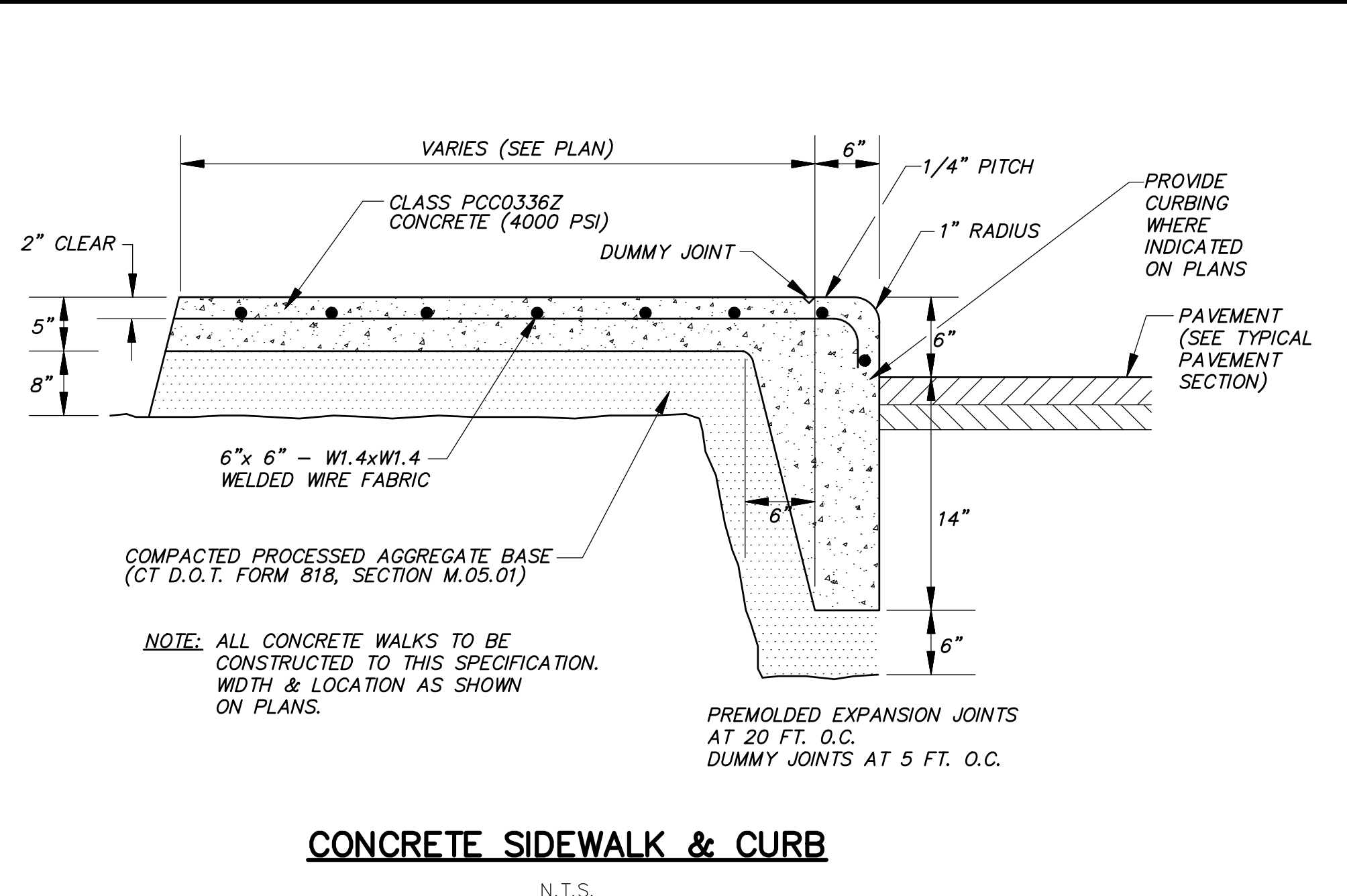
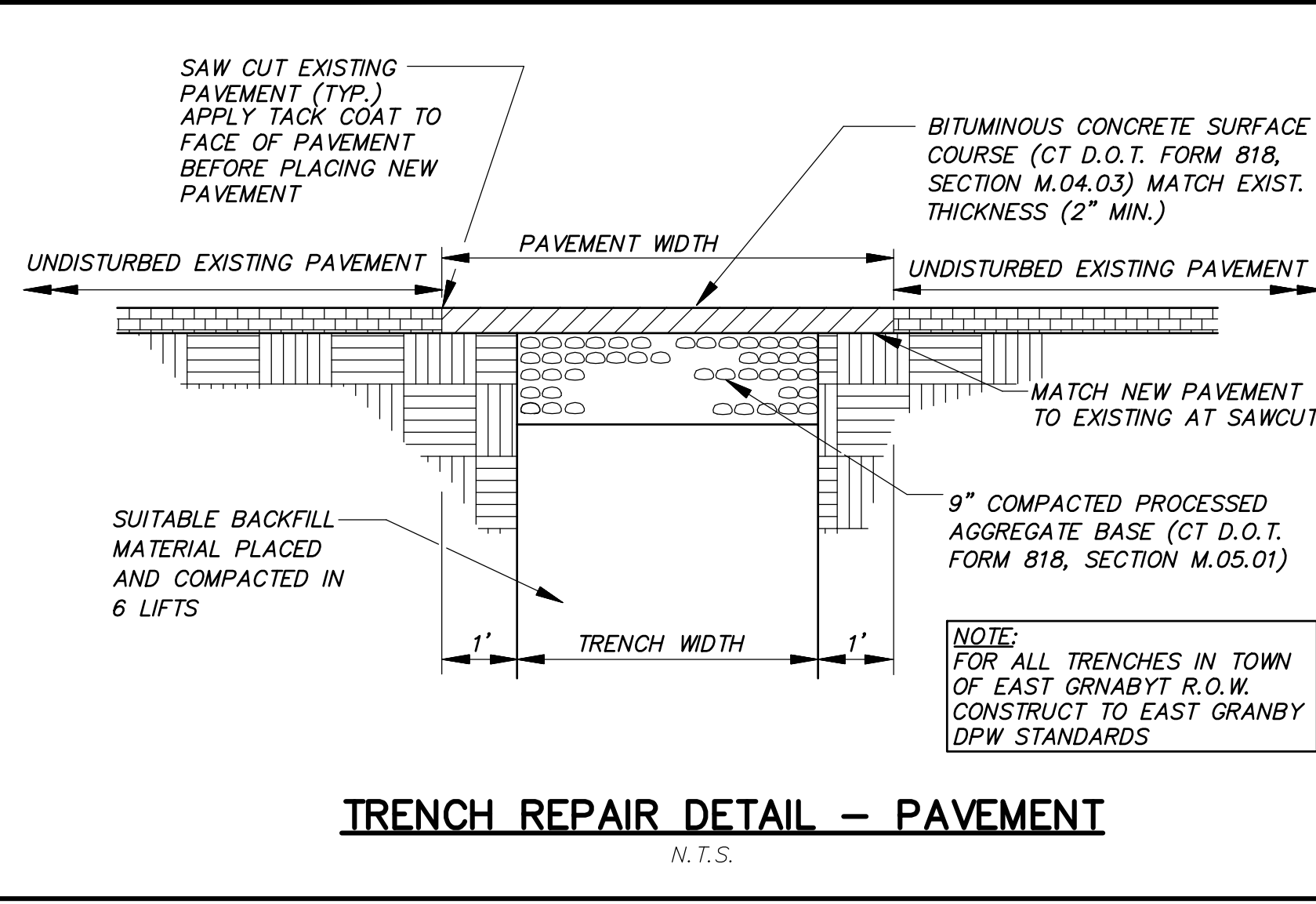
SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22062
Scale: AS NOTED Checked by: GAH Sheet no: 1 OF 5
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SD-1





PERMIT - WETLANDS REGULATED ACTIVITY

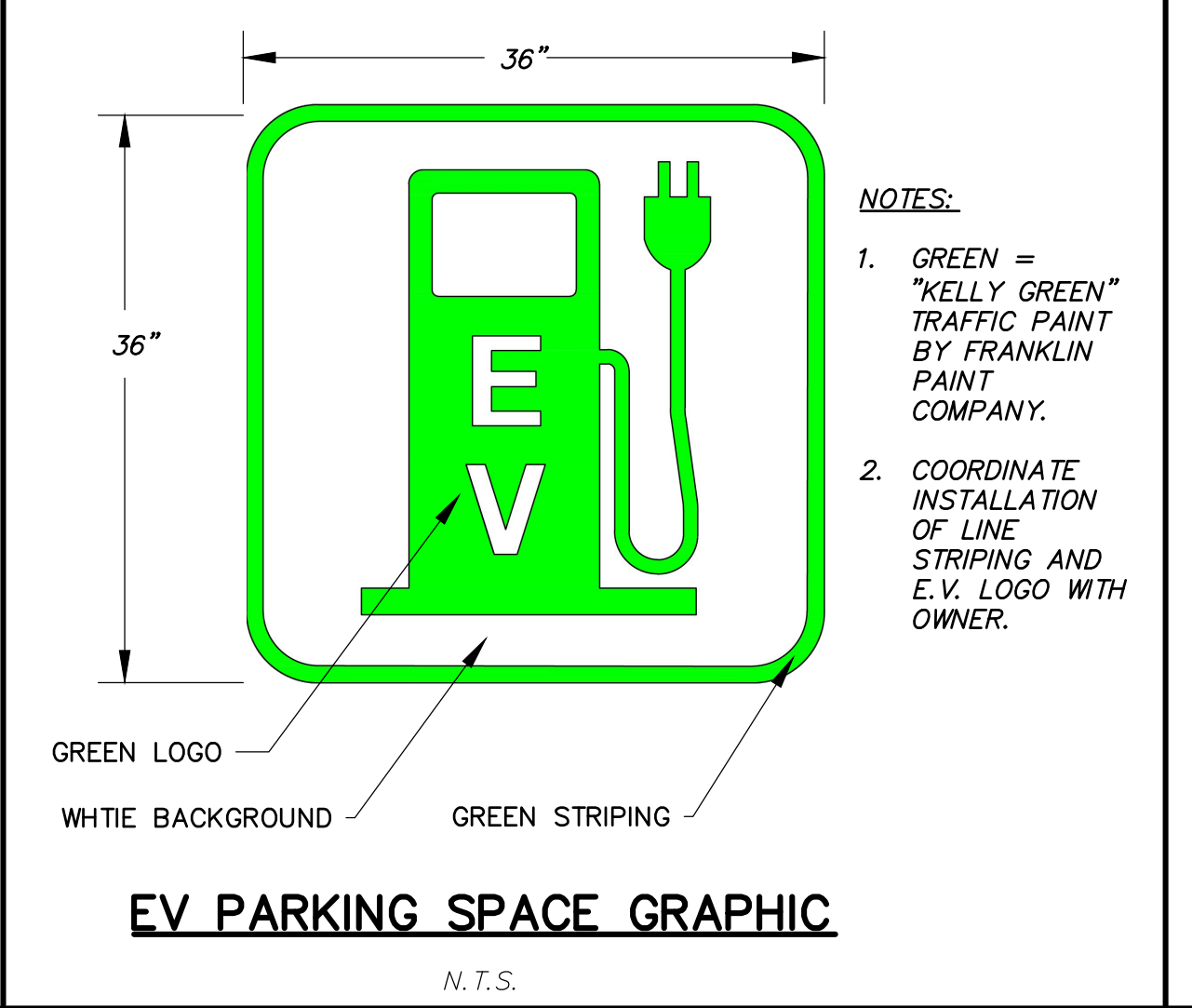
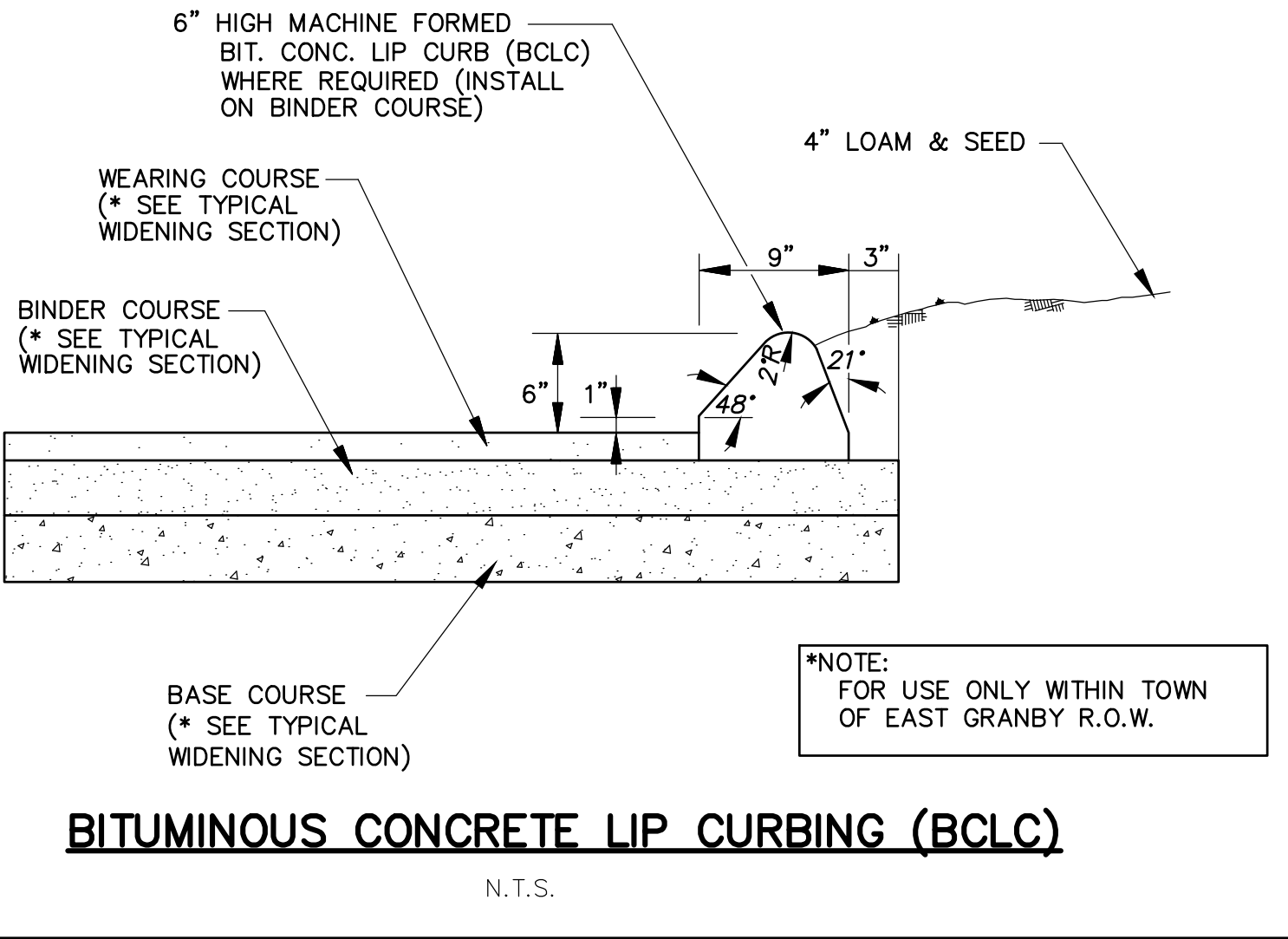
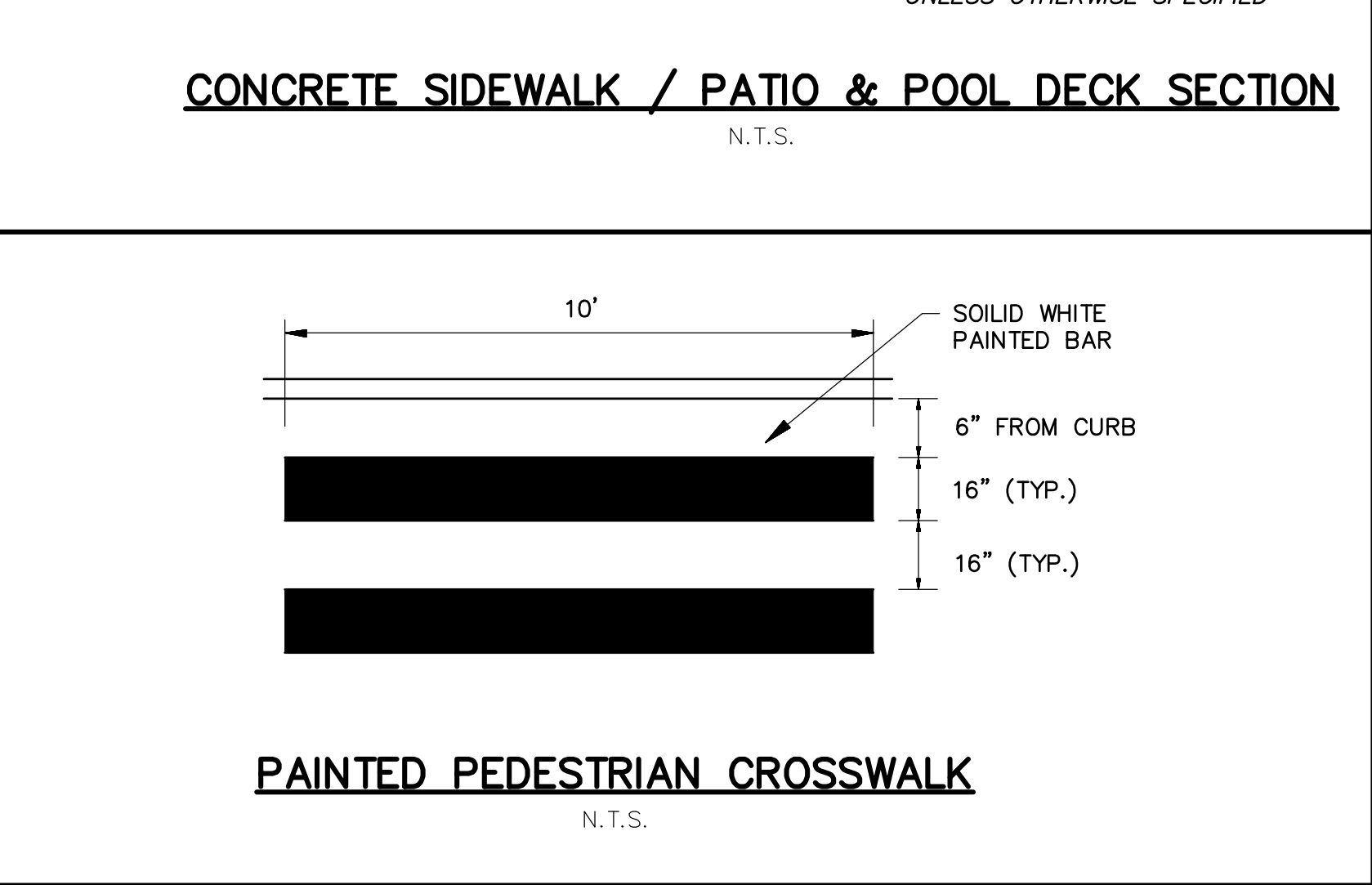
I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk _____



SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

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Revisions:

No.	Date	Description
1.	05-08-2023	Merged Parcel

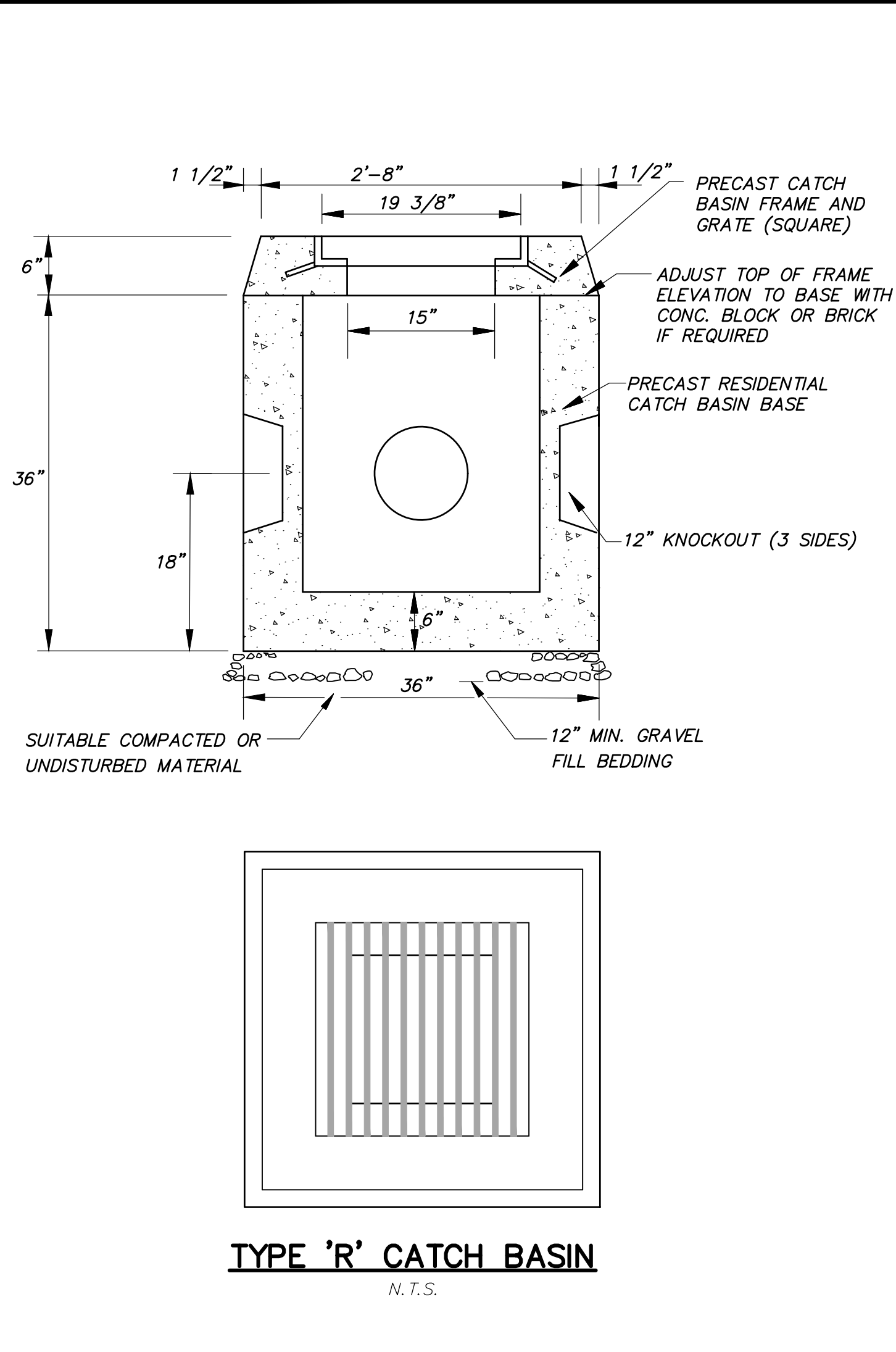
SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

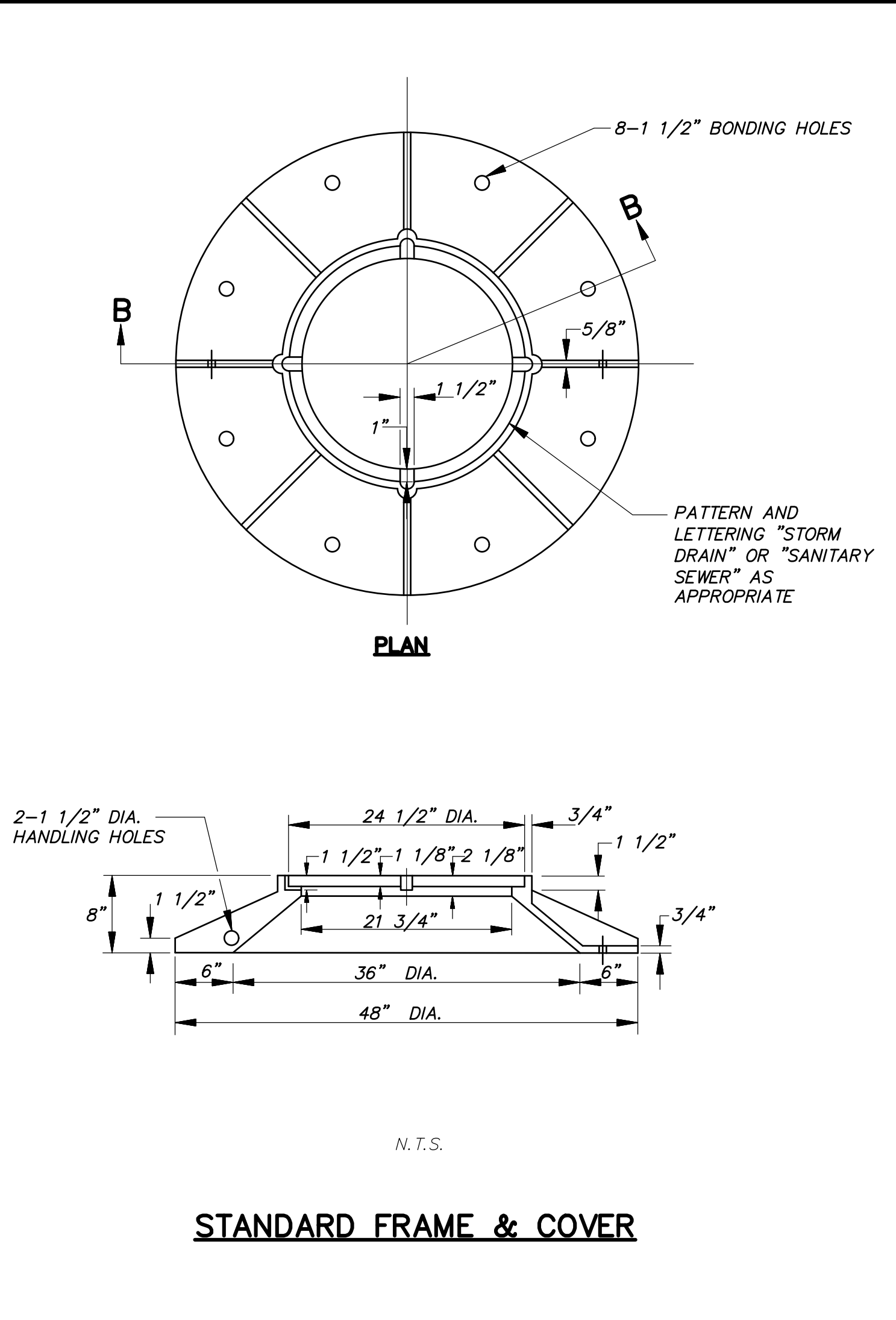
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Scale: AS NOTED Checked by: GAH Sheet no: 2 OF 5
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F.A.H.
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
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www.fahhsketh.com - malfrankhsketh.com
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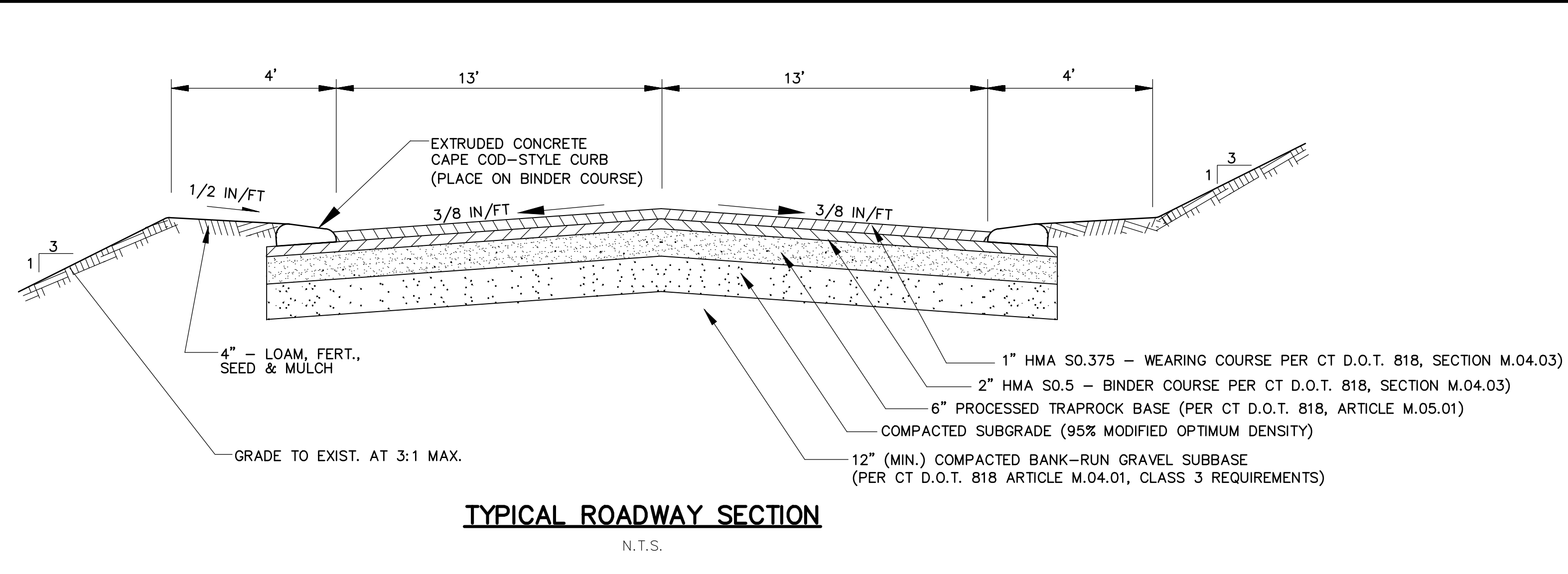
SD-2



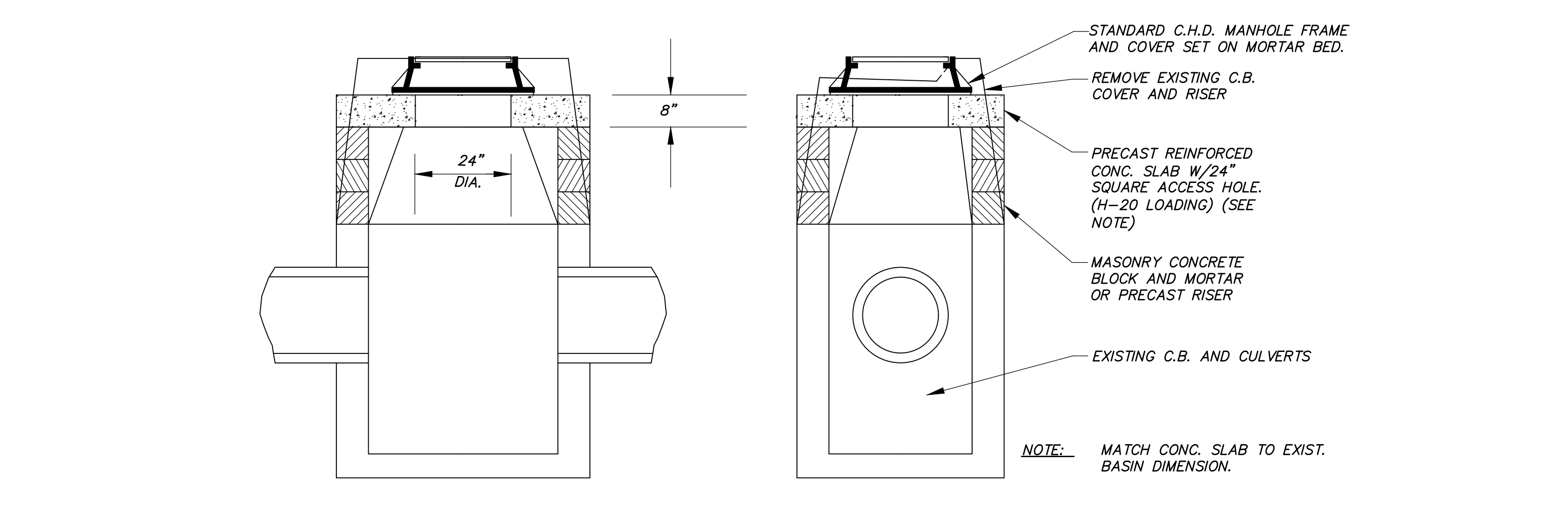
TYPE 'R' CATCH BASIN
N.T.S.



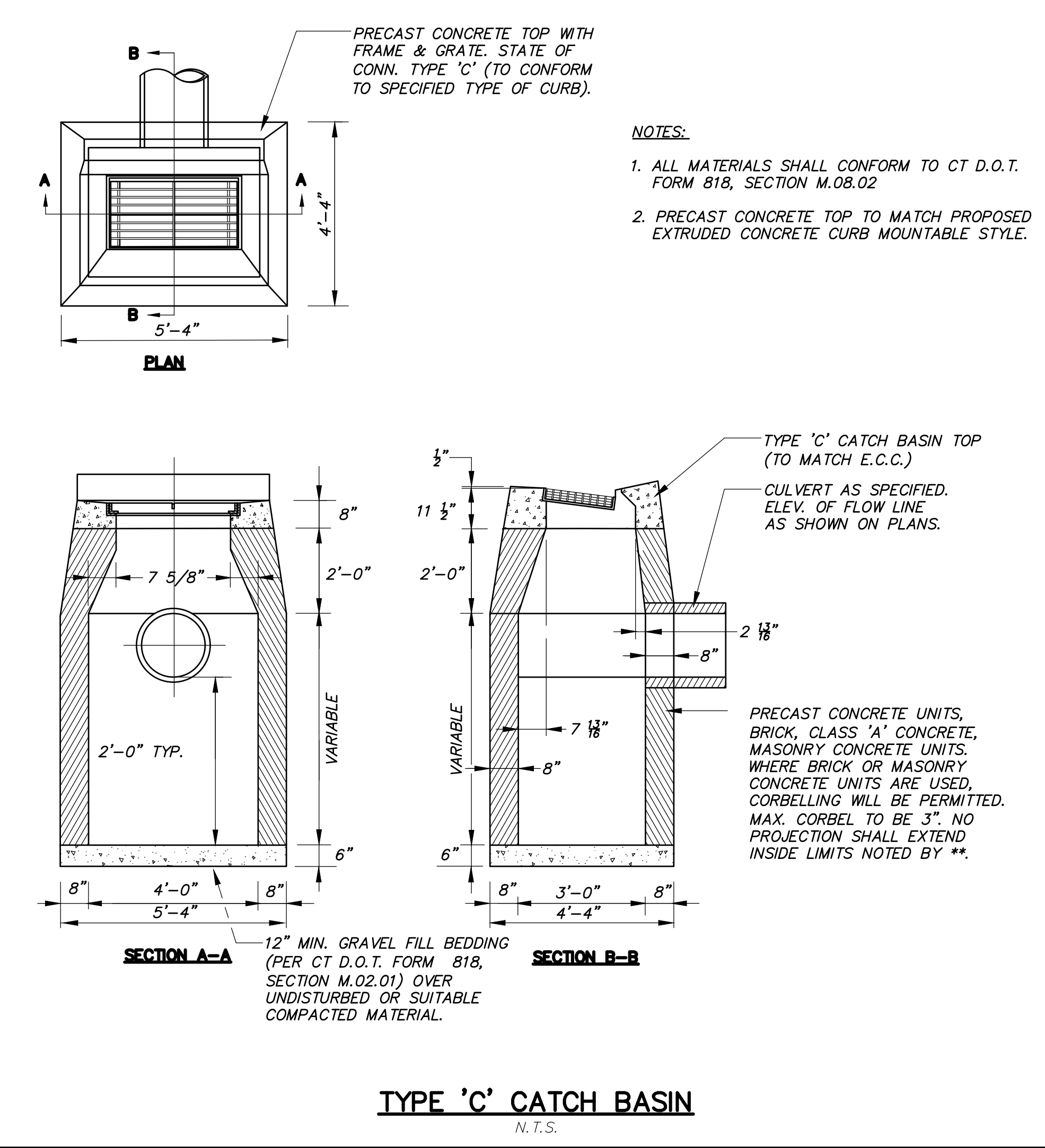
STANDARD FRAME & COVER
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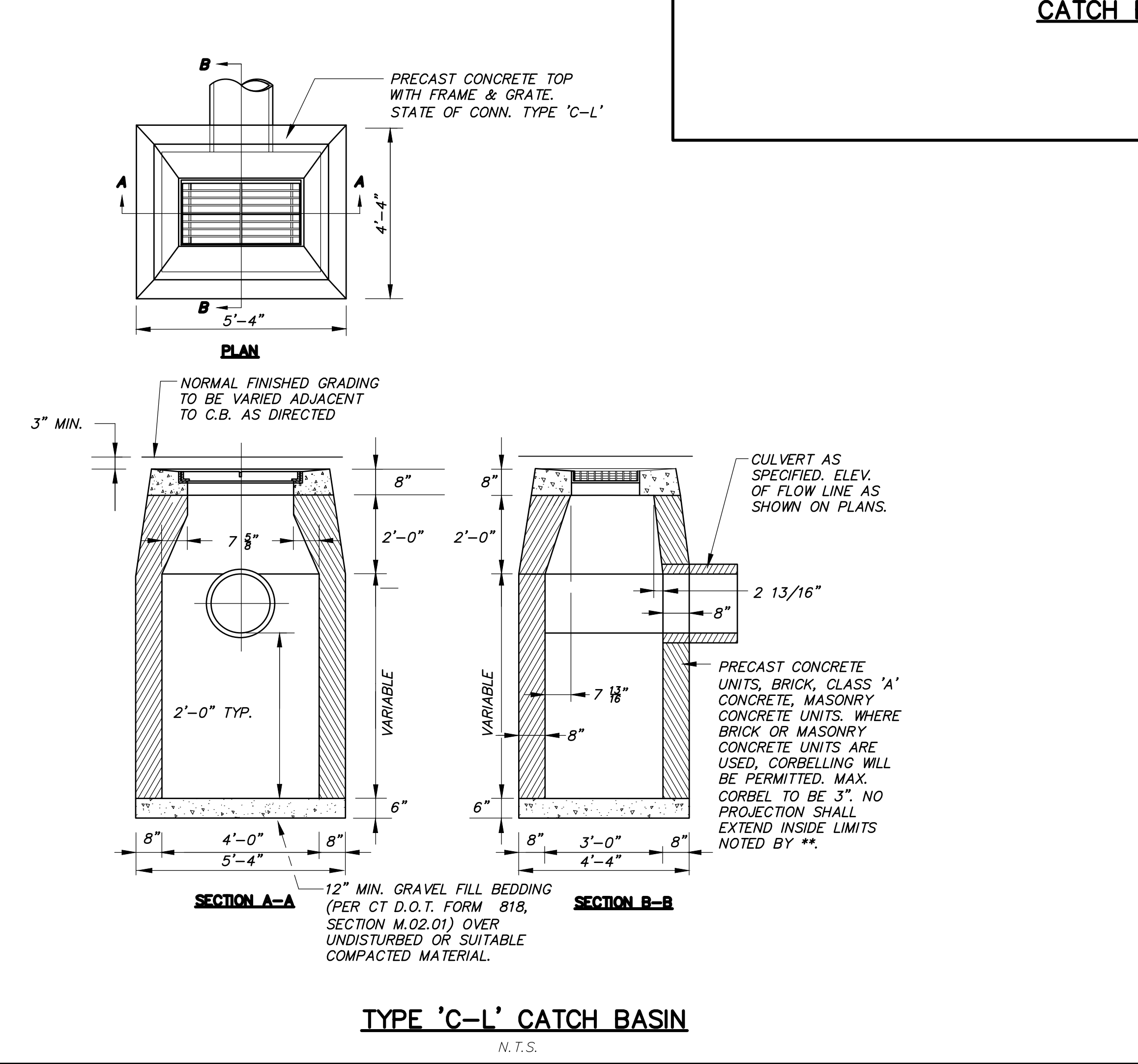
TYPICAL ROADWAY SECTION
N.T.S.



CATCH BASIN TO MANHOLE CONVERSION
N.T.S.



TYPE 'C' CATCH BASIN
N.T.S.



TYPE 'C-L' CATCH BASIN
N.T.S.

PERMIT - WETLANDS REGULATED ACTIVITY

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FAH

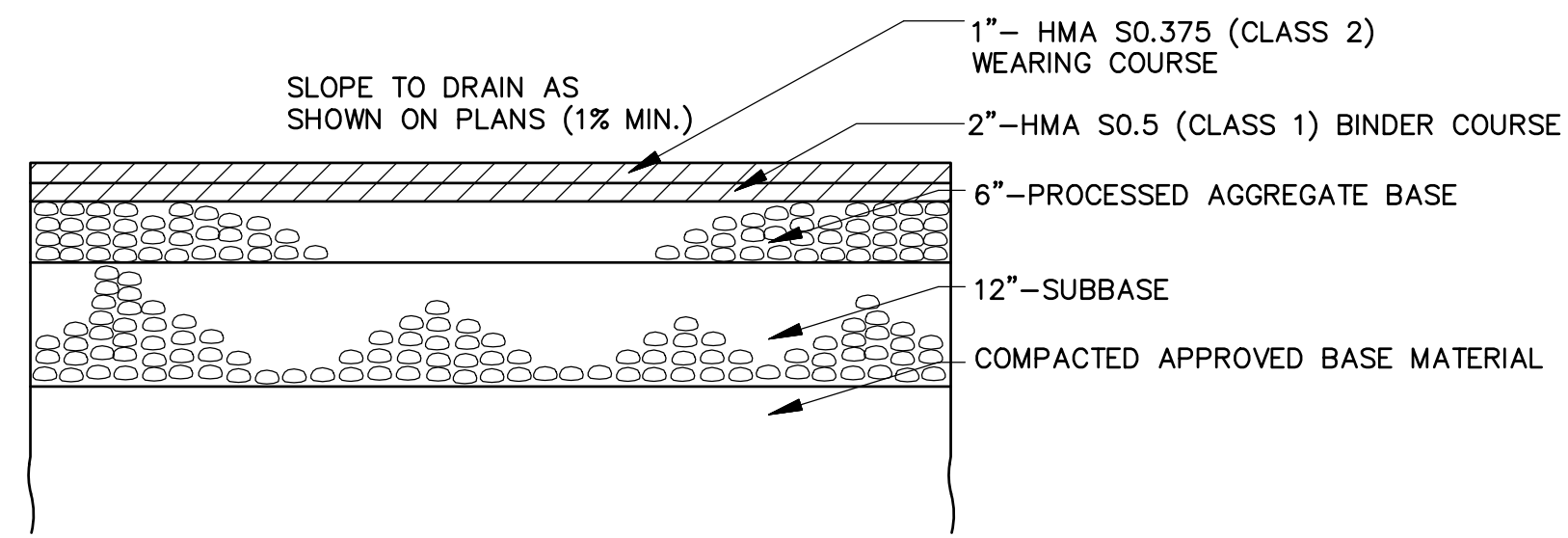
No.	Date	Description
1.	05-08-2023	Merged Parcel

Revisions:

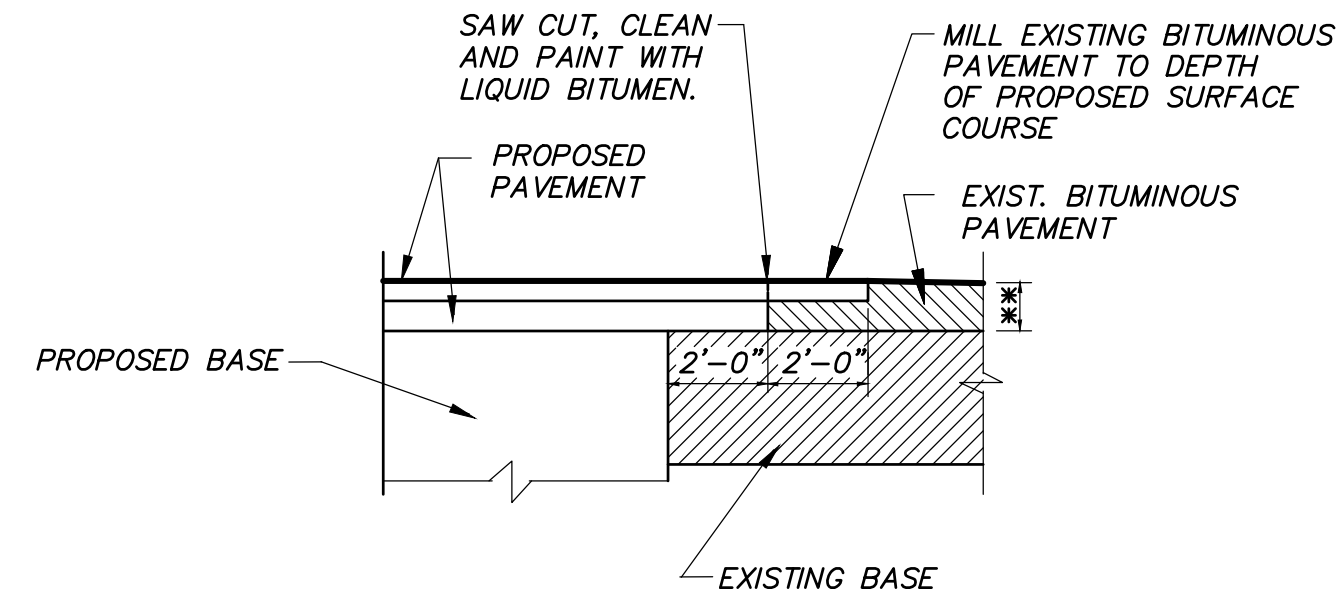
SITE DETAILS

K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 3 OF 5
C:\2022\22082 - Krown Point East Granby\Submittal\2023-05-08\SD-1 2023-05-08.dwg, SD-3, May, 03, 2023 - 4:21:06 PM

SD-3

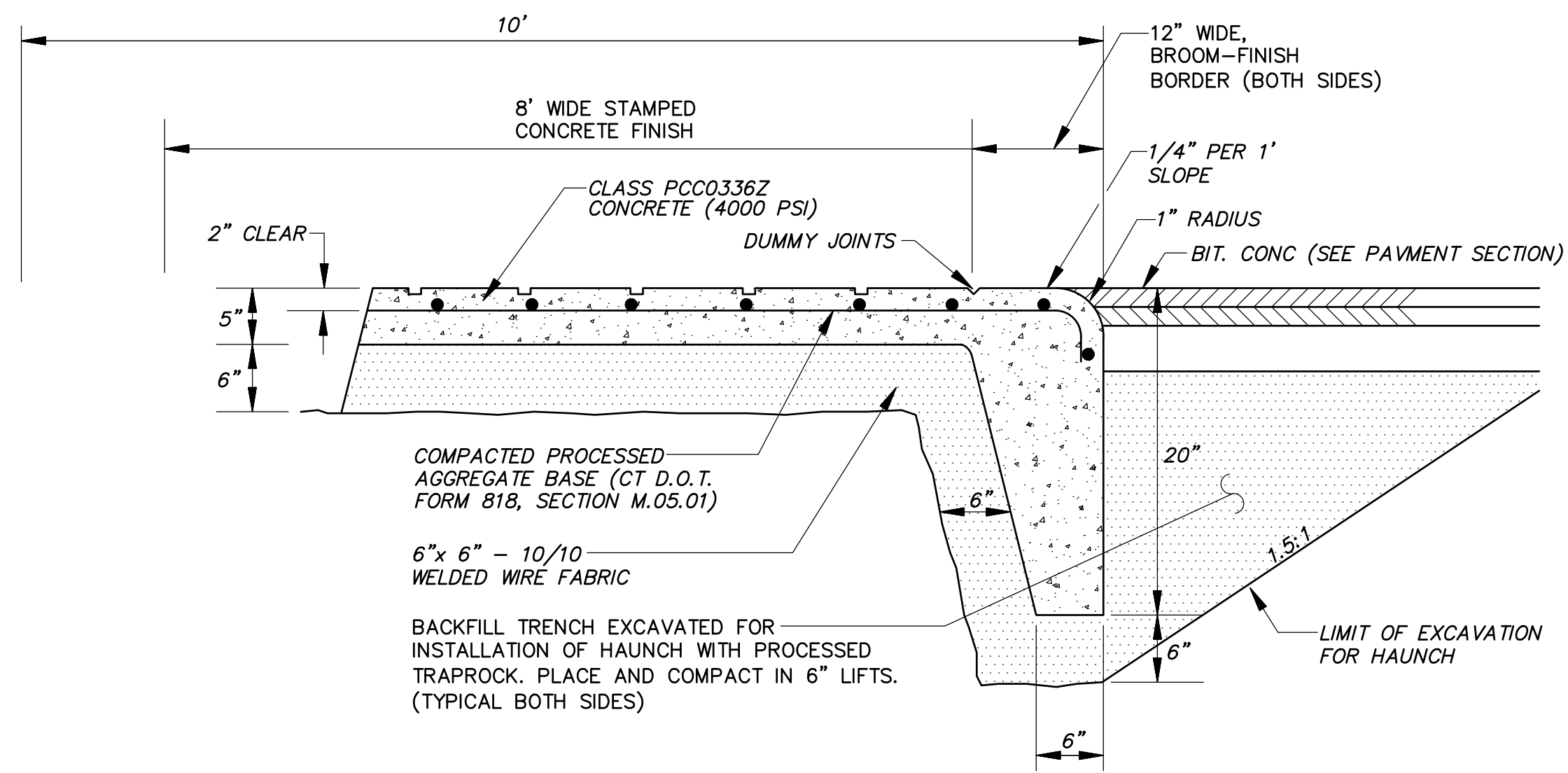


PAVEMENT SECTION
N.T.S.



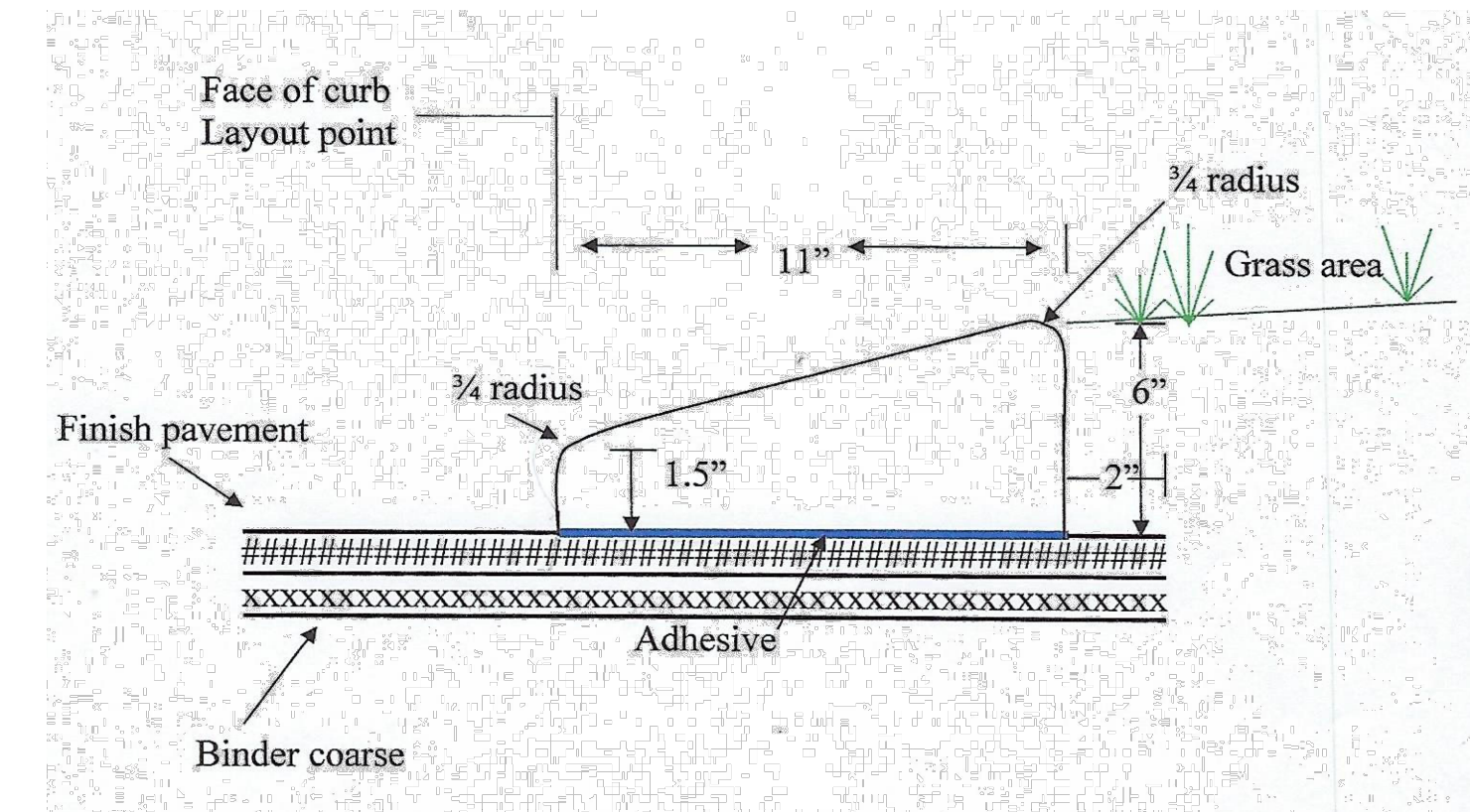
- NOTES:**
- OVERLAP BOTH PROPOSED BITUMINOUS CONCRETE COURSES (CLASS 1 AND CLASS 2) OVER EXISTING SUBBASE.
 - ** MINIMUM THICKNESS TO BE SAME AS PROPOSED BITUMINOUS CONCRETE OR MATCH THICKNESS OF EXISTING PAVEMENT, WHICH EVER IS GREATER.

PAVEMENT MATCH TREATMENT
N.T.S.



- NOTES:**
- PREMOLDED EXPANSION JOINTS AT 20 FT. ON CENTER DUMMY JOINTS AT 5 FT. ON CENTER.

STAMPED CONCRETE DRIVE/WALK
N.T.S.



EXTRUDED CONCRETE CURB MOUNTABLE STYLE (ECC)
N.T.S.

PERMIT - WETLANDS REGULATED ACTIVITY

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Town Clerk

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Revisions:	
No.	Description
1.	05-08-2023 Merged Parcel

SITE DETAILS

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 4 OF 5
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SD-4

WATER STANDARD DETAILS

MDC

THE METROPOLITAN DISTRICT

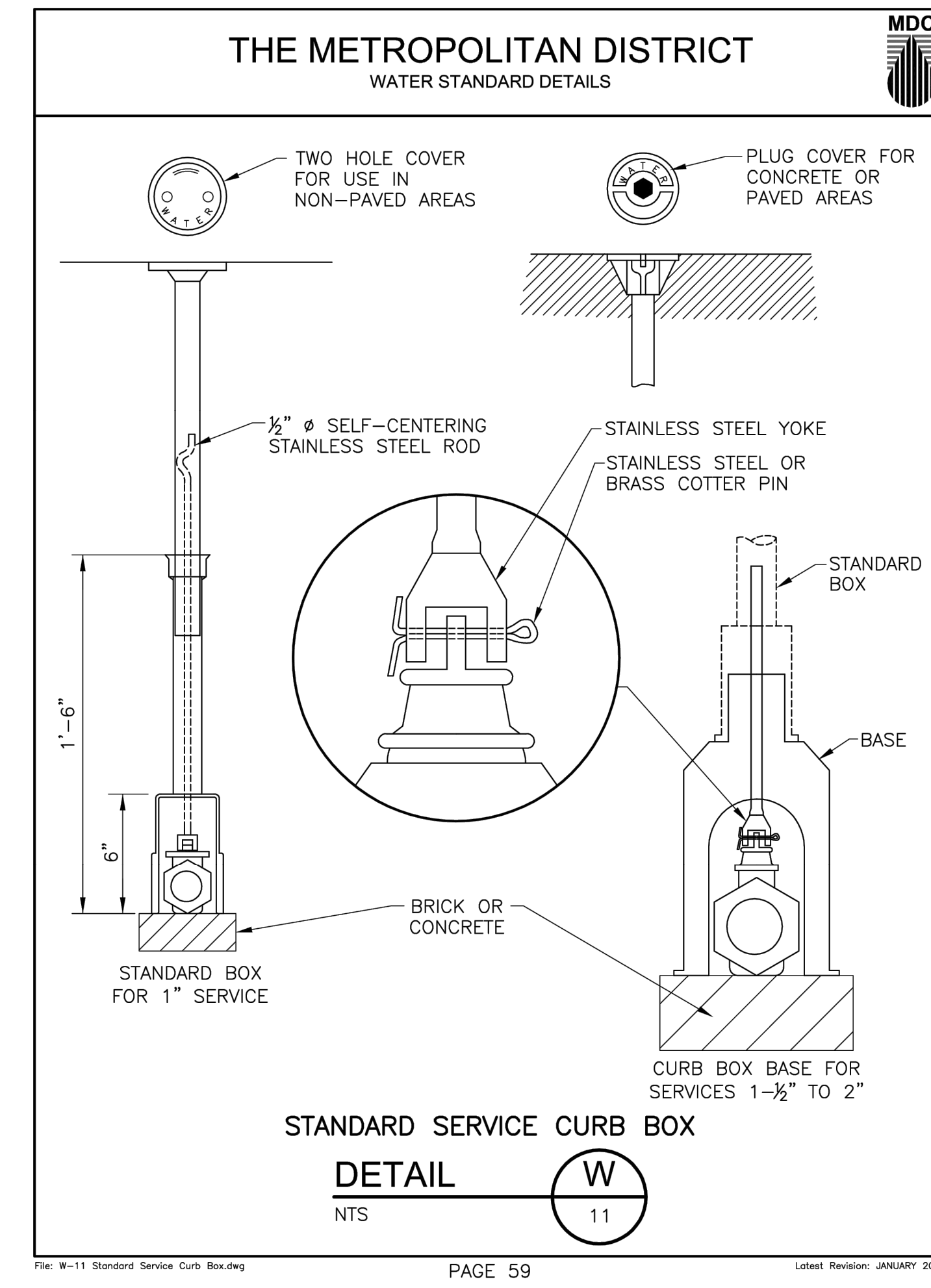
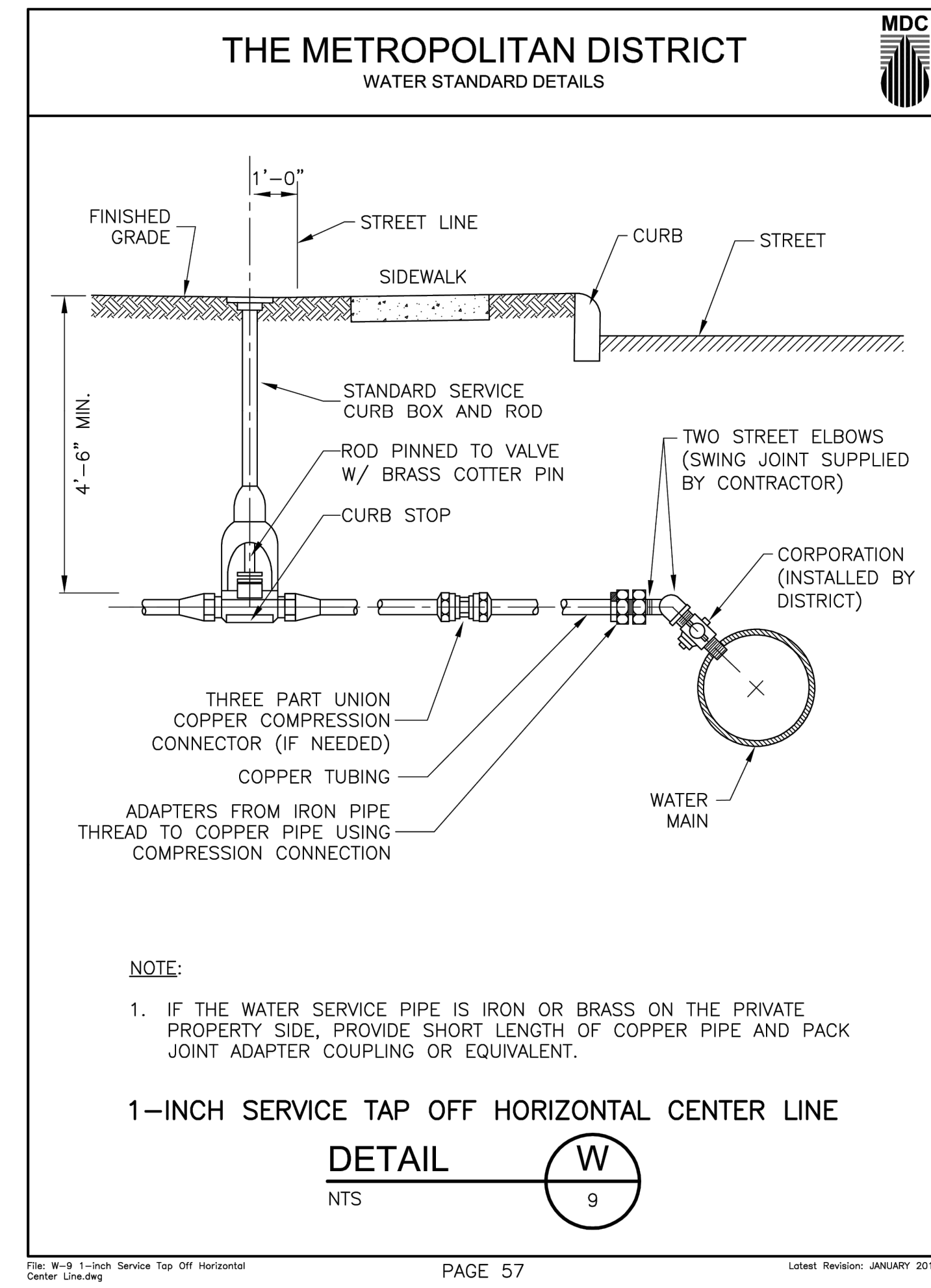
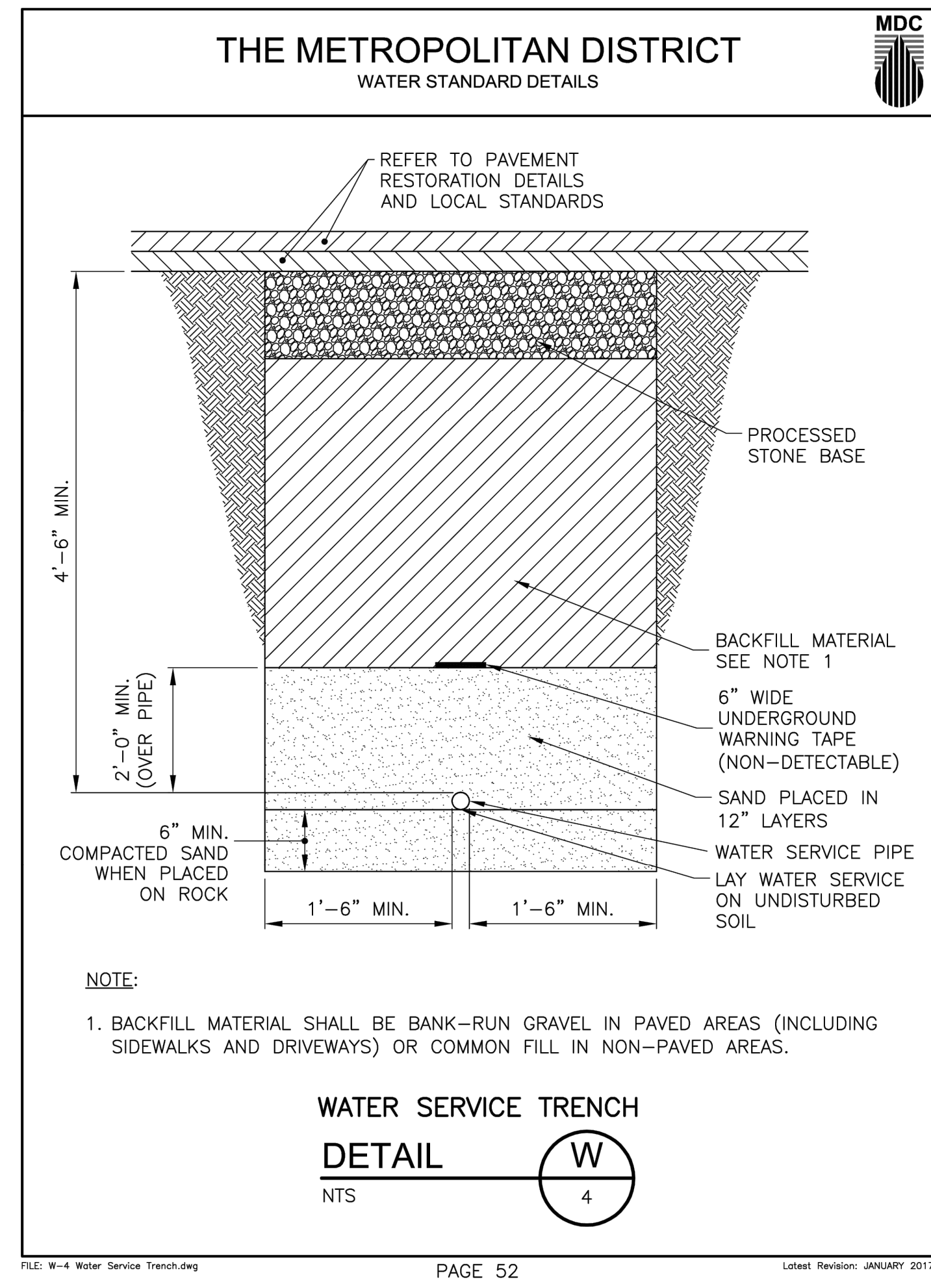
JANUARY 2017

SEWER STANDARD DETAILS

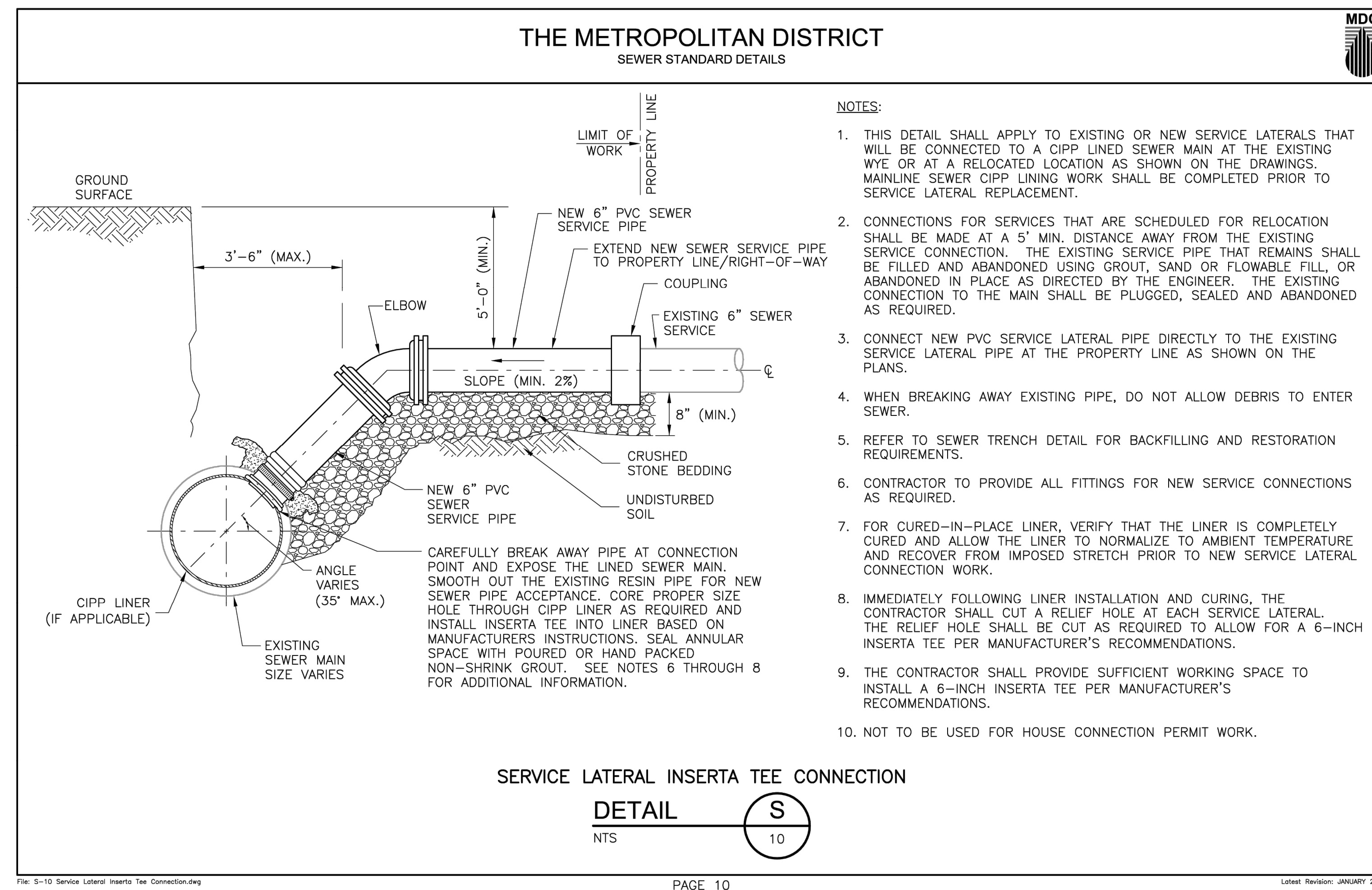
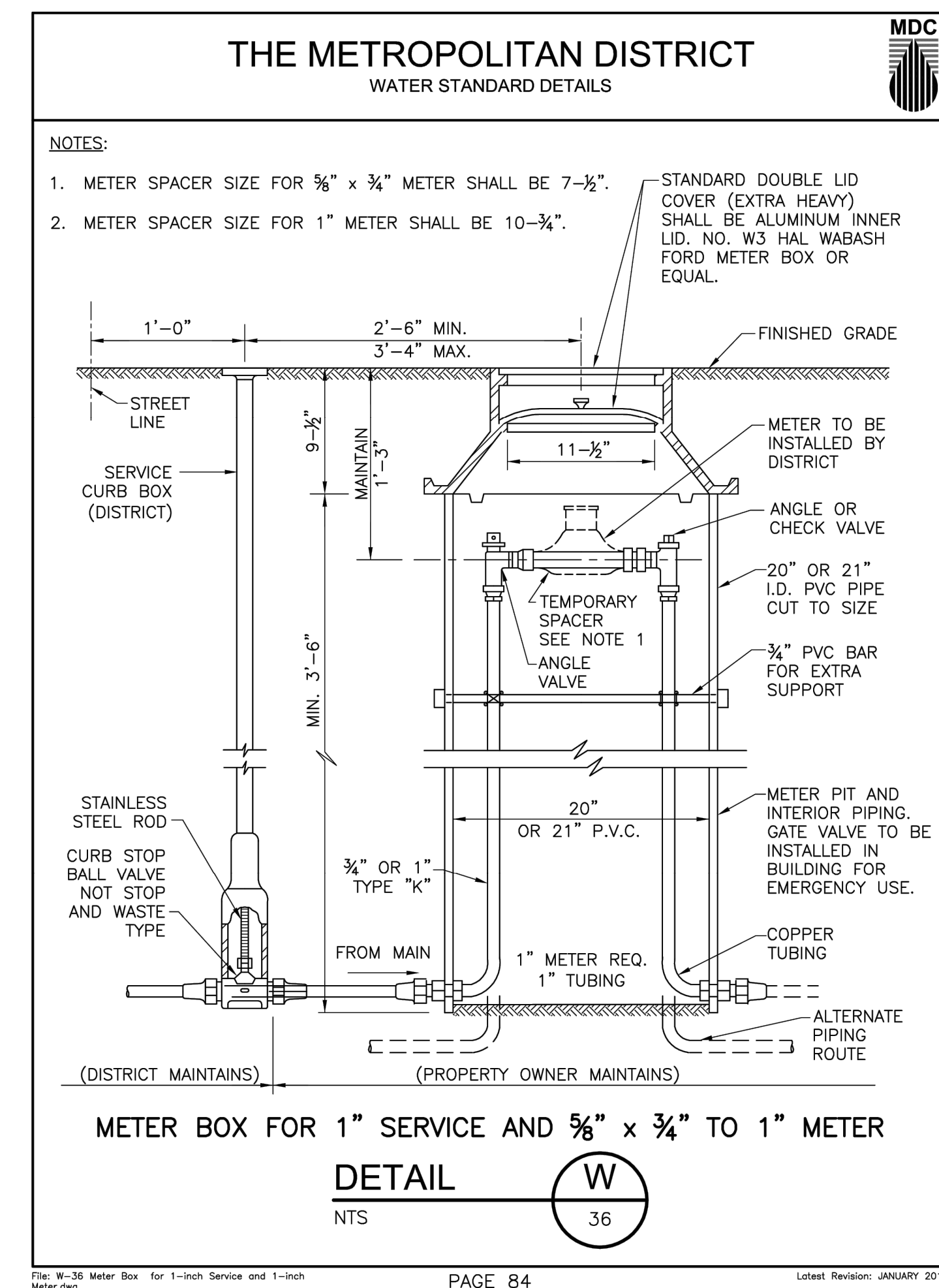
MDC

THE METROPOLITAN DISTRICT

JANUARY 2017



ALL DETAILS IN THE STANDARD DETAILS MANUAL ARE INCORPORATED BY REFERENCE. MOST RECENT REVISION SHALL APPLY.



PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk _____

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

SITE DETAILS

No.	Date	Description
1.	05-08-2023	Merged Parcel

K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT

Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: AS NOTED Checked by: GAH Sheet no: 5 OF 5
Scale: AS NOTED Checked by: GAH Sheet no: 5 OF 5
Scale: AS NOTED Checked by: GAH Sheet no: 5 OF 5

SD-5

F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 644-8600
www.fahsketh.com - malfrisketh.com

FAH

Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

GENERAL NOTES:

- 1. Survey information is taken from a plan entitled "IMPROVEMENT LOCATION PLAN - RECORD" Prepared for KSFR East Granby Owner, LLC, Bramble Bush Circle East Granby, Connecticut, dated 03-24-2023, prepared by F. A. Hesketh & Assoc., Inc., 1"=40'.
- 2. All work and materials to conform to Town of East Granby Public Works Department and Water Pollution Control Authority standard specifications, Connecticut D.O.T. Form 818, the MDC Standards and Specifications, custodial utility company standards and specifications, or the details shown on these plans, as applicable.
- 3. All work on this project shall be completed in conformance with the requirements of the various federal, State, and local permits issued for this project.
- 4. A permit is required from the East Granby Department of Public Works prior to undertaking any work within the town ROW. The Contractor is responsible for applying for and obtaining said permit.
- 5. All work on this project shall be completed in conformance with the requirements of the various zoning and inland wetland permits issued for this project.
- 6. A pre-construction meeting and authorization to proceed will be required prior to start of any construction, including removal of trees or stripping of land. Procedures for such pre-construction meeting and authorization to proceed shall be in accordance with Town and State requirements. The Contractor is responsible for arranging this meeting with Town officials, as applicable.
- 7. Prior to any excavation the contractor shall verify all underground utilities by calling 811, or 1-800-922-4455 at least 48 hours in advance.
- 8. The location of all utilities shown is approximate and is based on available as-built information from utility company records, the property owner, and limited survey data. All existing utilities may not be shown. The Contractor is responsible for determining the exact location of all utilities on the site prior to the start of any construction activity and notifying the design site engineer of any adjustments to the plans which are necessary. Test pits will be required at all proposed utility crossings and connection locations in order to determine underground utility locations and to identify potential conflicts with vertical and horizontal alignments shown on the plans. Test pits shall be completed by the contractor at his expense.
- 9. All utilities to be installed in accordance with governing/custodial utility company applicable requirements. Final location of utility connections is subject to revision by individual utility companies prior to the installation. The Contractor is responsible for coordinating the work with the custodial utility companies.
- 10. Erosion and sedimentation control measures shall be installed and maintained in accordance with the plans, specifications, the Soil Erosion and Sediment Control Plan and notes, and in accordance with any Town and State requirements.
- 11. Trees shall be flagged and approved, prior to removal.
- 12. No stumps, logs, brush, construction debris, or deleterious materials are to be buried on site.
- 13. The Contractor shall maintain the site in a neat and orderly manner throughout the construction period. All debris shall be removed from the site by the Contractor, and properly disposed, off site, in accordance with applicable laws.
- 14. Utility service shall be maintained at all times.
- 15. Drainage shall be maintained throughout the project so as not to cause flooding of roadways or damage to private property.
- 16. All new site utilities are to be installed underground.
- 17. Trees and vegetation identified to be saved shall be protected from construction equipment by suitable means approved by Town staff.
- 18. All exterior lighting shall not be directed onto abutting properties or roadways.
- 19. Removal of trees or other vegetation, or re-grading substantially different from that shown on the approved site plan, will not be permitted without prior authorization by the Town or State, as applicable.
- 20. All construction vehicles, equipment and materials are to enter the site via the construction entrance/exit directly to East Street.
- 21. Any additional revisions to the plans shall be submitted to the Town Engineer and the Town Planner for review and approval prior to the issuance of a building permit.
- 22. An as-built site improvement and grading plan, prepared by a State of CT Registered Land Surveyor, shall be submitted after all of the site work is completed, and approved by Town of East Granby Staff prior to requesting a Certificate of Occupancy.

PROJECT DESCRIPTION:

The proposed development consists of the completion of a partially-constructed housing development that has been sitting vacant for years. It will include construction of 58 duplex units, a clubhouse and outdoor pool area, mail kiosk and maintenance building. The existing utility infrastructure and roadways that were previously constructed will be utilized. The development will have access via a 26-foot-wide driveway to East Street.

Currently, the development is serviced by underground utilities, including, electric, telephone and CATV, water, sanitary sewers, and storm drain systems. This existing infrastructure will be used to serve the proposed development. New natural gas service is proposed to be extended up to and through the site. All site utilities are and will be underground. Minor improvements are proposed to the existing storm drain systems.

Surface drainage is currently collected in conventional storm sewer systems comprised of catch basins, manholes and culverts. Storm drain systems are discharged to one of three on-site water quality basins that promote infiltration and mitigate peak rates of runoff attributed to increase in impervious areas. The reconstruction effort will include making modest improvements to these existing water quality basins and their outlet works, including expansion of volumetric capacity in one basin, and improvements to stormwater outfalls in each basin.

SPECIAL INLAND WETLANDS PROVISIONS:

- 1. Coordinate all work within 100-foot wetlands-regulated area with Town's Wetlands Officer prior to start of work
- 2. Coordinate removal of any trees with Town's Wetlands Officer.
- 3. Install all erosion control devices adjacent to wetlands prior to any earth disturbance.
- 4. Make proposed improvements to water quality basins, including expansion of basins and reconstruction of outfalls prior to mass earthwork.
- 5. Rough grade areas within wetlands-regulated areas and construct vegetated swales to direct runoff away from wetlands and into water quality basins.
- 6. Immediately stabilize all areas to not receive further work by topsoiling, seeding and mulching. Use erosion control blankets on all unstable, disturbed slopes 3:1 and steeper.
- 7. Do NOT stockpile any construction materials, fuels, paints, topsoil, or other earthen materials within 100-foot regulated areas.

EROSION AND SEDIMENT CONTROL NOTES

- 1. Disturbance of soil surfaces is regulated by State Law. All work shall comply with an approved "Soil Erosion and Sediment Control Plan" to prevent or minimize soil erosion.
- 2. The installation and maintenance of erosion control devices is the responsibility of the land owner, developer, and the excavation contractor. Town officials shall be notified in writing of the name, address and telephone number of the individual responsible for this work (including any changes) at the required pre-construction conference.
- 3. The contractor shall use the "Connecticut Guidelines For Soil Erosion And Sediment Control" (2002), as amended as a guide in construction the erosion and sediment controls indicated of the plans. The guidelines may be obtained from the Connecticut DEEP, 79 Elm Street, Hartford, CT, 06106-5127.
- 4. The project will require registration for a General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities. The Contractor shall follow the requirements of the General Permit and those of a site-specific Stormwater Pollution Prevention Plan that will be generated prior to registration.
- 5. The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
- 6. The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
- 7. The contractor is responsible for the timely installation, inspection, repair or replacement of erosion control devices to insure proper operation.
- 8. The contractor shall notify the design engineer of unsatisfactory erosion conditions not controlled by the Soil Erosion and Sediment Control Plan and shall install additional measures as required.
- 9. All disturbed areas not covered by buildings, pavement, mulch or ground cover plantings shall be planted with grass.
- 10. Accumulated sediment removed from erosion control devices is to be spread and stabilized in level, erosion resistant locations as general fill.
- 11. Special attention shall be given to the construction sequence outlined on Grading and Erosion Control Plan.
- 12. The developer shall be responsible for cleaning any construction debris or sediment from existing roads as ordered by the Town and/or State, if any debris or sediment from construction activities enter onto these roadways.
- 13. Limit work within wetland areas to the least disturbance necessary for construction. Restore disturbed areas as closely as possible to their original natural state.
- 14. Additional dust control measures as specified in D.O.T. 818 Section 9.39, Section 9.42 and Section 9.43 shall be furnished by the contractor as site conditions warrant or as directed by Town or State officials.
- 15. The contractor is responsible for cleaning and removal of sediment and/or debris from the storm drainage system throughout the duration of the project (i.e. silt sacks, sumps, etc.)
- 16. A pre-construction meeting is recommended with the Town of East Granby Staff and/or Consultant(s) prior to the start of construction to inspect E & S control measures and to discuss construction sequencing/phasing.
- 17. The Owner/Developer shall add erosion and sedimentation control measures as deemed necessary by the Town of East Granby staff and/or Consultant(s) throughout the construction process.
- 18. The construction activities will require registration with the Connecticut Department of Energy and Environmental Protection (CT DEEP) for the General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities. Construction activities shall be in compliance with the General Permit and required Stormwater Pollution Control Plan.

EROSION CONTROL DEVICES:

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

SFEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBECC and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface points where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

GRSW - GRASSED SWALE: a shaped shallow earth drainage way used to convey excess surface runoff. Grass vegetation should be well established before use. Stabilization with netting or mulch may be required.

IP - INLET PROTECTION: a sediment control device used during construction that mounts under the grate of a catch basin, residing inside the structure. It is made of permeable geotextile that allows water to pass, but traps silt and sediment. (Silt Sack or approved equal.) The silt sack must be removed when silt/sediment reaches one half the height of the device. Remove sediments and deposit on stable area of site and rinse device for reuse. Replace when damaged.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments upgradient and within the device.

RRPP - RIP RAP PLUNGE POOL: A riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream. RRPP is designed per the "Connecticut Department of Transportation, Drainage Manual - 2000"

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable/photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

CONSTRUCTION SEQUENCE/PHASING:

In general, the overall project will follow the sequence below:

- 1. Contact "call before you dig" at 811 or 1-800-922-4455 at least 48 hours prior to the start of construction to have existing utilities marked.
- 2. Attend a pre-construction meeting with the Owner, Project Engineer and Town of East Granby representatives.
- 3. Place sediment fence and sediment logs as shown on the Grading and Soil Erosion & Sediment Control Plan to establish perimeter controls, prior to the start of any excavation.
- 4. Remove section of pavement and install construction entrance/exit East Street.
- 5. Stake clearing limits and complete site clearing. Coordinate activities with the Owner and Town's Wetlands Officer.
- 6. Replace flared end sections for outlet pipes from Water Quality (WQ) Basin #2 and WQ Basin #3. Replace outlet pipe and flared-end sections of WQ Basin #1. Stabilize outfalls with rip rap erosion controls.
- 7. Strip topsoil in area for construction of Expansion of WQ Basin #1, WQ Basin #2, WQ Basin #3 and the vegetated swales along the western and northern parcel boundaries. Stockpile and stabilize topsoil pile with perimeter silt fencing.
- 8. Rough grade for re-shaping of water quality basins and vegetative swales along the western and northern parcel boundaries.
- 9. Replace 30-inch flared end section of inlet to WQ Basin #1 and 24-inch flared end section of WQ Basin #2. Stabilize outfalls with rip rap erosion controls. Install temporary stone check dam in WQ Basin #1.
- 10. Install CB #2, 48 LF of pipe and RCFES #4 to outfall into WQ Basin #1. Stabilize outfall with rip rap erosion controls.
- 11. Construct vegetated swales along western and northern perimeters of disturbed areas to direct site runoff to the water quality basins. Stabilize the swales with topsoil, seed and mulch. Install Erosion Control Blanket in bottom of swales and lower side-slopes of swales, where indicated.
- 12. Install CB #6 and RCFES #7. Construct rip rap erosion controls at outlet of RCFES #7. Topsoil, seed, and mulch all disturbed areas to establish stabilized vegetative growth.
- 13. Install inlet protection in drainage inlets of existing catch basin and yard drain inlet structures.
- 14. Strip topsoil in balance of site except in a area where natural vegetation is to remain. Stockpile and stabilize topsoil stockpiles with perimeter silt fencing and temporary seeding. Remove excess topsoil from site.
- 15. Rough grade/fill balance of site. Finish grade all cut and fill slopes, topsoil, seed and install erosion control fabric.
- 16. Install balance of new on-site storm drainage systems. Install inlet protection in drainage inlets of new structures.
- 17. Construct building foundations and start building construction.
- 18. Perform full-depth reclamation of roadway and bituminous curbing, reshape roadway and compact millings to form processed aggregate base course.
- 19. Install site utilities, including gas service and new utility lateral services.
- 20. Box out paved parking areas and drives and construct pavement base courses.
- 21. Install concrete pads, sidewalks and ramps.
- 22. Construct pavement binder course.
- 23. Install extruded concrete curbing.
- 24. Place topsoil and establish lawns and install landscaping for balance of project.
- 25. Install pavement wearing course and apply pavement markings and install signs.
- 26. Remove erosion controls after disturbed areas are landscaped and mulched or new lawn areas are stabilized. Complete final cleaning of storm sewer system.
- 27. The approximate date for start of construction is summer 2023. The estimated completion date is fall of 2025.

SCHEDULE AND DESCRIPTION OF RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM:

- 1. Maintenance of the on-site storm water system is the responsibility of the property owner. This includes all catch basins, manholes, system piping, and water quality basins.
- 2. In general, good housekeeping practices shall be incorporated into the routine site and facility maintenance plan to minimize deposition of sediment, litter and contaminants into the storm drainage system.
- 3. Maintenance records documenting system inspection and cleaning operations shall be maintained by the property owner and shall be made available for inspection by the Town as requested.

The following schedule of maintenance shall be followed:

Annually (in late spring):

- A. Visually inspect all drainage structures. Structures consist of catch basins, manholes, water quality basin outlet structures, and flared-end sections outfalls. Note any deficiencies and make repairs.
- B. Clean the catch basins, outlet structures, manholes and piping of any accumulation of sediment and/or debris.

- B.1. All cleaning and removal of sediment and debris to be performed by a licensed contractor.
- B.2. Cleaning to be done with a vacuum truck so that direct access into the drainage structures is not required.
- B.3. All material removed shall be disposed according to the requirements of the State of Connecticut and local regulations. If any repair work is required for the stormwater management system, the work involved shall be conducted according to Federal, State and Local Regulations.

Inspect water quality basins for:

- C.1. Deposition of sediments in rip rap plunge pools.
- C.2. Erosion at outlets structures.
- C.3. Condition of flared end sections.
- C.4. Trash and debris in basin.
- C.5. Repair/correct condition, as warranted

Semi-annually (late spring, after winter sanding operations and mid fall, after leaf litter):

- A. Sweep or vacuum all paved roadways and parking areas to remove accumulated sediments and leaf litter. Dispose of materials at licensed facility.

Monthly:

- A. Remove litter and other debris from the site and water quality basins.

B. During the growing season:

- B.1. Cut/trim vegetation in the vegetated swales and remove any accumulated debris to maintain the flow capacity of the swales.
- B.2. Cut/trim vegetation in the water quality basins to prevent growth of woody vegetation.

As needed:

- A. Maintain lawn areas by cutting with mulching blades or collecting trimmings and disposing off site.
- B. DO NOT dispose of lawn cuttings or landscape trimming on site. Dispose off site.
- C. Stabilize or repair any landscaped areas on the site.
- D. Clean up any spills or material deposits immediately as required according to the requirements of the State of Connecticut and local regulations.

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this Permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____ Town Clerk

No.	Date	Description
1.	05-08-2023	Merged Parcel

NOTES
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: N.T.S. Checked by: GAH Sheet no: 1 OF 1
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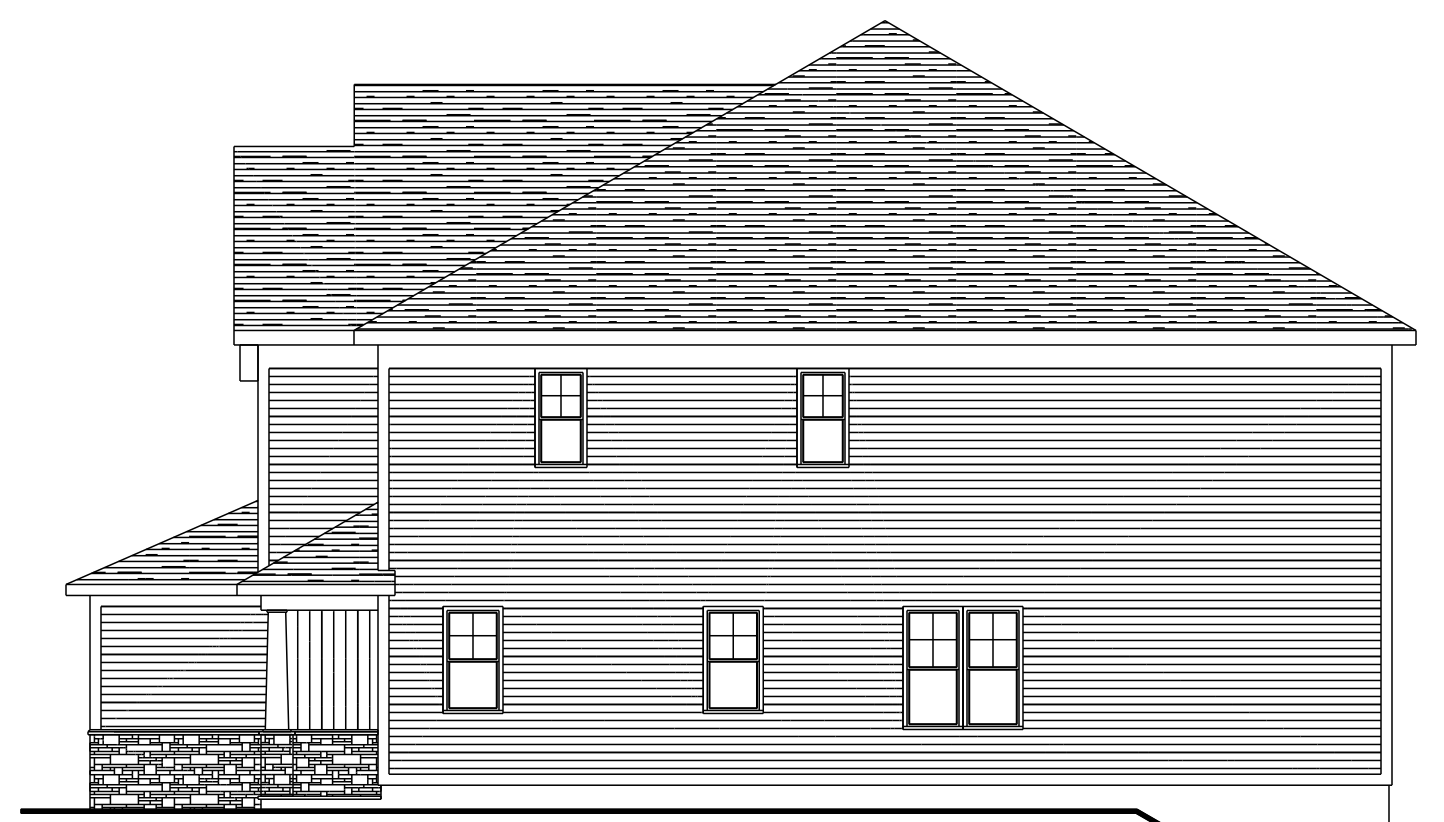
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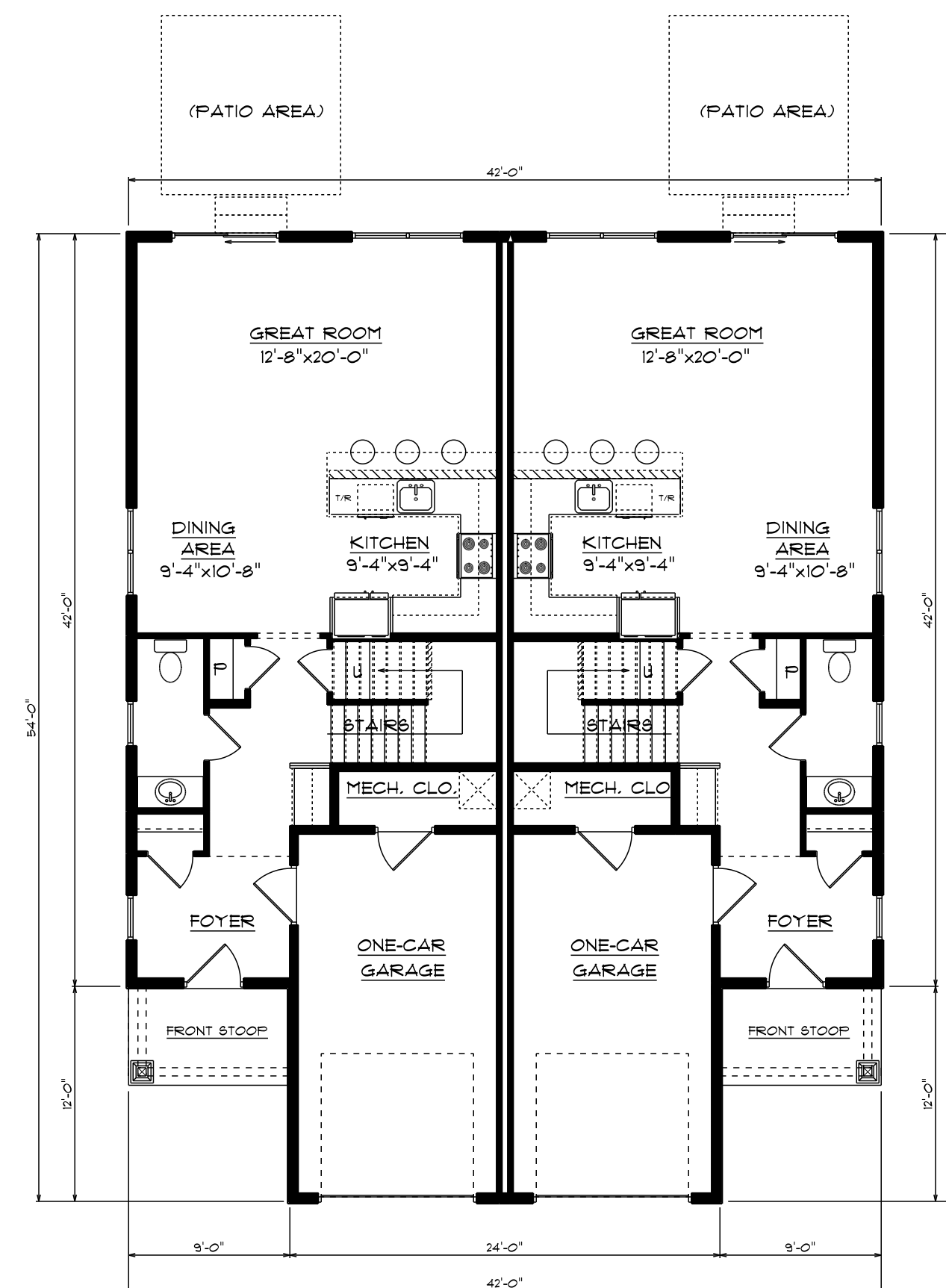
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www.fahhsketh.com • maf@fahhsketh.com
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects



Front Elevation



Side Elevation

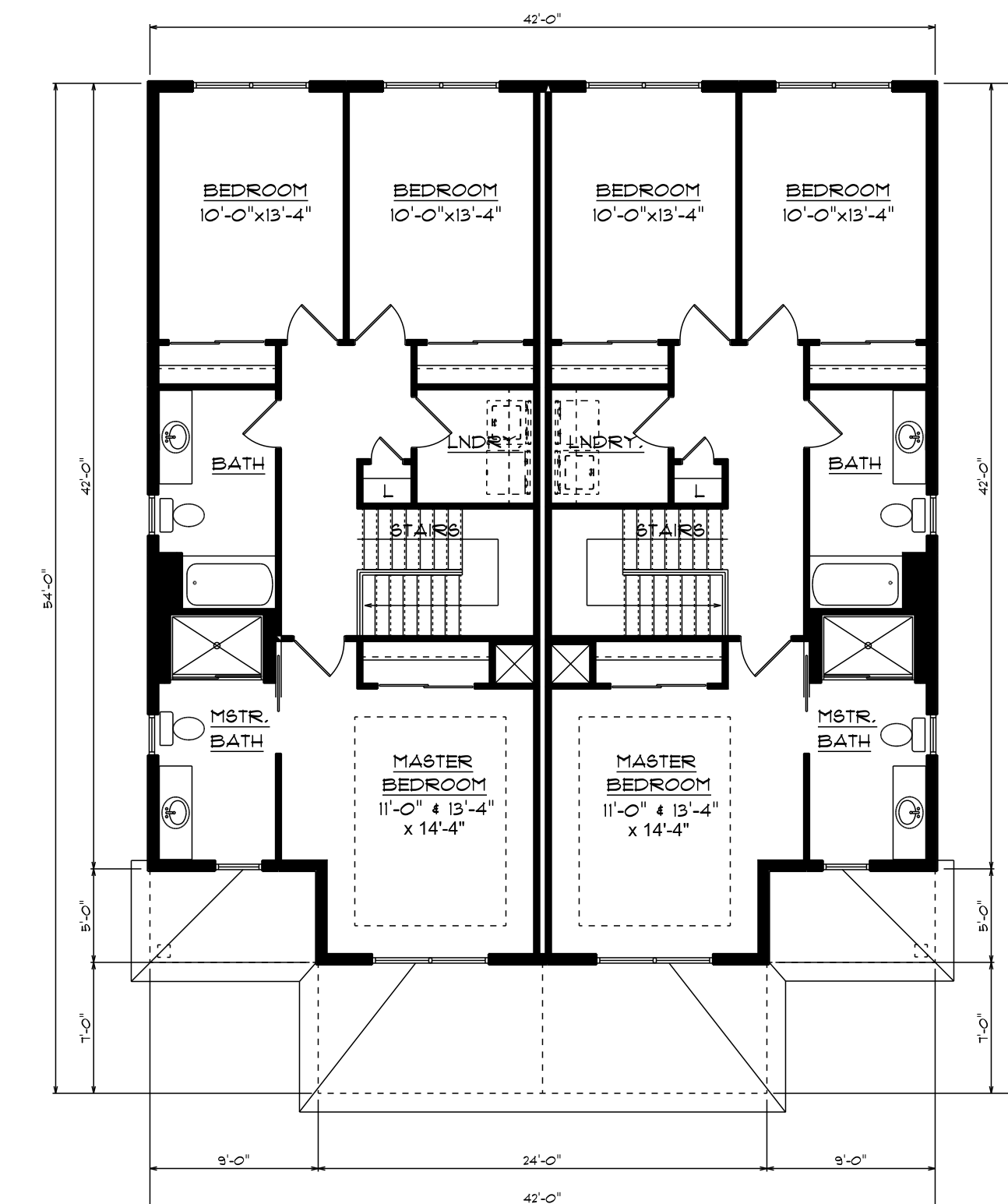


First Floor

First Floor

LEFT SIDE UNIT
 1st Floor Area: 738 Square Feet
 2nd Floor Area: 942 Square Feet
 Total Floor Area: 1,680 Square Feet

RIGHT SIDE UNIT
 1st Floor Area: 738 Square Feet
 2nd Floor Area: 942 Square Feet
 Total Floor Area: 1,680 Square Feet



Second Floor

Second Floor

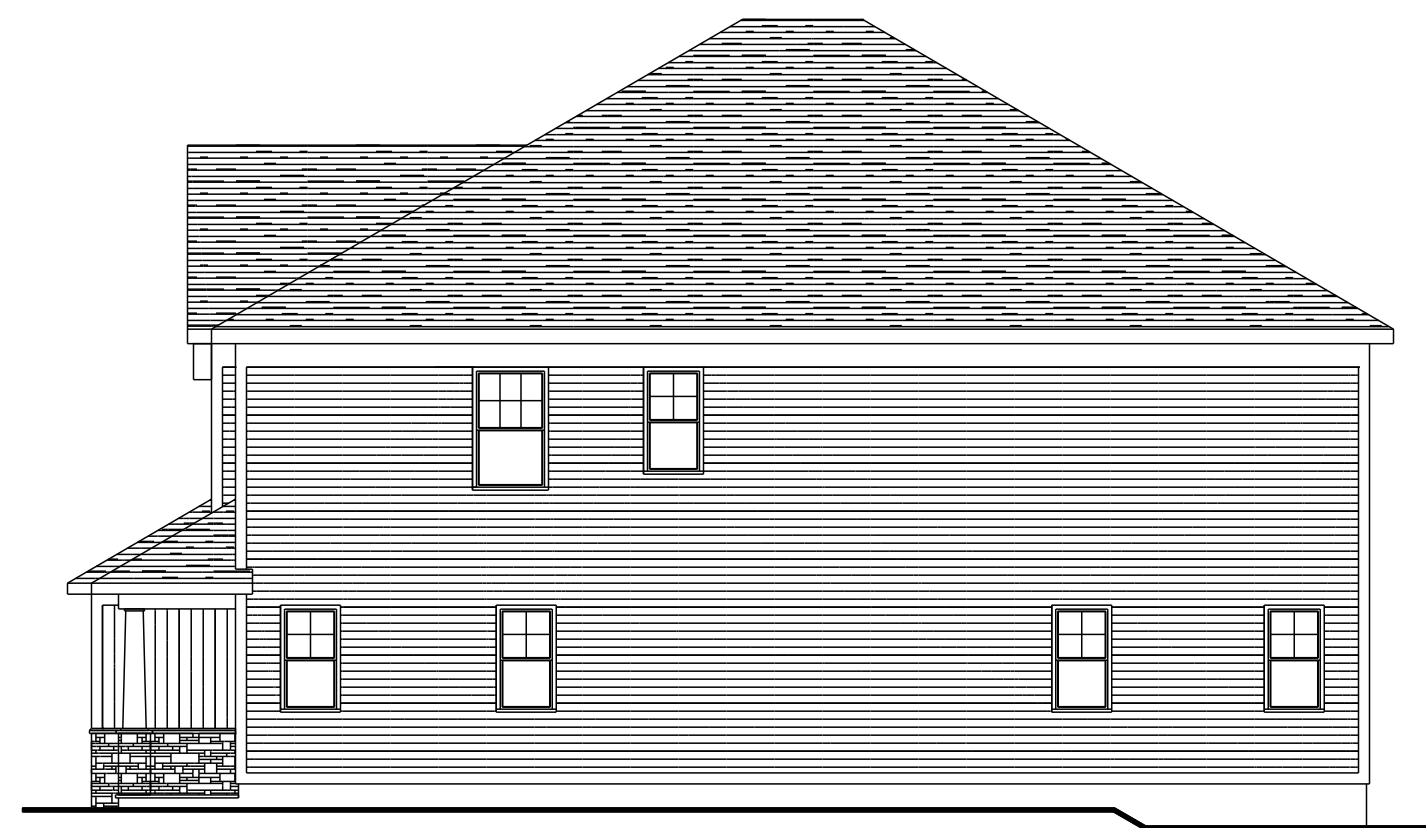
LEFT SIDE UNIT
 2nd Floor Area: 942 Square Feet

RIGHT SIDE UNIT
 2nd Floor Area: 942 Square Feet

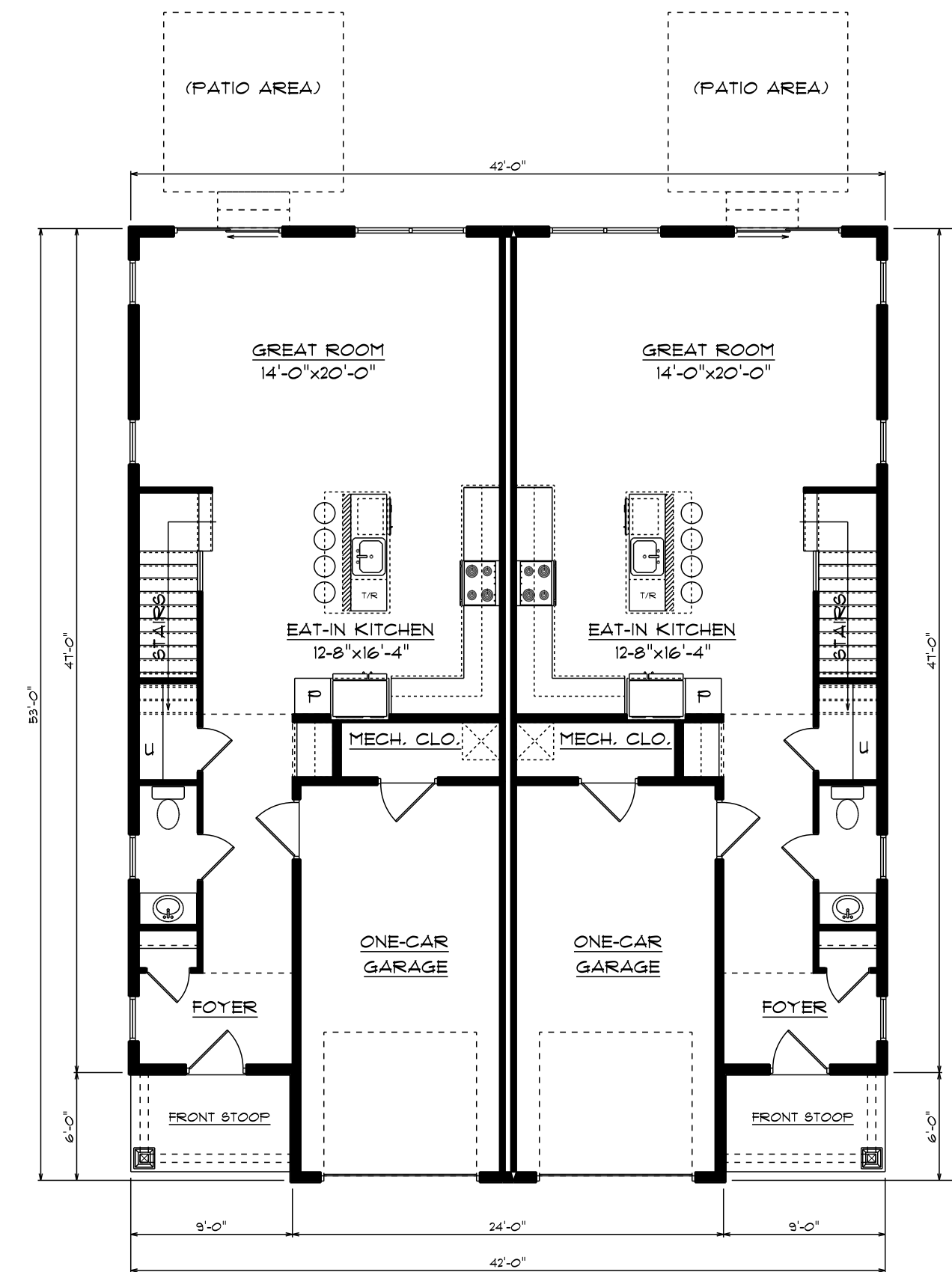
OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: BRAMBLE BUSH CIRCLE EAST GRANBY, CT	
DATE: May 05, 2023	SCALE: 1/8" = 1'-0"
PLAN: 1,680 S.F. - 3BR DUPLEX	
DRAWING NAME: FLOOR PLANS & ELEVS.	DRAWING NUMBER: A-101



Front Elevation



Side Elevation

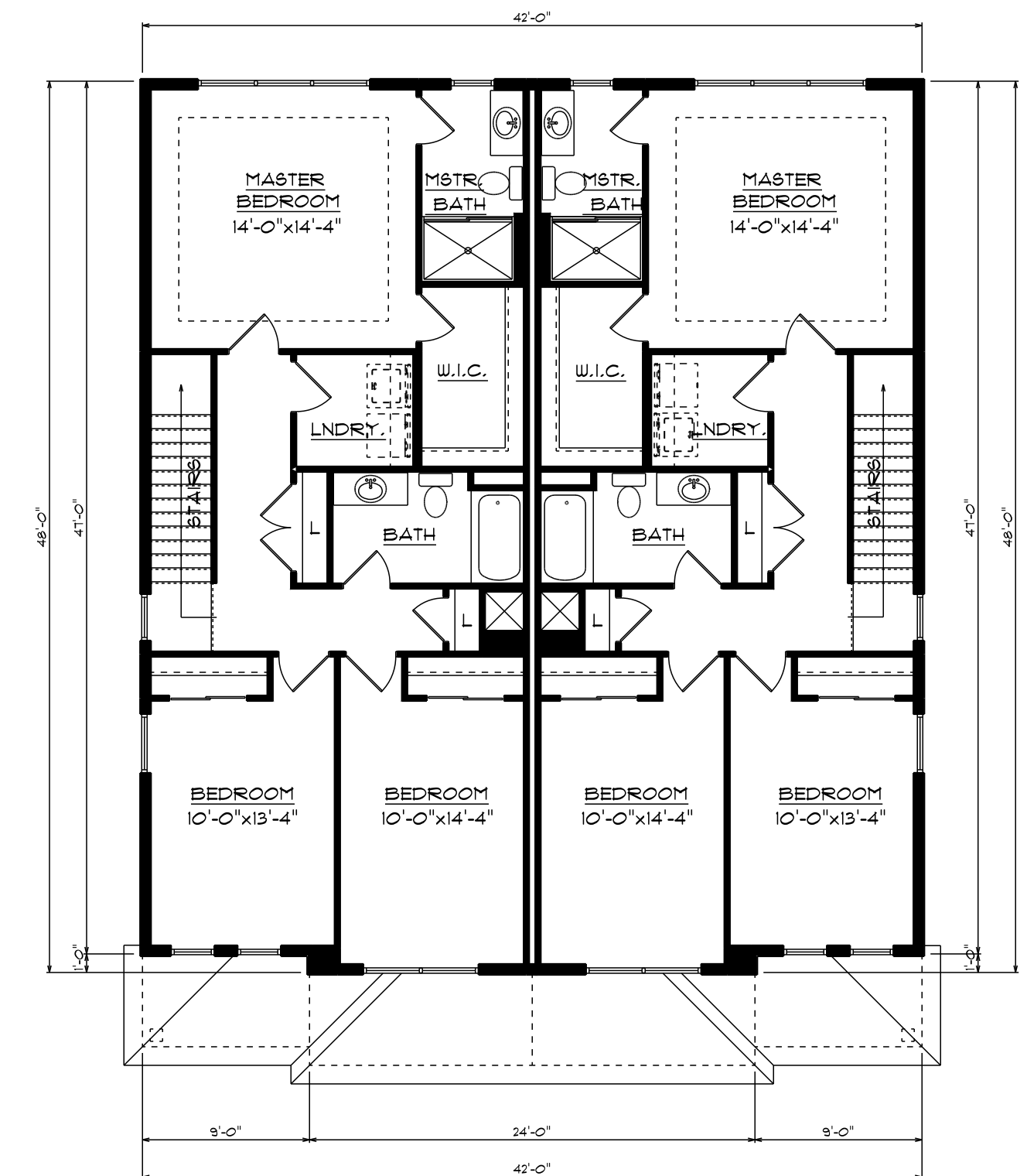


First Floor

LEFT SIDE UNIT
 1st Floor Area: 766 Square Feet
 2nd Floor Area: 999 Square Feet
 Total Floor Area: 1,765 Square Feet

First Floor

RIGHT SIDE UNIT
 1st Floor Area: 766 Square Feet
 2nd Floor Area: 999 Square Feet
 Total Floor Area: 1,765 Square Feet



Second Floor

LEFT SIDE UNIT
 2nd Floor Area: 999 Square Feet

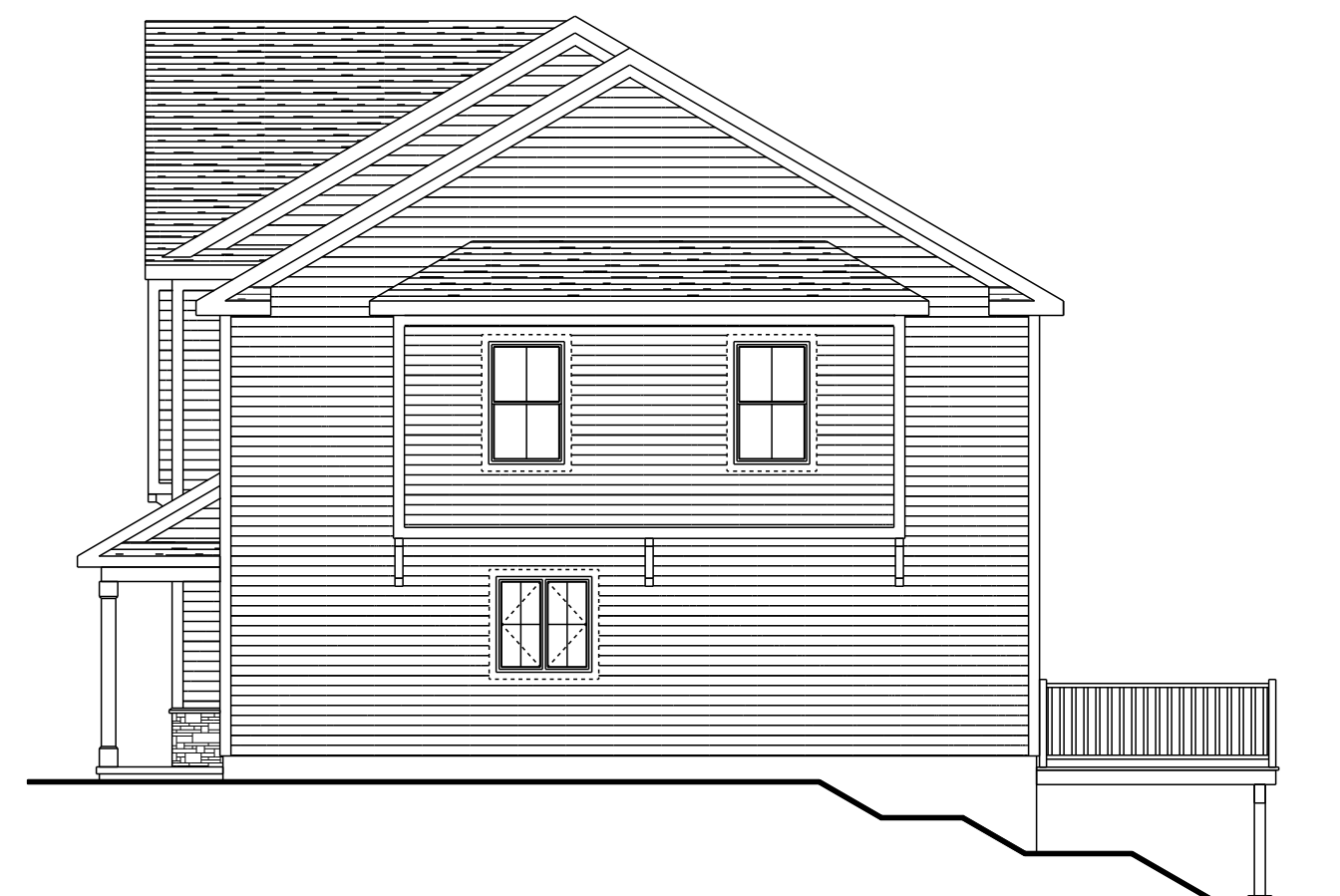
Second Floor

RIGHT SIDE UNIT
 2nd Floor Area: 999 Square Feet

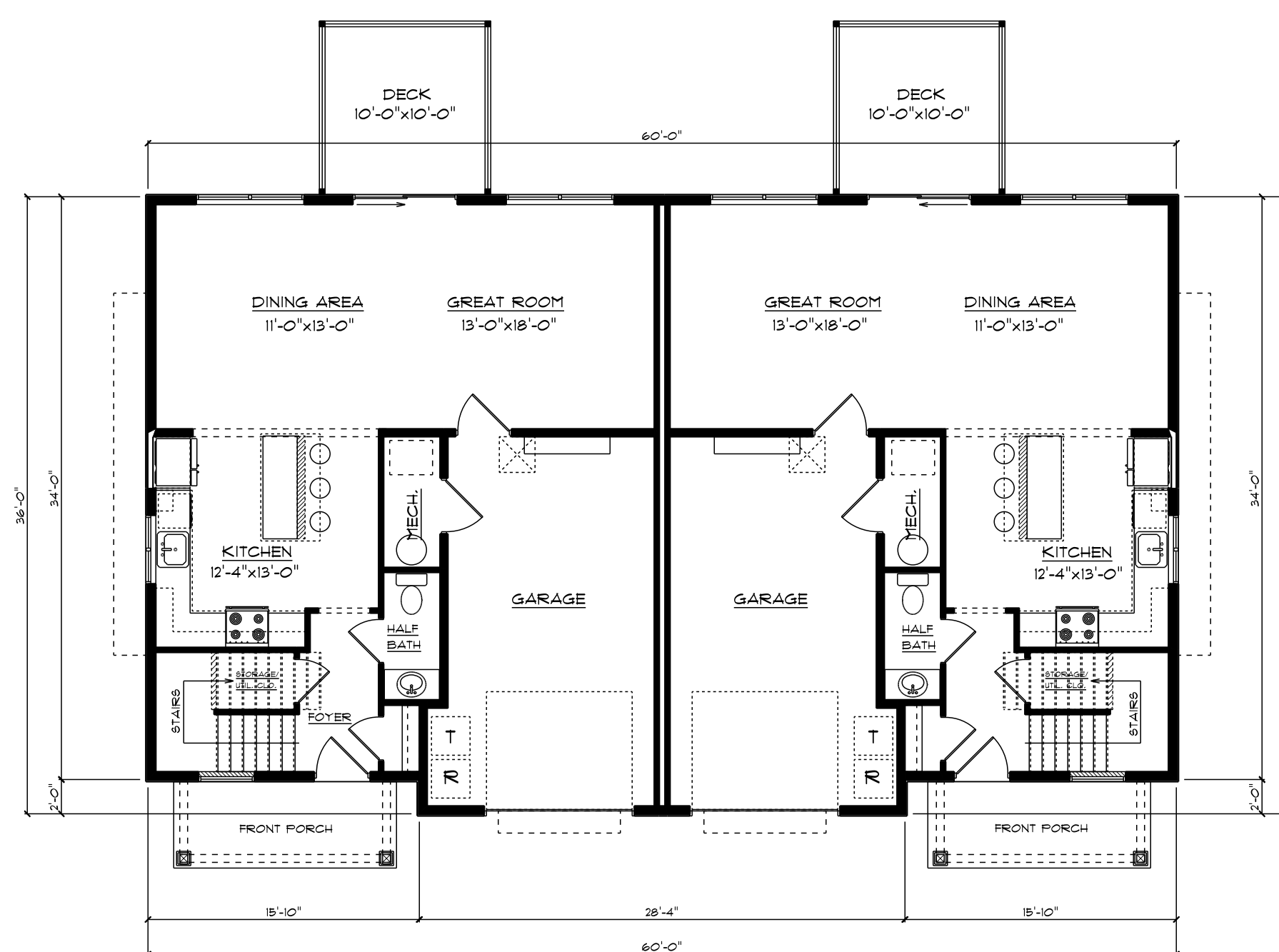
OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: BRAMBLE BUSH CIRCLE EAST GRANBY, CT	
DATE: May 05, 2023	SCALE: 1/8" = 1'-0"
PLAN: 1,765 S.F. - 3BR DUPLEX	
DRAWING NAME: FLOOR PLANS & ELEVS.	DRAWING NUMBER: A-102



FRONT ELEVATION



SIDE ELEVATION

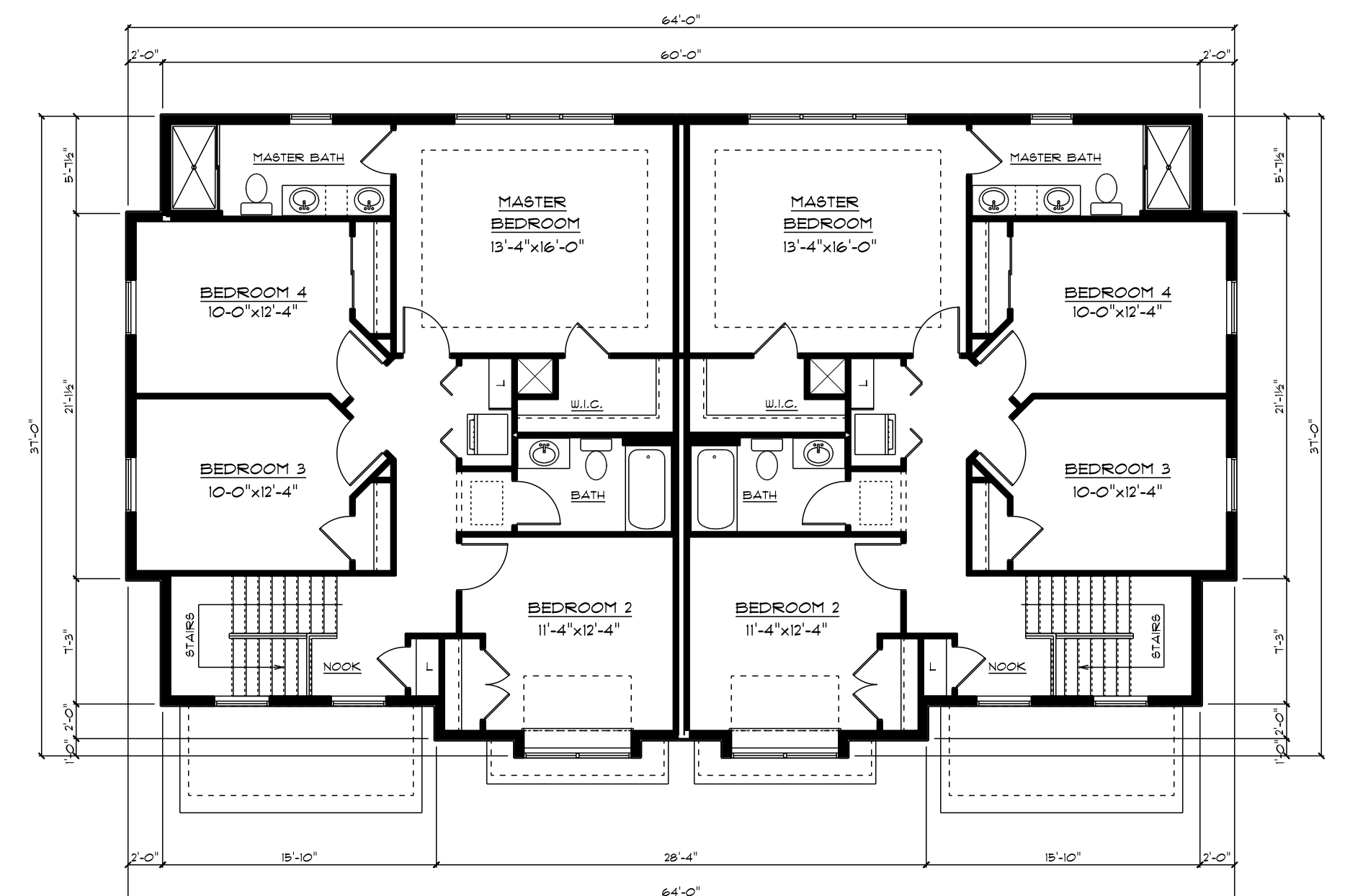


FIRST FLOOR

LEFT SIDE UNIT
 1st Floor Area: 760 Square Feet
 2nd Floor Area: 1,088 Square Feet
 Total Floor Area: 1,848 Square Feet

FIRST FLOOR

RIGHT SIDE UNIT
 1st Floor Area: 760 Square Feet
 2nd Floor Area: 1,088 Square Feet
 Total Floor Area: 1,848 Square Feet



SECOND FLOOR

LEFT SIDE UNIT
 2nd Floor Area: 1,088 Square Feet

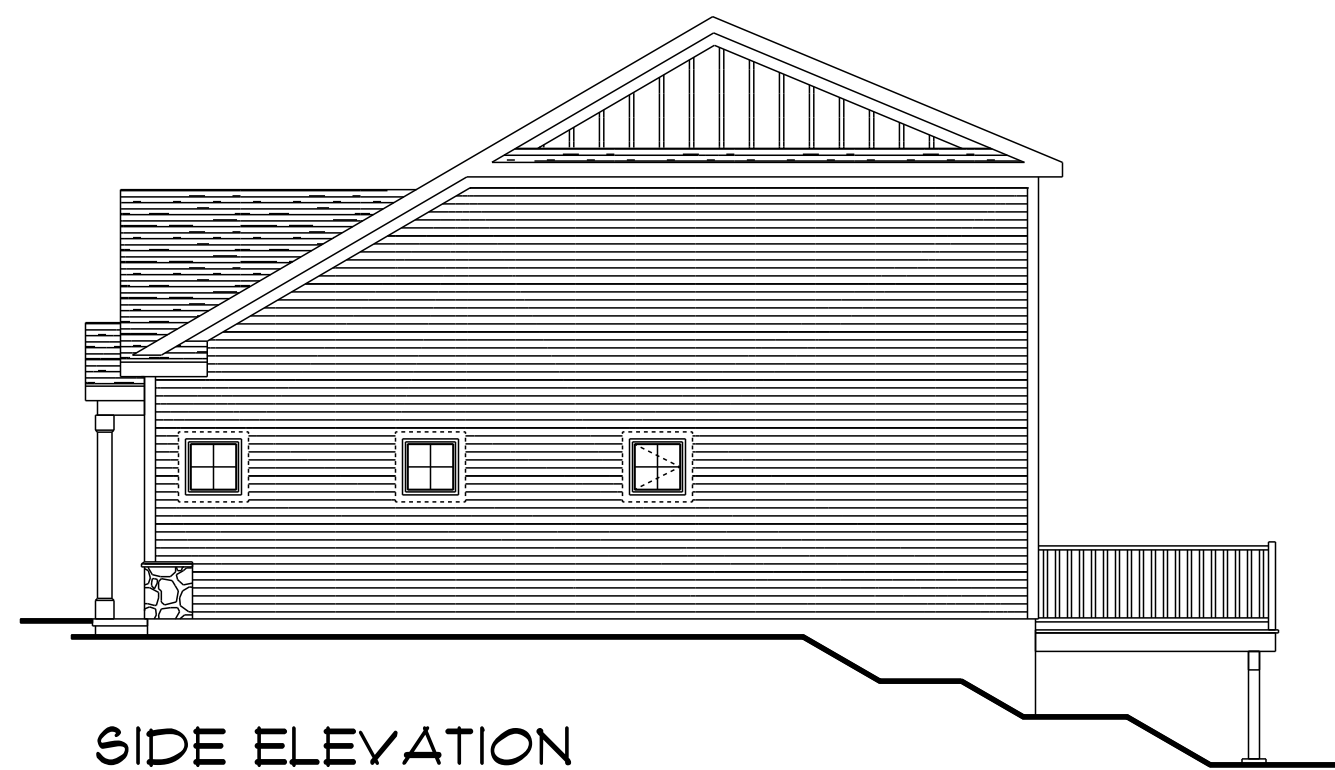
SECOND FLOOR

RIGHT SIDE UNIT
 2nd Floor Area: 1,088 Square Feet

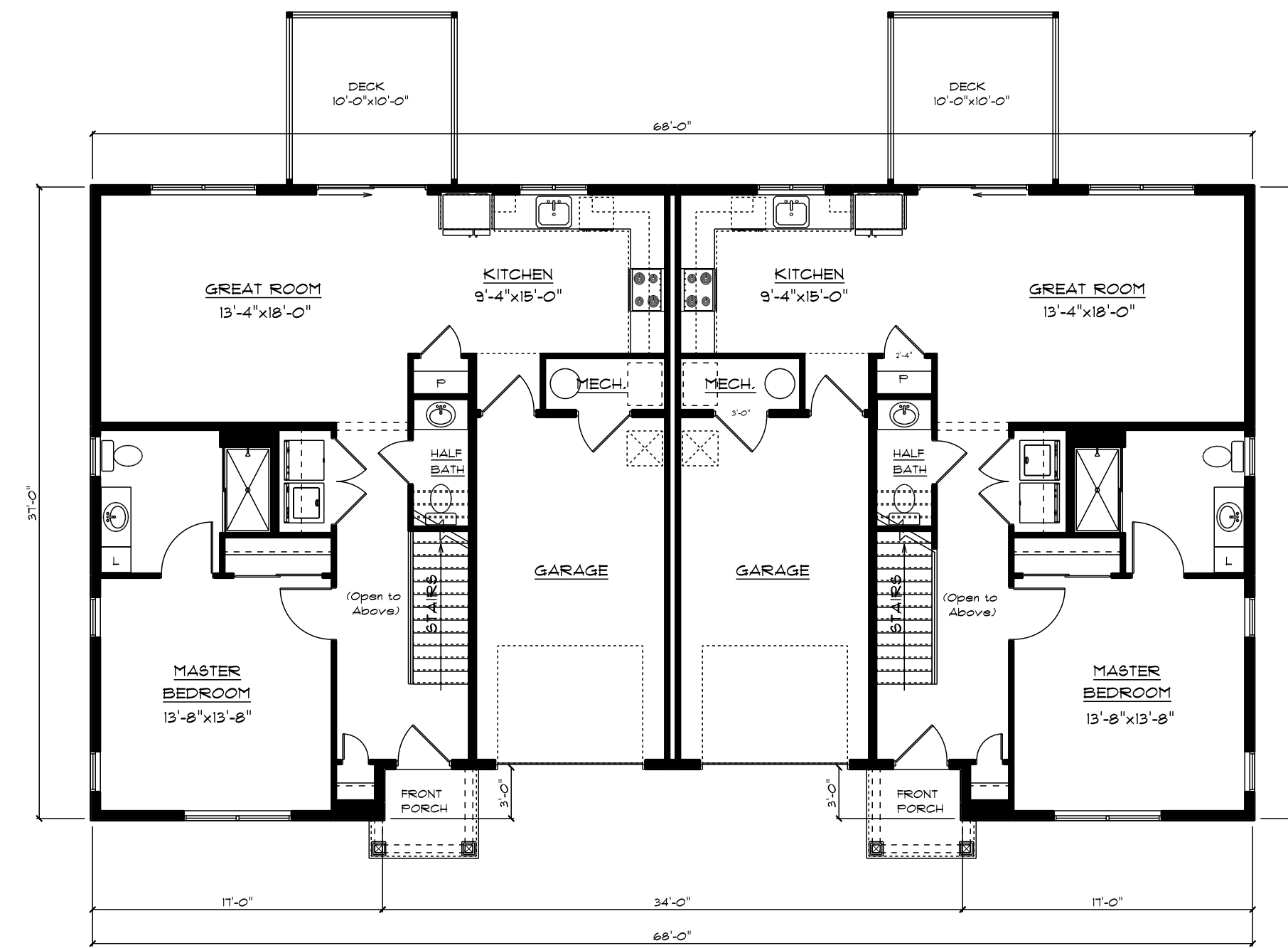
OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: BRAMBLE BUSH CIRCLE EAST GRANBY, CT	
DATE: May 05, 2023	SCALE: 1/8" = 1'-0"
PLAN: 1,848 S.F. - 4BR DUPLEX	
DRAWING NAME: FLOOR PLANS & ELEVS.	DRAWING NUMBER: A-103



FRONT ELEVATION

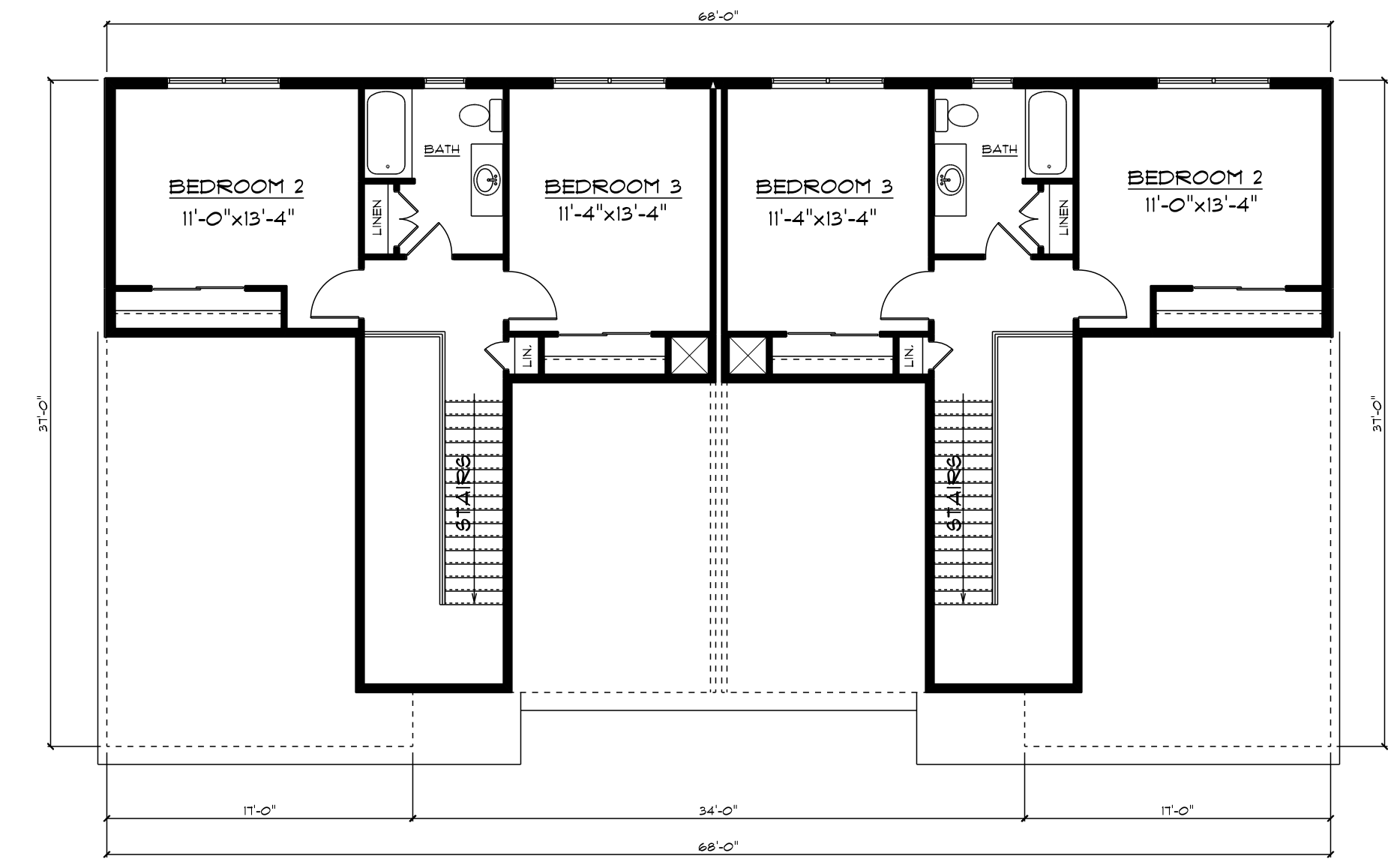


SIDE ELEVATION



FIRST FLOOR

LEFT SIDE UNIT
 1st Floor Area: 931 Square Feet
 2nd Floor Area: 580 Square Feet
 Total Floor Area: 1,511 Square Feet



SECOND FLOOR

LEFT SIDE UNIT
 2nd Floor Area: 580 Square Feet

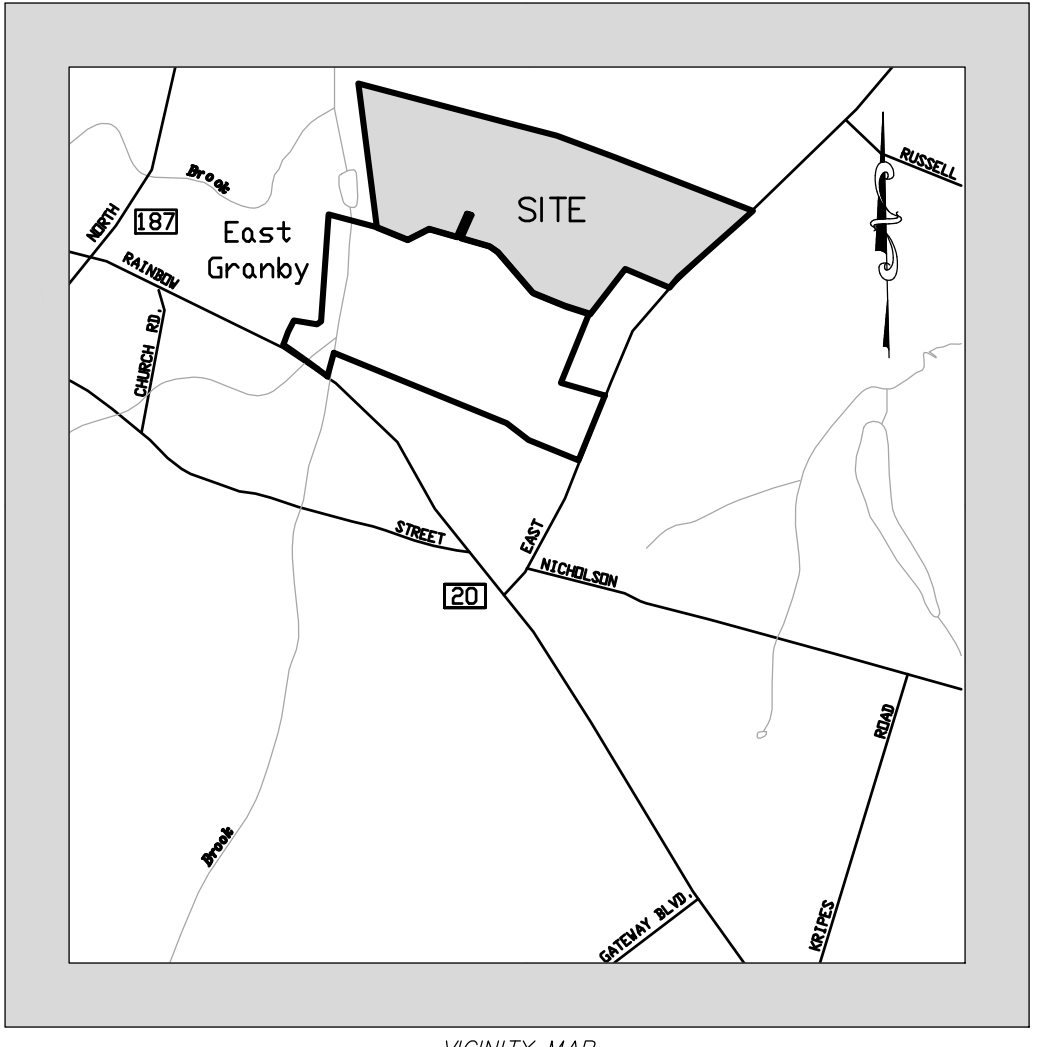
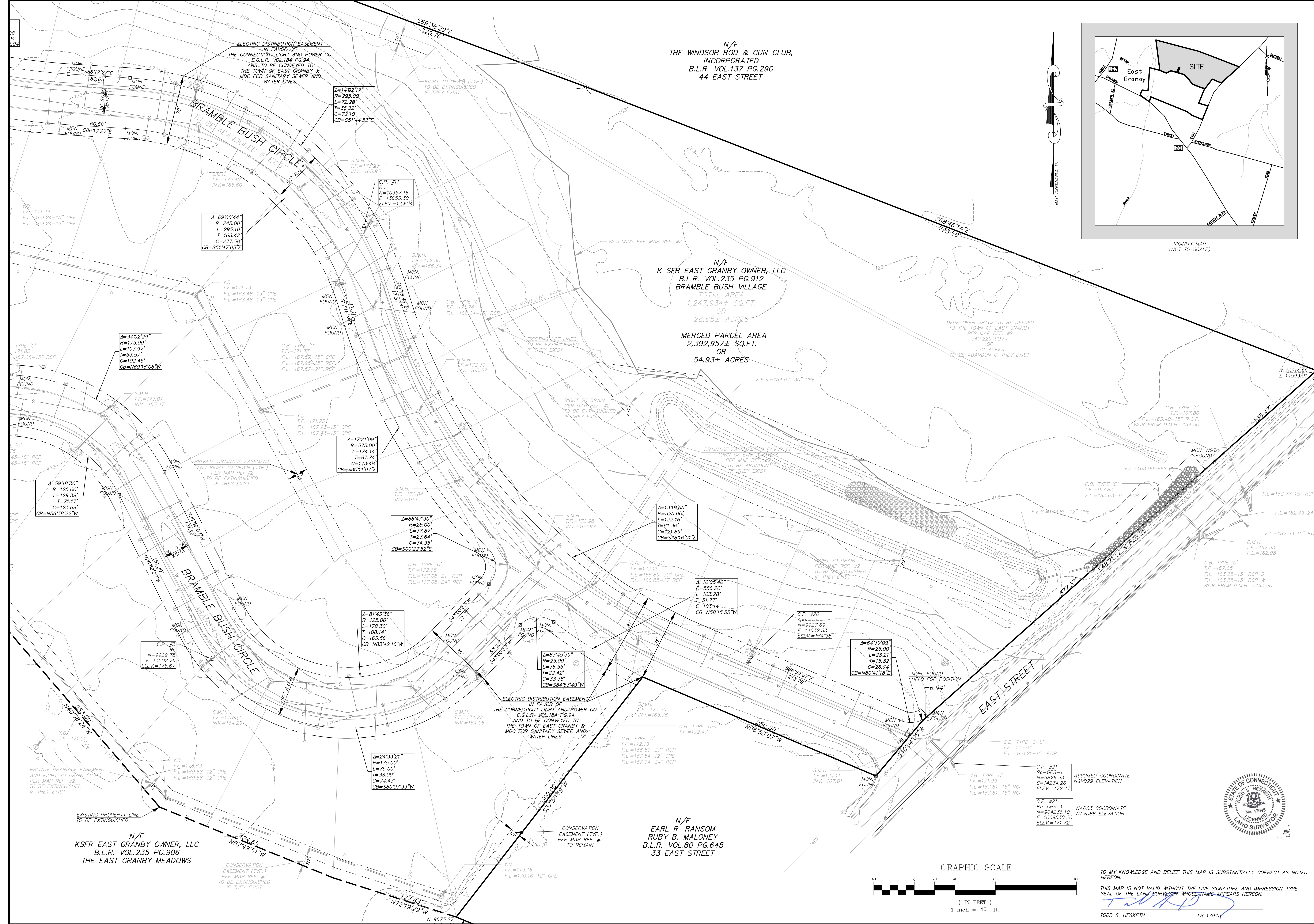
FIRST FLOOR

RIGHT SIDE UNIT
 1st Floor Area: 931 Square Feet
 2nd Floor Area: 580 Square Feet
 Total Floor Area: 1,511 Square Feet

SECOND FLOOR

RIGHT SIDE UNIT
 2nd Floor Area: 580 Square Feet

OWNER: CONNECTICUT REALTY TRUST/ KROWN POINT CAPITAL LLC	
PROJECT: BRAMBLE BUSH CIRCLE EAST GRANBY, CT	
DATE: May 05, 2023	SCALE: 1/8" = 1'-0"
PLAN: 1,511 S.F. - 1ST FLOOR MASTER DUPLEX	
DRAWING NAME: FLOOR PLANS & ELEVS.	DRAWING NUMBER: A-104



Revisions:

No.	Date	Description
1.	05-08-2023	MERGED PARCELS

IMPROVEMENT LOCATION PLAN
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 BRAMBLE BUSH CIRCLE
 EAST GRANBY, CONNECTICUT

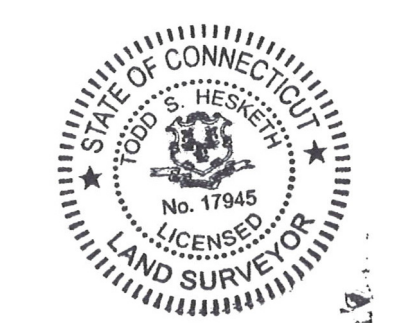
Date: 05-24-2023 Drawn by: DRT Job no: 22082
 Scale: 1" = 40' Checked by: TSH Sheet no: 1 OF 2

ILP-1

F. A. Hesketh & Associates, Inc.
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 Phone (860) 653-8000 Fax (860) 844-8600
 www.fahsketh.com · matrik@fahsketh.com

FAH

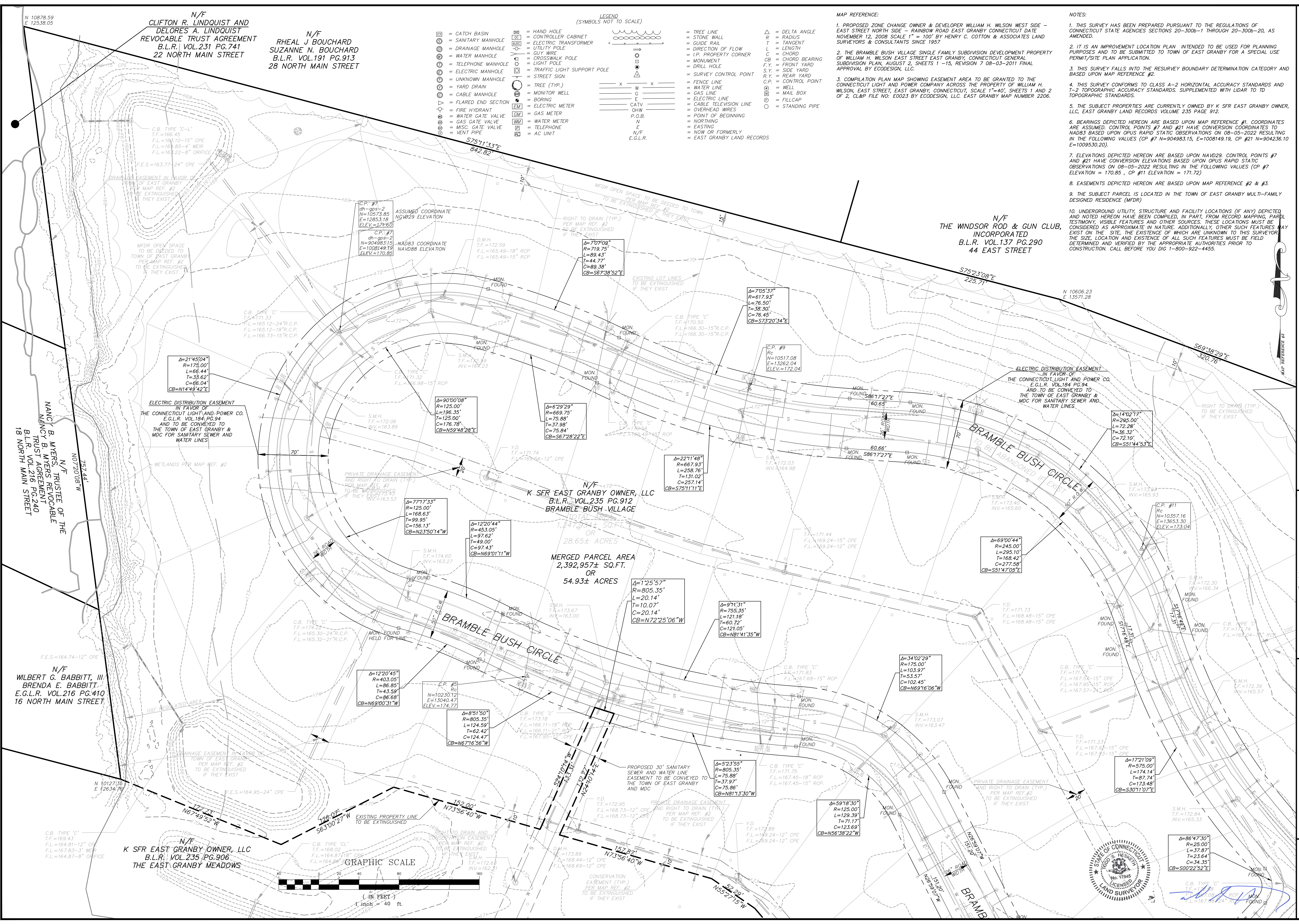
Civil & Traffic Engineers · Surveyors · Planners · Landscape Architects



TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

TODD S. HESKETH LS 17945



N/F
CLIFTON R. LINDQUIST AND
DELORES A. LINDQUIST
REVOCABLE TRUST AGREEMENT
B.L.R. VOL.231 PG.741
22 NORTH MAIN STREET

N/F
RHEAL J BOUCHARD
SUZANNE N. BOUCHARD
B.L.R. VOL.191 PG.913
28 NORTH MAIN STREET

N/F
NANCY B. WERS, TRUSTEE OF THE
NANCY B. WERS REVOCABLE
TRUST AGREEMENT
B.L.R. VOL.216 PG.240
18 NORTH MAIN STREET

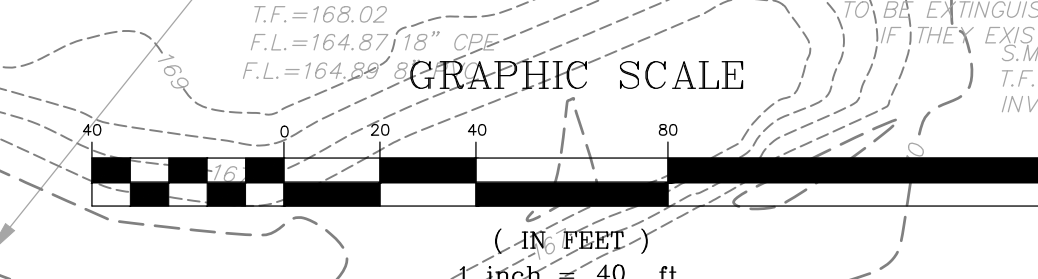
N/F
WILBERT G. BABBITT, III
BRENDA E. BABBITT
E.G.L.R. VOL.216 PG.410
16 NORTH MAIN STREET

N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.235 PG.906
THE EAST GRANBY MEADOWS

N/F
K SFR EAST GRANBY OWNER, LLC
B.L.R. VOL.235 PG.912
BRAMBLE BUSH VILLAGE

MERGED PARCEL AREA
2,392,957± SQ.FT.
OR
54.93± ACRES

N/F
THE WINDSOR ROD & GUN CLUB,
INCORPORATED
B.L.R. VOL.137 PG.290
44 EAST STREET



- LEGEND (SYMBOLS NOT TO SCALE)
- = CATCH BASIN
 - = SANITARY MANHOLE
 - = DRAINAGE MANHOLE
 - = WATER MANHOLE
 - = TELEPHONE MANHOLE
 - = ELECTRIC MANHOLE
 - = UNKNOWN MANHOLE
 - = YARD DRAIN
 - = CABLE MANHOLE
 - = FLARED END SECTION
 - = FIRE HYDRANT
 - = WATER GATE VALVE
 - = GAS GATE VALVE
 - = MISC. GATE VALVE
 - = VENT PIPE
 - = HAND HOLE
 - = CONTROLLER CABINET
 - = ELECTRIC TRANSFORMER
 - = UTILITY POLE
 - = GUY WIRE
 - = CROSSWALK POLE
 - = TRAFFIC LIGHT SUPPORT POLE
 - = STREET SIGN
 - = TREE (TYP.)
 - = MONITOR WELL
 - = BORING
 - = ELECTRIC METER
 - = WATER METER
 - = WATER METER
 - = TELEPHONE
 - = AC UNIT
 - = DELTA ANGLE
 - = RADIUS
 - = TANGENT
 - = LENGTH
 - = CHORD
 - = CHORD BEARING
 - = FRONT YARD
 - = SIDE YARD
 - = REAR YARD
 - = CONTROL POINT
 - = WELL
 - = MAIL BOX
 - = FILLCAP
 - = STANDING PIPE
 - = FENCE LINE
 - = WATER LINE
 - = GAS LINE
 - = ELECTRIC LINE
 - = CABLE TELEVISION LINE
 - = OVERHEAD WIRES
 - = POINT OF BEGINNING
 - = NORTHING
 - = EASTING
 - = NOW OR FORMERLY
 - = EAST GRANBY LAND RECORDS

- MAP REFERENCE:
- PROPOSED ZONE CHANGE OWNER & DEVELOPER WILLIAM H. WILSON WEST SIDE - EAST STREET NORTH SIDE - RAINBOW ROAD EAST GRANBY CONNECTICUT DATE NOVEMBER 12, 2008 SCALE 1" = 100' BY HENRY C. COTTON & ASSOCIATES LAND SURVEYORS & CONSULTANTS SINCE 1957
 - THE BRAMBLE BUSH VILLAGE SINGLE FAMILY SUBDIVISION DEVELOPMENT PROPERTY OF WILLIAM H. WILSON EAST STREET EAST GRANBY, CONNECTICUT GENERAL SUBDIVISION PLAN, AUGUST 2, SHEETS 1-15, REVISION 7 08-03-2011 FINAL APPROVAL BY ECODESIGN, LLC.
 - COMPLIATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO THE CONNECTICUT LIGHT AND POWER COMPANY ACROSS THE PROPERTY OF WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT, SCALE 1"=40', SHEETS 1 AND 2 OF 2, CL&P FILE NO: E0023 BY ECODESIGN, LLC. EAST GRANBY MAP NUMBER 2206.

- NOTES:
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
 - IT IS AN IMPROVEMENT LOCATION PLAN INTENDED TO BE USED FOR PLANNING PURPOSES AND TO BE SUBMITTED TO TOWN OF EAST GRANBY FOR A SPECIAL USE PERMIT/SITE PLAN APPLICATION.
 - THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY AND BASED UPON MAP REFERENCE #2.
 - THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS AND T-2 TOPOGRAPHIC ACCURACY STANDARDS. SUPPLEMENTED WITH LIDAR TO TOPOGRAPHIC STANDARDS.
 - THE SUBJECT PROPERTIES ARE CURRENTLY OWNED BY K SFR EAST GRANBY OWNER, LLC, EAST GRANBY LAND RECORDS VOLUME 235 PAGE 912.
 - BEARINGS DEPICTED HEREON ARE BASED UPON MAP REFERENCE #1. COORDINATES ARE ASSUMED. CONTROL POINTS #7 AND #21 HAVE CONVERSION COORDINATES TO NAD83 BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING VALUES (CP #7 N=904983.15, E=1008149.19, CP #21 N=904236.10 E=1008530.20).
 - ELEVATIONS DEPICTED HEREON ARE BASED UPON NAVD83. CONTROL POINTS #7 AND #21 HAVE CONVERSION ELEVATIONS BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING VALUES (CP #7 ELEVATION = 170.85, CP #11 ELEVATION = 171.72).
 - EASEMENTS DEPICTED HEREON ARE BASED UPON MAP REFERENCE #2 & #3.
 - THE SUBJECT PARCEL IS LOCATED IN THE TOWN OF EAST GRANBY MULTI-FAMILY DESIGNED RESIDENCE (MFR)
 - UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PARCEL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

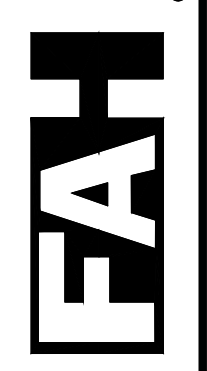
Revisions:

No.	Date	Description
1.	05-08-2023	MERGED PARCELS

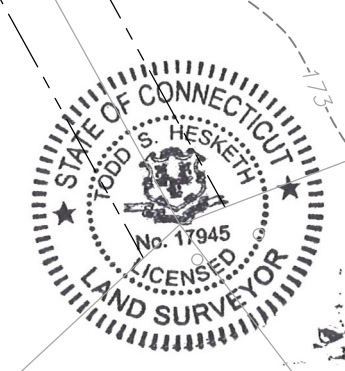
IMPROVEMENT LOCATION PLAN
PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
BRAMBLE BUSH CIRCLE
EAST GRANBY, CONNECTICUT
Date: 03-24-2023 Drawn by: DRT Job no: 22082
Scale: 1" = 40' Checked by: TSH Sheet no: 2 OF 2

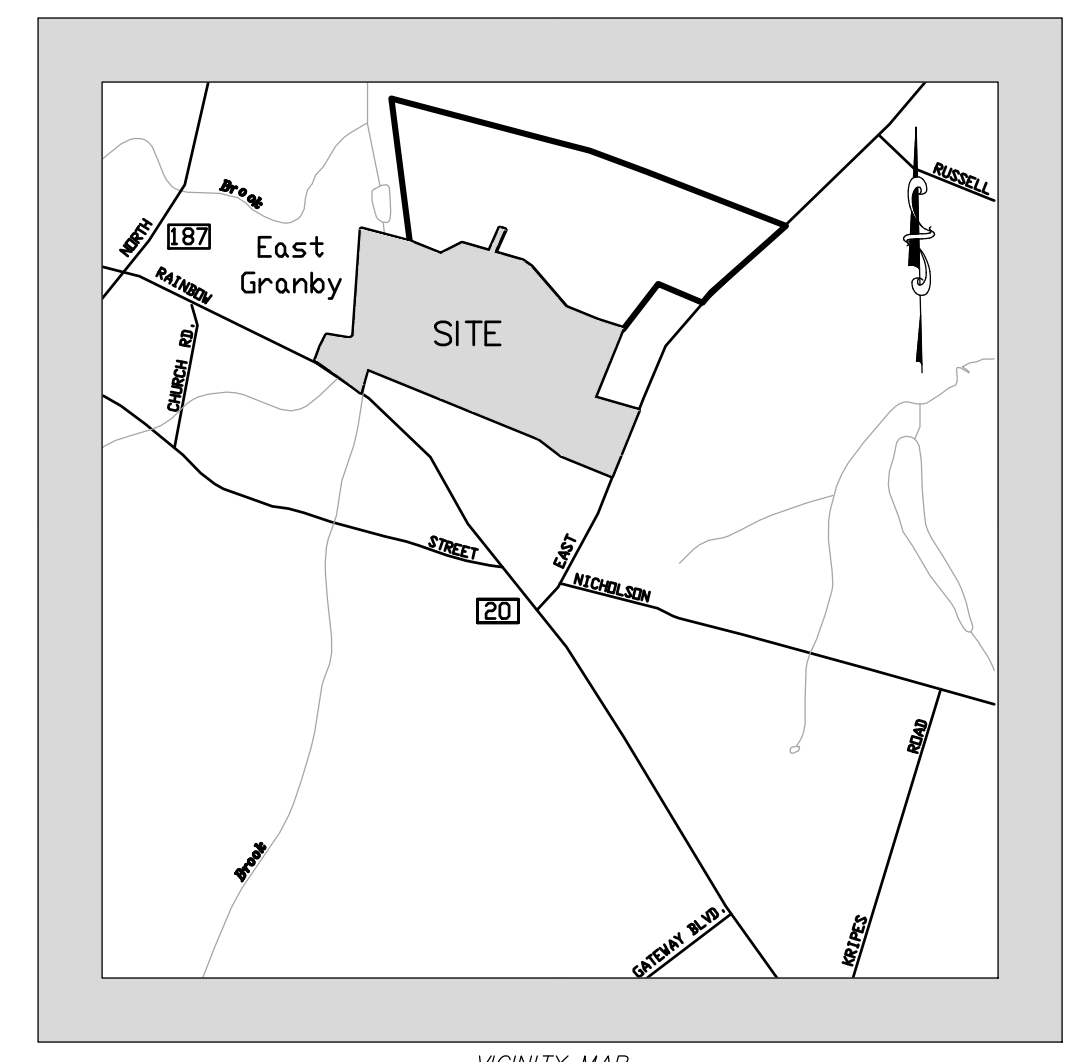
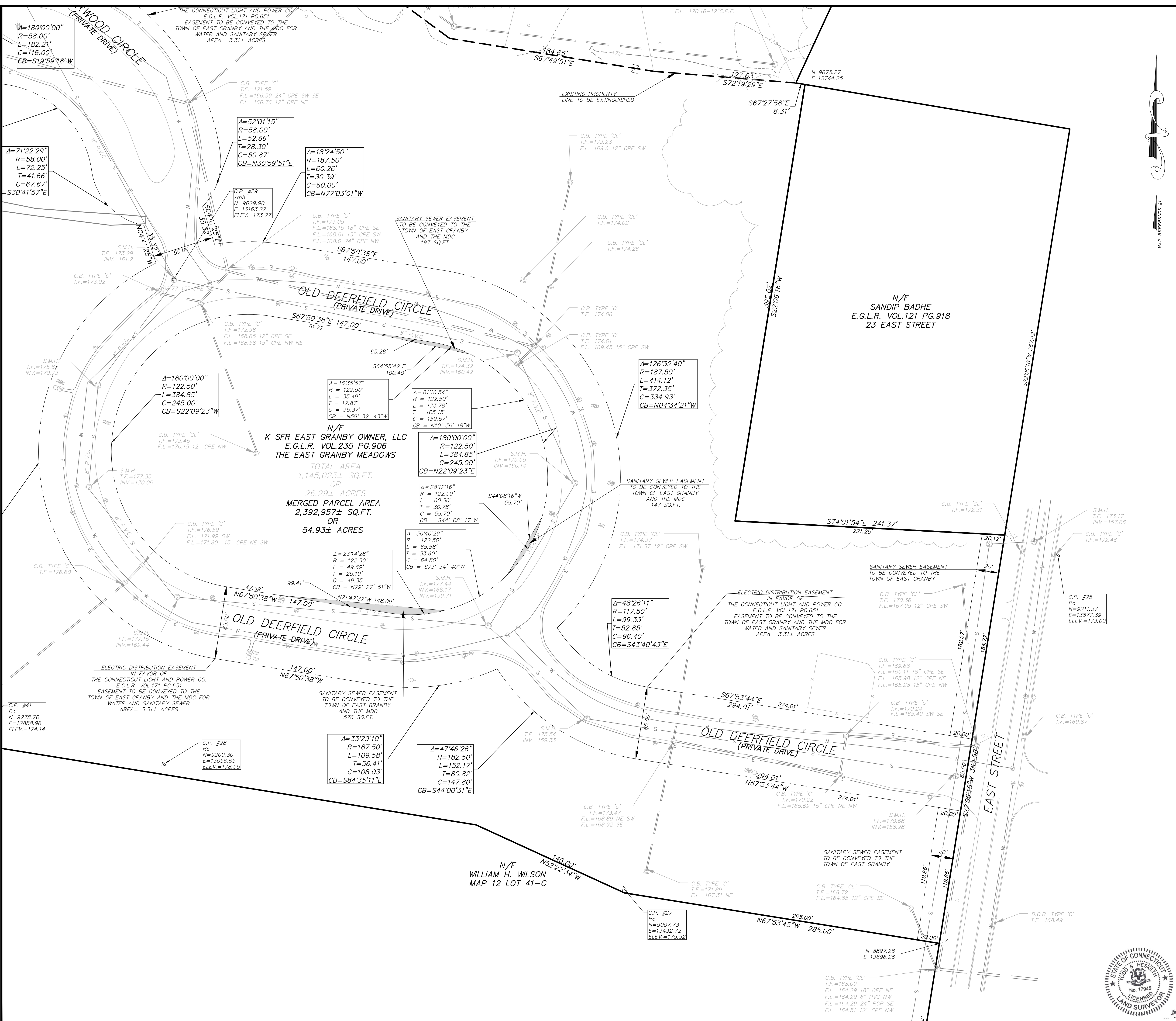
ILP-2

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Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects





NOTES:

1. THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-1 THROUGH 20-300b-20, AS AMENDED.
2. IT IS AN IMPROVEMENT LOCATION PLAN INTENDED TO BE USED FOR PLANNING PURPOSES, AND TO BE SUBMITTED TO TOWN OF EAST GRANBY FOR A SPECIAL USE PERMIT/SITE PLAN APPLICATION.
3. THIS SURVEY FALLS INTO THE RESURVEY BOUNDARY DETERMINATION CATEGORY, AND IS BASED UPON MAP REFERENCE #1.
4. THIS SURVEY CONFORMS TO CLASS A-2 HORIZONTAL ACCURACY STANDARDS.
5. THE SUBJECT PROPERTY IS CURRENTLY OWNED BY K SFR EAST GRANBY OWNER, LLC, EAST GRANBY LAND RECORDS VOLUME 235, PAGE 906.
6. BEARINGS DEPICTED HEREON ARE BASED UPON MAP REFERENCE #1. COORDINATES ARE ASSUMED. CONTROL POINT #7 N=10573.85, E=12853.18. CONTROL POINTS #21 N=9826.93, E=14234.26. CONTROL POINTS #7 AND #21 HAVE CONVERSION COORDINATES TO NAD83 BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING VALUES (CP #7 N=904983.15, E=1008149.19, CP #21 N=904236.10, E=1009530.20).
7. ELEVATIONS DEPICTED HEREON (IF ANY) ARE BASED UPON NAVD83. CONTROL POINT #7 ELEVATION=171.60, CONTROL POINT #21 ELEVATION=172.47. CONTROL POINTS #7 AND #21 HAVE CONVERSION ELEVATIONS BASED UPON OPUS RAPID STATIC OBSERVATIONS ON 08-05-2022 RESULTING IN THE FOLLOWING VALUES. CONTROL POINT #7, ELEVATION=171.60 (NAVD83) AND CONTROL POINT #21 ELEVATION=172.47 (NAVD83).
8. UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS (IF ANY) DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING, PAROL TESTIMONY, VISIBLE FEATURES AND OTHER SOURCES. THESE LOCATIONS MUST BE CONSIDERED AS APPROXIMATE IN NATURE. ADDITIONALLY, OTHER SUCH FEATURES MAY EXIST ON THE SITE, THE EXISTENCE OF WHICH ARE UNKNOWN TO THIS SURVEYOR. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.

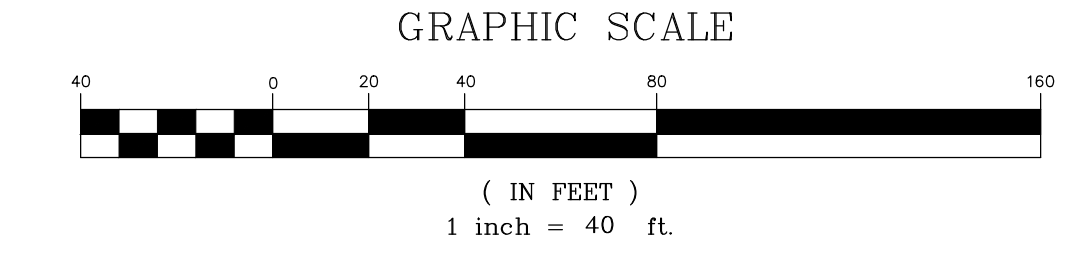
MAP REFERENCE:

1. PROPOSED ZONE CHANGE OWNER & DEVELOPER WILLIAM H. WILSON WEST SIDE - EAST STREET NORTH SIDE - RAINBOW ROAD EAST GRANBY CONNECTICUT DATE NOVEMBER 12, 2008 SCALE 1" = 100' BY HENRY C. COTTON & ASSOCIATES LAND SURVEYORS & CONSULTANTS SINCE 1957.
2. THE EAST GRANBY MEADOWS, MULTI-FAMILY DESIGNED RESIDENCE CONDOMINIUM DEVELOPMENT, PROPERTY OF WILLIAM H. WILSON, EAST STREET, EAST GRANBY, CONNECTICUT, DATE: AUGUST 2, 2006, REVISED THROUGH DECEMBER 29, 2009, BY ECODESIGN, LLC.
3. THE BRAMBLE BUSH VILLAGE PROPERTY OF WILLIAM H. WILSON EAST STREET EAST GRANBY, CONNECTICUT SUBDIVISION DEVELOPMENT PLAN - 1 AND 2 OF 2 SHEET NO. 3 AND 4 OF 15 DATE CHECKED: 08/02/2006 SCALE 1"=40' REV. 7 DATE 08/03/2011 FINAL APPROVAL BY ECODESIGN, LLC.
4. SANITARY SEWER AS-BUILT, THE EAST GRANBY MEADOWS, PROPERTY OF WILSON H. MEADOWS, EAST GRANBY, CONNECTICUT, DATE: 08/18/2011, SCALE 1"=40', BY ECODESIGN, LLC.
5. SANITARY SEWER AS-BUILT, THE BRAMBLE BUSH VILLAGE, PROPERTY OF WILSON H. MEADOWS, EAST GRANBY, CONNECTICUT, DATE: 08/18/2011, SCALE 1"=40', BY ECODESIGN, LLC.

No.	Date	Description
1.	05-08-2023	MERGED PARCELS

IMPROVEMENT LOCATION PLAN
 PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
 EAST GRANBY MEADOWS
 OLD DEERFIELD CIRCLE (PRIVATE DRIVE)
 EAST GRANBY, CONNECTICUT

Date: 09-14-2022 Drawn by: BAB Job no: 22082
 Checked by: TSH Sheet no: 1 OF 2
 Scale: 1" = 40'

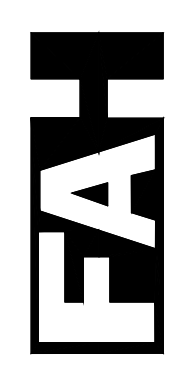


TO MY KNOWLEDGE AND BELIEF THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.

THIS MAP IS NOT VALID WITHOUT THE LIVE SIGNATURE AND IMPRESSION TYPE SEAL OF THE LAND SURVEYOR WHOSE NAME APPEARS HEREON.

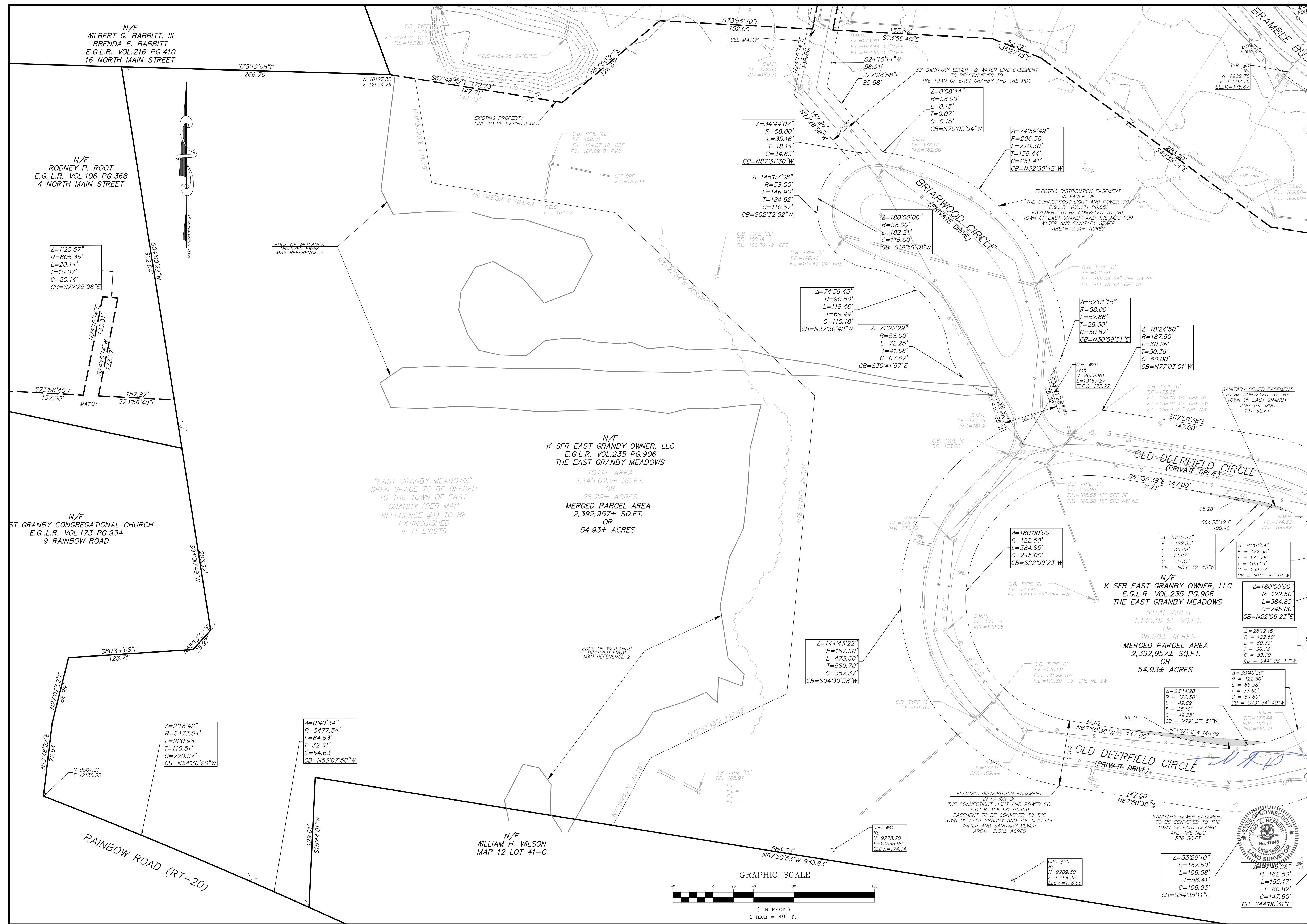
Todd S. Hesketh
 LS 17945





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N/F
WILBERT G. BABBITT, III
BRENDA E. BABBITT
E.G.L.R. VOL.216 PG.410
16 NORTH MAIN STREET

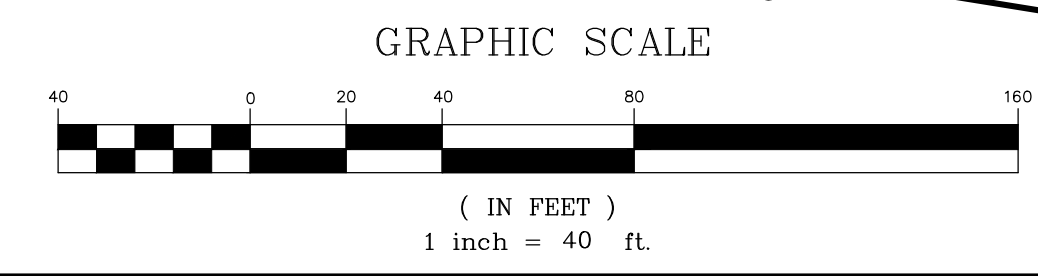
N/F
RODNEY P. ROOT
E.G.L.R. VOL.106 PG.368
4 NORTH MAIN STREET

N/F
ST GRANBY CONGREGATIONAL CHURCH
E.G.L.R. VOL.173 PG.934
9 RAINBOW ROAD

N/F
K SFR EAST GRANBY OWNER, LLC
E.G.L.R. VOL.235 PG.906
THE EAST GRANBY MEADOWS
TOTAL AREA
1,145,023± SQ.FT.
OR
26.29± ACRES
MERGED PARCEL AREA
2,392,957± SQ.FT.
OR
54.93± ACRES

"EAST GRANBY MEADOWS"
OPEN SPACE TO BE DEEDED
TO THE TOWN OF EAST
GRANBY (PER MAP
REFERENCE #4) TO BE
EXTINGUISHED
IF IT EXISTS

N/F
WILLIAM H. WILSON
MAP 12 LOT 41-C



Revisions:

No.	Date	Description
1	05-08-2023	MERGED PARCELS

IMPROVEMENT LOCATION PLAN - RECORD

PREPARED FOR
K SFR EAST GRANBY OWNER, LLC
EAST GRANBY MEADOWS
OLD DEERFIELD CIRCLE (PRIVATE)
EAST GRANBY, CONNECTICUT

Date: 09-14-2022 Drawn by: BAB Job no: 22082
Checked by: TSH Sheet no: 2 OF 2
Scale: 1" = 40'

ILP-4

FAH

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