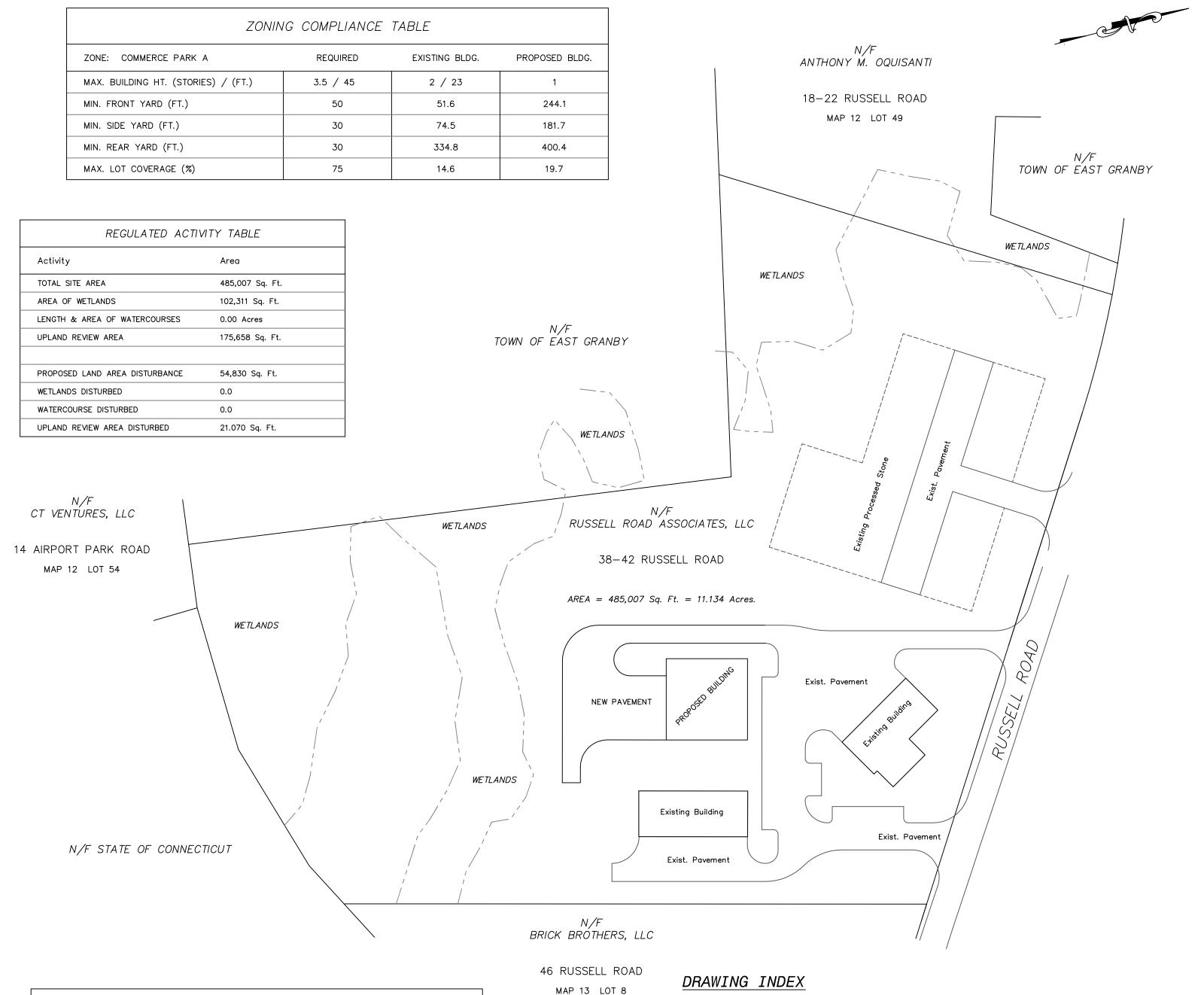
MODIFICATION TO APPROVED SITE PLAN

PREPARED FOR

RUSSELL ROAD ASSOCIATES, LLC

38 RUSSELL ROAD, EAST GRANBY, CONNECTICUT



Sheet 1

Sheet 2

Sheet 4

Cover Sheet

Layout Plan

Sheet 10 Construction Details

Boundary Plan

Existing Conditions / Site Preparation Plan

Grading & Erosion Control Plan

Erosion Control Details

Utility, Lighting & Landscape Plan
Septic System Design & Details
Sedimentation & Erosion Control Notes

COVERAGE CALCULATIONS

CONCRETE

4.644

IMPERVIOUS

SURFACE (sf)

39.000

PAVEMENT

AREA (sf)

100.0

100.0

(% OF SITE)

INLAND WETLANDS NOTES

1. THE PERMITEE & APPLICANT/DEVELOPER SHALL CONTACT THE TOWN OF EAST GRANBY BUILDING/ENGINEERING DEPARTMENT AT 860-653-3444 TWO WORKING DAYS PRIOR TO STARTING ANY WORK ON THE SITE IN ORDER TO DISCUSS ANY SPECIAL CONDITIONS

2. THE PERMITEE & APPLICANT/DEVELOPER SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE WETLANDS AGENT, DEVELOPER, GENERAL CONTRACTOR AND SITE WORK CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION, TREE CLEARING OR GROUND DISTURBANCE.

3. PRIOR TO STARTING ANY WORK ON THE SITE THE CONTRACTOR MUST VERIEY EXISTING

3. PRIOR TO STARTING ANY WORK ON THE SITE, THE CONTRACTOR MUST VERIFY EXISTING SITE CONDITIONS, TOPOGRAPHY AND UTILITIES SHOWN ON THE APPROVED PLAN. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DIFFERENCES BETWEEN CONDITIONS FOUND ON THE SITE AND THOSE DEPICTED ON THE APPROVED PLAN.

4. ALL SOIL STABILIZATION AND SOIL EROSION AND SEDIMENT CONTROL MEASURES, DETAILS, SCHEDULES AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BINDING ON THE PERMITTEE AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS OR THE CT 2002 EROSION CONTROL GUIDELINES IF NOT SPECIFIED ON THE PLANS. SOIL STABILIZATION AND EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE PROJECT.

5. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, REPLACED, AND OR MAINTAINED FOR THE DURATION OF THE PROJECT BY THE

DEVÉLOPER/CONTRACTOR UNTIL ALL DISTURBED AREAS ARE STABILIZED.

6. ANY MODIFICATIONS TO THE REGULATED ACTIVITIES DUE TO THE APPROVAL OR REVIEW OF THE PROJECT BY THE HEALTH DISTRICT, THE DEEP OR OTHER STATE AGENCY, THE ACOE OR OTHER FEDERAL AGENCY SHALL SUBMITTED TO THE WETLANDS COMMISSION FOR REVIEW. CHANGES TO THE PLANS APPROVED BY THE WETLANDS COMMISSION CANNOT BE MADE WITHOUT PRIOR APPROVAL OF THE COMMISSION.

7. NO PERMITS SHALL BE ASSIGNED OR TRANSFERRED WITHOUT THE WRITTEN PERMISSION OF THE COMMISSION OR ITS AGENT. THE ASSIGNEE, TRANSFERRE OR OTHER RECIPIENT OF A TRANSFERRED PERMIT SHALL BE BOUND BY ALL REPRESENTATIONS MADE BY THE APPLICANT IN OBTAINING THE PERMIT AND BY ALL THE TERMS, CONDITIONS AND LIMITATIONS CONTAINED IN THE PERMIT AND SUCH PERSON SHALL HAVE ALL THE RIGHTS, DUTIES AND OBLIGATIONS OF THE ORIGINAL PERMITTEE WHO WAS GRANTED THE PERMIT.

REQUESTS FOR PERMIT TRANSFERS ARE TO BE MADE IN WRITING TO THE COMMISSION.

8. ALL ASPECTS OF THE APPROVED PLANS SHALL BE BINDING UPON THE PERMITTEE, AND ON THE DEVELOPER AND CONTRACTORS EMPLOYED TO IMPLEMENT THE PROJECT. MODIFICATIONS TO ANY ASPECT OF THE PROJECT OR THE PLANS MAY REQUIRE A REVISED WETLANDS PERMIT.

9. THE REMOVAL OF TREES OR OTHER VEGETATION OR REGRADING OF SOIL

SUBSTANTIALLY DIFFERENT FROM THAT SHOWN ON THE GRADING AND EROSION CONTROL PLAN IS NOT PERMITTED WITHOUT PRIOR APPROVAL OF THE TOWN ENGINEERING STAFF.

10. NO EQUIPMENT, MATERIALS OR MACHINERY TO BE STORED, CLEANED, REPAIRED OR REFUELED WITHIN 75 FEET OF THE WETLANDS OR WATERCOURSE.

11. THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR

11. THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR IMMEDIATELY ADJACENT TO THE WETLANDS OR WATERCOURSES OR THE UPLAND REVIEW AREAS, TEMPORARILY OR PERMANENTLY, EXCEPT AS SHOWN ON THE APPROVED PLANS.

12. THE PERMITTEE SHALL PROVIDE AN EMERGENCY STOCKPILE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING HAY BALES, STAKES, CRUSHED STONE AND EQUIPMENT TO PLACE OR INSTALL THESE MEASURES, FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.

13. AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REMOVED.

14. REMOVAL OF THE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES IS NOT PERMITTED UNTIL ALL SITE WORK IS COMPLETE AND EXPOSED SOILS PERMANENTLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. THE PERMITTEE SHALL REQUEST AN INSPECTION BY THE WETLANDS AGENT OF THE COMPLETED PROJECT AT LEAST TWO WEEKS BEFORE REQUESTING THE CERTIFICATE OF OCCUPANCY INSPECTION BY THE BUILDING DEPARTMENT.4

15. ANY ADDITIONAL SEDIMENTATION/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE STAFF DURING ANY CONSTRUCTION PROCESS SHALL BE IMPLEMENTED BY THE GENERAL CONTRACTOR. IN ADDITION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL SEDIMENTATION/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF STAFF.

16. THE APPLICANT/DEVELOPER AND/OR CONTRACTOR SHALL PRACTICE EFFECTIVE DUST

CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE APPLICANT/DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.

17. DURING CONSTRUCTION OF ANY SITE IMPROVEMENTS, A STONE CONSTRUCTION ENTRANCE/EXIT PAD OF AT LEAST 50 FEET IN LENGTH AND THE ENTIRE WIDTH OF THE PROPOSED ENTRANCE DRIVE SHALL BE INSTALLED TO COLLECT ANY SEDIMENT OFF WHEELS OF CONSTRUCTION VEHICLES.

18. THE REMOVAL OF TREES OR OTHER VEGETATION OR REGRADING OF SOIL SUBSTANTIALLY DIFFERENT FROM THAT SHOWN ON THE GRADING AND EROSION CONTROL PLAN IS NOT PERMITTED WITHOUT PRIOR APPROVAL OF THE TOWN ENGINEERING STAFF.

19. ANY EXCESS MATERIAL MUST BE DISPOSED OF IN A SUITABLE MANNER AND LOCATION ACCEPTABLE TO TOWN STAFF.

20. ALL ROOF AND/OR FOUNDATION DRAINS SHALL DRAIN TO A FREE SURFACE OR SHALL

BE TIED INTO THE STORM DRAINAGE SYSTEM. ALL FOOTING DRAINS SHALL HAVE A CLEANOUT SUMP AND A BACKWATER VALVE INSIDE THE FOUNDATION OF THE PROPOSED

HOUSE. THE TOWN IS NOT RESPONSIBLE FOR THE REPAIR, REPLACEMENT, OR MAINTENANCE OF PRIVATE DRAINS.

21. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN DUMPSTERS AND REMOVED FROM THE SITE. ANY CONSTRUCTION MATERIALS OR DEBRIS DUMPED OR BLOWN INTO THE WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.

WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.

22. PLOT PLANS FOR THE DEVELOPMENT OF THE INDIVIDUAL HOUSE LOT IS TO COMPLY WITH THE INTENT OF THE PLANS APPROVED BY THE WETLANDS COMMISSION. PLOT PLANS THAT DO NOT COMPLY ARE TO BE SUBMITTED WITH AN APPLICATION FOR A REVISED

23. LOAM AND SEED ALL DISTURBED AREAS FROM CONSTRUCTION ACTIVITIES WHICH ARE NOT PAVED, MULCHED OR PLANTED PER THE SEDIMENTATION AND EROSION CONTROL DETAILS PLAN.

24. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE REMOVED AFTER PERMANENT STABILIZATION OF ALL DISTURBED AREAS HAS BEEN ACHIEVED.

25. PER SECTION 7.5.J OF THE EAST GRANBY INLAND WETLANDS AND WATERCOURSES REGULATIONS, AUTHORIZATION SHALL BE GRANTED TO MEMBERS AND AGENTS OF THE CONSERVATION COMMISSION TO INSPECT THE SUBJECT LAND, AT REASONABLE TIMES, DURING PENDENCY OF AN APPLICATION AND FOR THE LIFE OF THE PERMIT.

SITE DEVELOPMENT NOTES

APPROXIMATE.

- LOT IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FIRM FLOOD INSURANCE RATE MAP 09003C0204F, EFFECTIVE DATE: SEPTEMBER 26, 2008".
- 2. TOPOGRAPHY IN AREA OF PROPOSED CONSTRUCTION TAKEN FROM FIELD SURVEY BY BARRESI ASSOCIATES LLC. BALANCE OF TOPOGRAPHY TAKEN FROM REFERENCE MAPS.
- 3. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED, IN PART, ON FIELD SURVEY AND MAPS OF RECORD. THEIR LOCATIONS SHOULD BE CONSIDERED
- 4. CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO EXCAVATION NEAR PUBLIC UTILITIES.
- 5. CONTRACTOR MUST VERIFY EXISTING SITE TOPOGRAPHY AND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DIFFERENCES BETWEEN CONDITIONS FOUND ON THE SITE AND THOSE DEPICTED ON THIS
- 6. ALL NEW CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE TOWN OF EAST GRANBY STANDARDS AND CONNECTICUT DOT FORM 817.
- 7. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. CONSTRUCTION AND INSTALLATION OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH INDIVIDUAL UTILITY REQUIREMENTS. CONTRACTOR SHALL PROVIDE COORDINATION AS REQUIRED.
- 8. THE CONTRACTOR SHALL PRACTICE EFFECTIVE DUST CONTROL DURING CONSTRUCTION TO KEEP DUST AND BLOWN DEBRIS FROM AFFECTING ADJACENT PROPERTIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
- 9. ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN ENGINEER OR THE INLAND WETLANDS & WATERCOURSES COMMISSION, OR ITS DESIGNATE, DURING THE CONSTRUCTION OF ANY SITE IMPROVEMENT SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE/REPAIR/REPLACEMENT OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN ENGINEER AND THE CONSERVATION COMMISSION, OR ITS DESIGNATE.
- 10. ANY EXCESS MATERIAL MUST BE DISPOSED OF IN A SUITABLE MANNER AND LOCATION ACCEPTABLE TO TOWN STAFF.
- LOAM AND SEED ALL DISTURBED AREAS NOT PAVED, MULCHED, OR PLANTED PER SEDIMENTATION AND EROSION CONTROL DETAILS PLAN.
- 12. EXTERNAL STORAGE SHALL NOT EXCEED THE AREAS AND TYPES SHOWN ON THESE PLANS WHICH HAS BEEN DETERMINED BY THE COMMISSION AS APPROPRIATE FOR THE NATURE OF THE BUSINESSES. STORAGE BEHIND BUILDINGS TO BE LIMITED TO REGISTERED MOTOR VEHICLES. STORAGE IN BINS SHALL BE LIMITED TO TOPSOIL, GRAVEL, PROCESSED STONE, MULCH, DECORATIVE STONE AND CONSTRUCTION EQUIPMENT.
- 13. SPOTLIGHTS ON THE BUILDINGS SHALL NOT BE DIRECTED TOWARD RUSSELL ROAD. ALL LIGHTING SHALL BE SHROUDED AND DIRECTED DOWNWARD, AS APPROVED BY TOWN STAFF, IN ORDER TO PREVENT GLARE ONTO ADJACENT PROPERTIES.
- 14. ANY SIGN TO BE INSTALLED ON THE PROPERTY SHALL BE SUBJECT TO STAFF AND/OR
- 15. WETLAND LINE DELINEATED BY MICHAEL GRAGNOLATI, SOIL SCIENTIST. AREA OF WETLANDS ON SITE = 102,311 SQ. FT. ±

PARKING REQUIREMENTS

OFFICE: 5.0 SPACES PER 1,000 SF OF BUILDING FLOOR AREA WAREHOUSE: 0.5 SPACE PER 1,000 SF OF BUILDING FLOOR AREA

EXISTING BUILDING 1

OFFICE: 3,000 SF X 5.0 SPACES / 1,000 SF = 15

WAREHOUSE: 4,500 SF X 0.5 SPACES / 1,000 SF = 2.2

PROPOSED BUILDING 2
OFFICE: 2,000 SF X 5.0 SPACES / 1,000 SF = 10
WAREHOUSE: 6,100 SF X 0.5 SPACES / 1,000 SF = 3.1

TEMPORARY INSTALLATION REDUCTION (25 %) = 9 SPACES

EXISTING BUILDING 3

OFFICE: 336 SF X 5.0 SPACES / 1,000 SF = 1.7

WAREHOUSE: 5,664 SF X 0.5 SPACES / 1,000 SF = 2.8

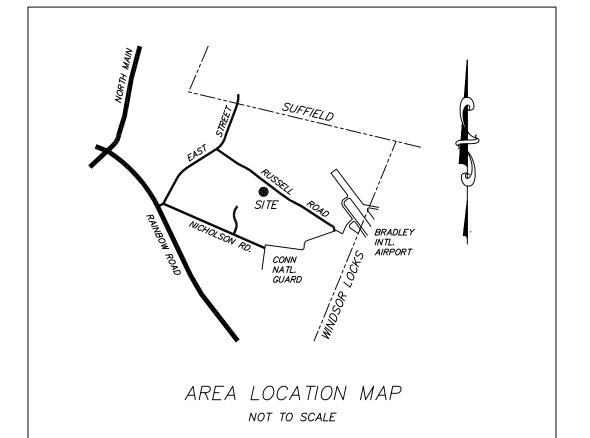
TOTAL MINIMUM NUMBER OF SPACES REQUIRED = 34.8 = 35 SPACES (FULL BUILD-OUT)

PARKING SPACES PROVIDED

NEW: 9
RESERVE: 9

TOTAL: 36 (INCLUDES 1 EXISTING, 1 PROPOSED & 1 FUTURE HANDICAP SPACES)

THE INSTALLATION OF THE RESERVE PARKING SPACES SHALL BE DONE WITHIN 6 MONTHS OF THE PLANNING & ZONING COMMISSION'S REQUEST.



GENERAL NOTES

- 1. PARCEL LOCATION: 38-42 RUSSELL ROAD
- 2. PROPERTY OWNER:

RUSSELL ROAD ASSOCIATES, LLC 38-A RUSSELL ROAD EAST GRANBY, CT 06026

- 3. PARCEL AREA = 485,007 Sq. Ft. = 11.134 Acres.
- 5. THE SUBJECT PARCEL HAS DIRECT ACCESS TO A PUBLIC ROAD.
- 6. HORIZONTAL DATUM: UNKNOWN. BASED ON MAP REFERENCE # MR1.
- 7. EXISTING BUIDINGS LOCATED AS SHOWN.

4. PARCEL ZONE: COMMERCE PARK B

SURVEY NOTES

1. TO MY KNOWLEDGE AND BELIEF, THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AND WERE PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON

- 2. THE TYPE OF SURVEY IS A ZONING LOCATION SURVEY
- 3. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
- 4. HORIZONTAL CLASS OF ACCURACY: A-2

MAP REFERENCES

a.) "LOT COMBINATION PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 30 RUSSELL ROAD & 38-42 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE: 1 IN = 50 FT JANUARY 29, 2021 BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD — UNIT D — WINDSOR, CT 06095 (860)219-9260 www.barresillc.com"

b.) "AS BUILT PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT DECEMBER 12, 2019 SCALE: 1 IN = 40 FT BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD — UNIT D — WINDSOR, CT 06095 (860)219—9260 www.barresillc.com"

c.) "MAP OF INLAND WETLANDS PROPERTY OF MARK OQUISANTI 30 RUSSELL ROAD EAST GRANBY, CONNECTICUT NOVEMBER 3, 2016 SCALE: 1 IN = 50 FT BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD — UNIT D — WINDSOR, CT 06095 (860)219-9260 www.barresillc.com"

d.) "MODIFICATION TO APPROVED SITE PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT JANUARY 31, 2019 BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD — UNIT D — WINDSOR, CT 06095 (860)219—9260 www.barresillc.com" REVISED THROUGH

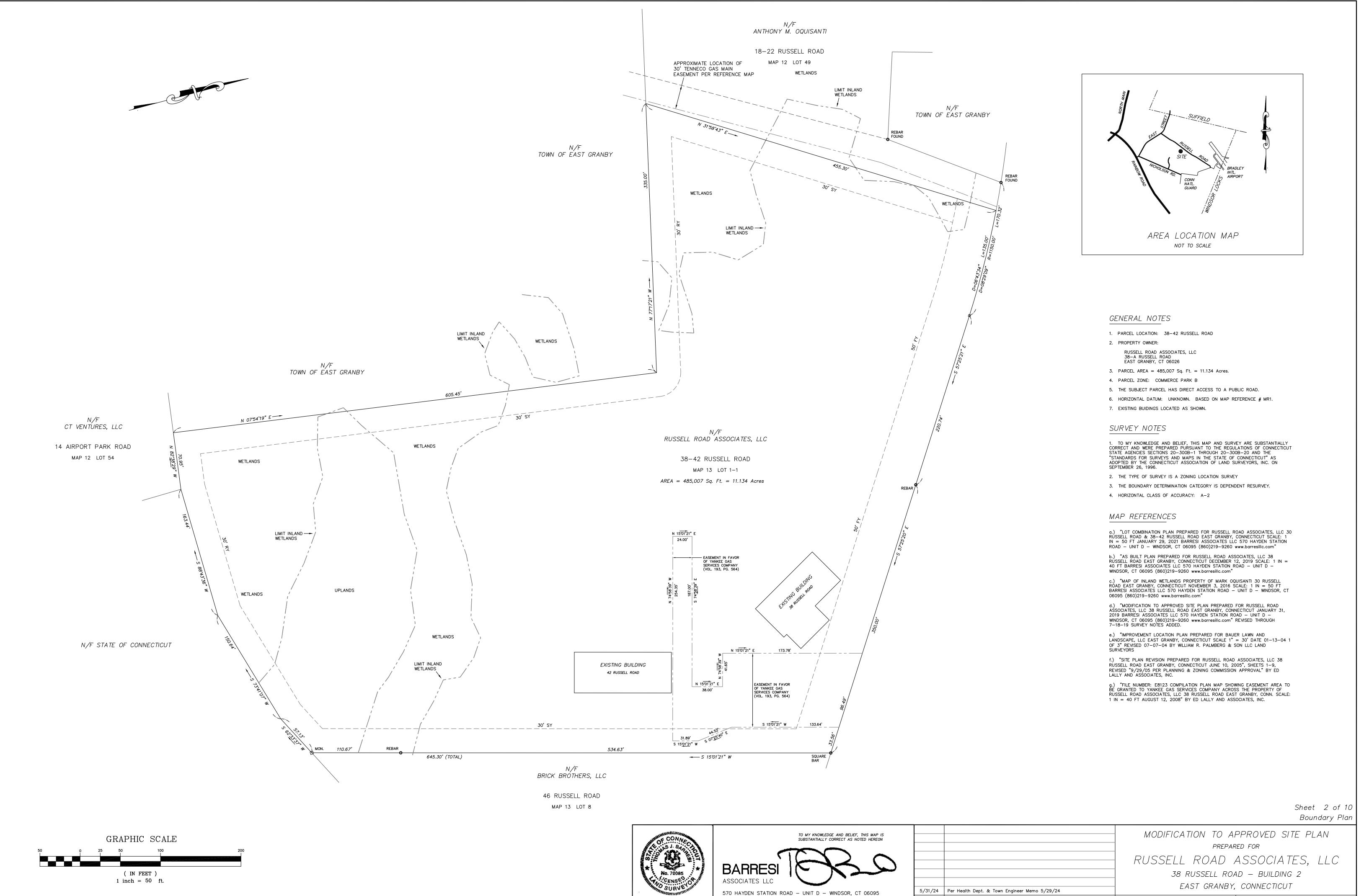
e.) "IMPROVEMENT LOCATION PLAN PREPARED FOR BAUER LAWN AND LANDSCAPE, LLC EAST GRANBY, CONNECTICUT SCALE 1" = 30' DATE 01-13-04 1 OF 3" REVISED 07-07-04 BY WILLIAM R. PALMBERG & SON LLC LAND

f.) "SITE PLAN REVISION PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT JUNE 10, 2005", SHEETS 1-9, REVISED "9/29/05 PER PLANNING & ZONING COMMISSION APPROVAL" BY ED LALLY AND ASSOCIATES, INC.

g.) "FILE NUMBER: E8123 COMPILATION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS THE PROPERTY OF RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONN. SCALE: 1 IN = 40 FT AUGUST 12, 2008" BY ED LALLY AND ASSOCIATES, INC.

Sheet 1 of 10 Cover Sheet

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON				PPROVED SITE PLAN
			PREPAR	RED FOR
			RUSSELL ROAD .	ASSOCIATES, LLC
BARRESI				•
			J 38 RUSSELL RU/	AD — BUILDING 2
ASSOCIATES LLC			EAST CRANDY	CONNECTION
570 HAYDEN STATION ROAD — UNIT D — WINDSOR, CT 06095	5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24	EAST GRANBY, CONNECTICUT	
(860) 219-9260 www.barresillc.com	DATE	REVISION		APRIL 26, 2024

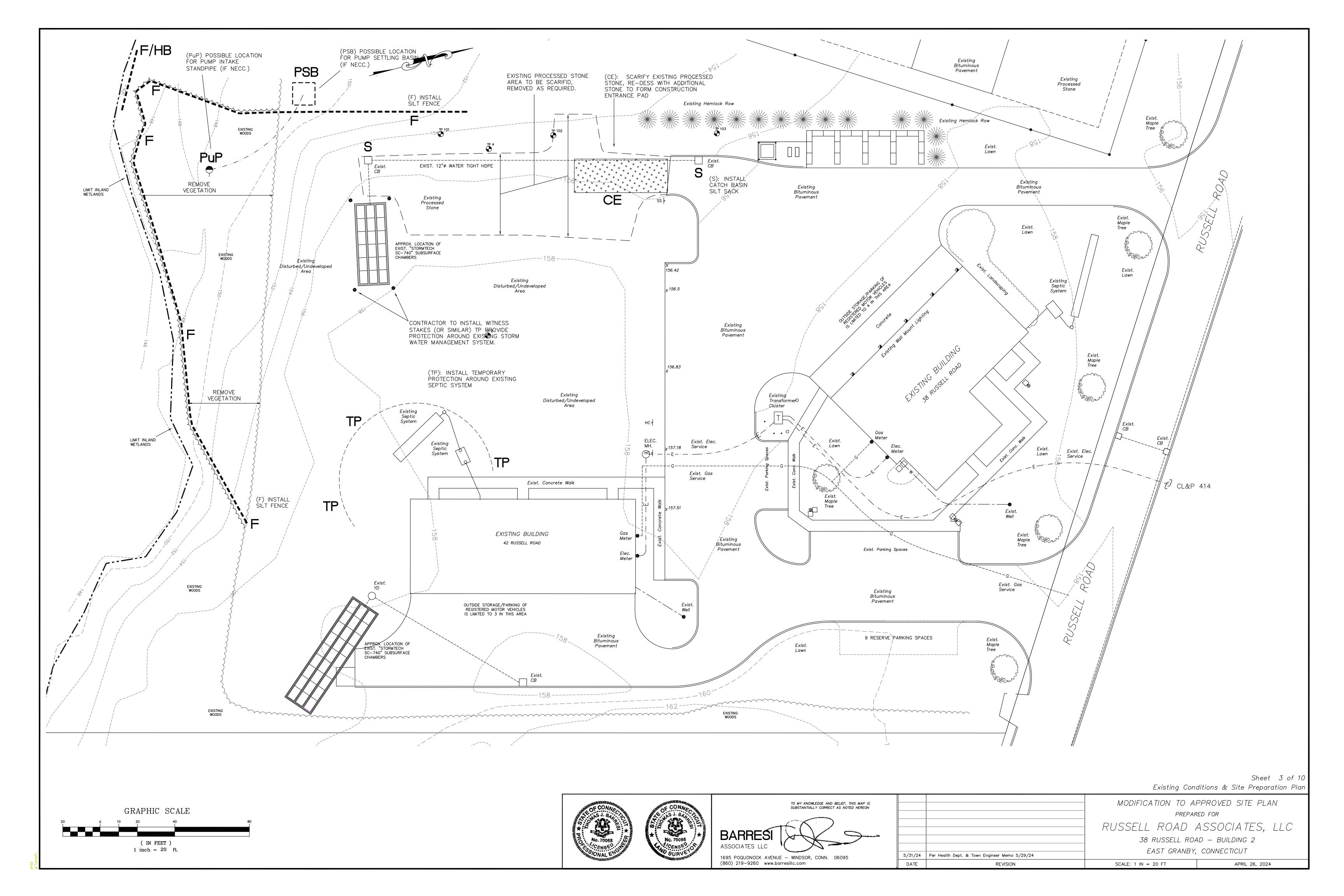


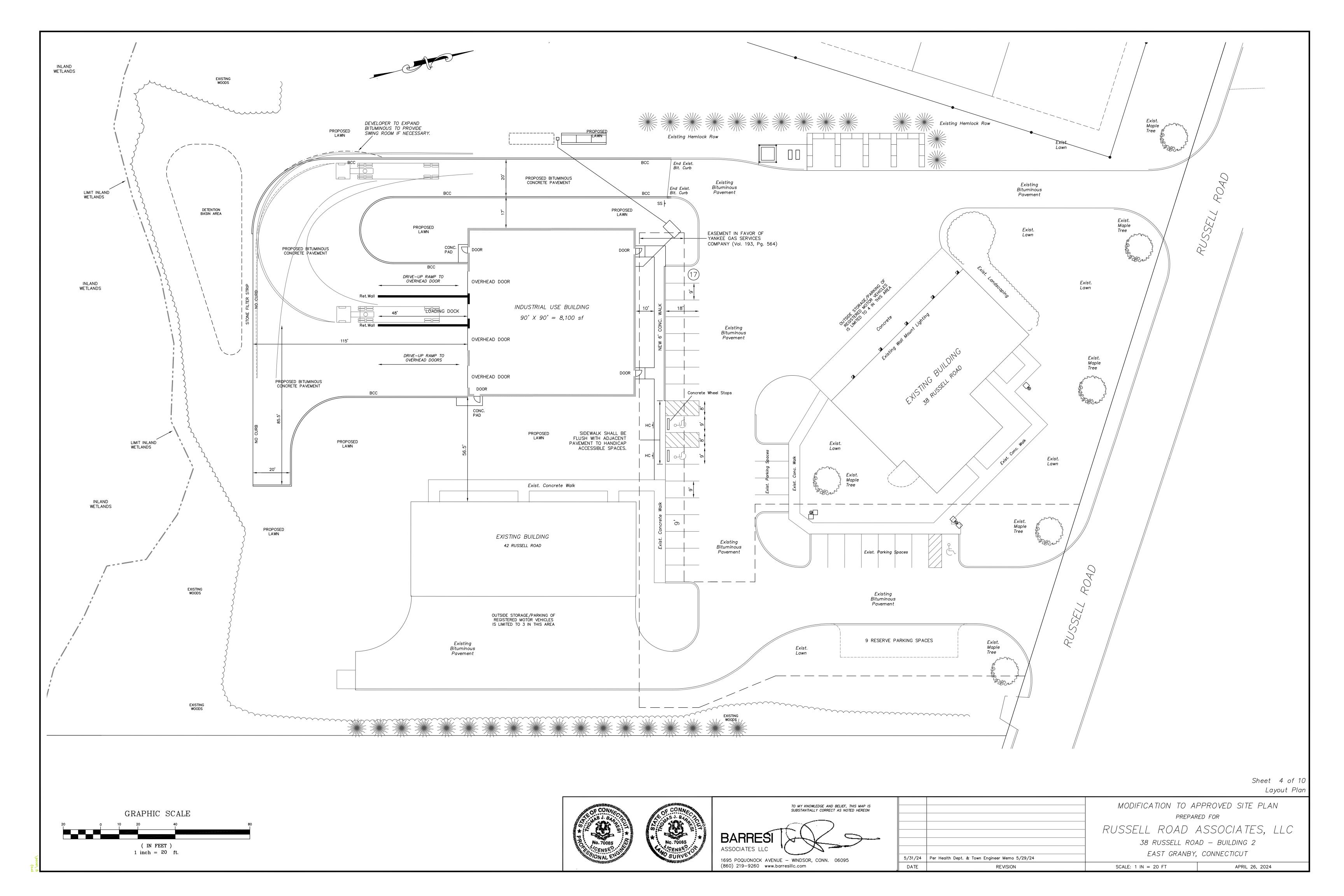
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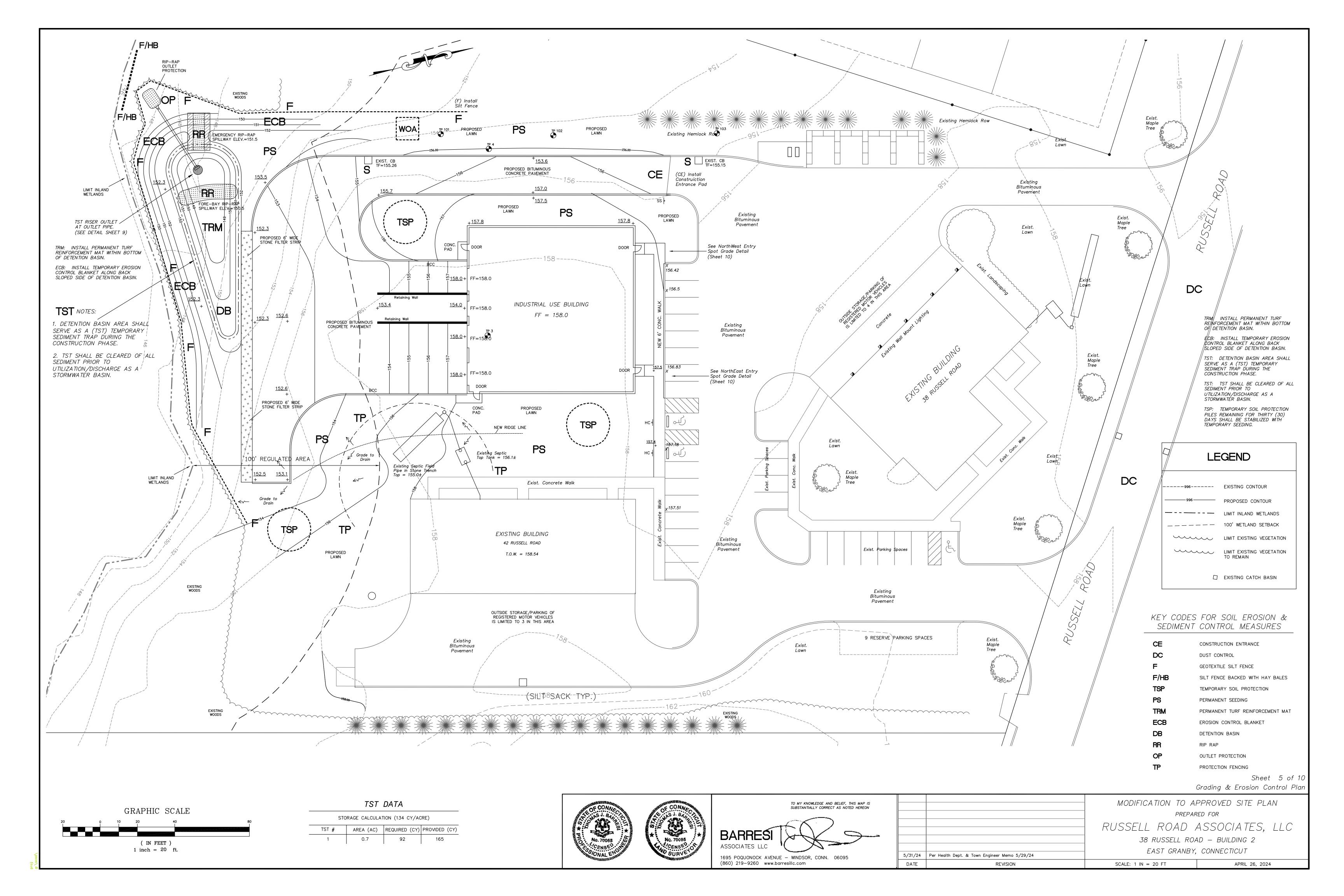
DATE

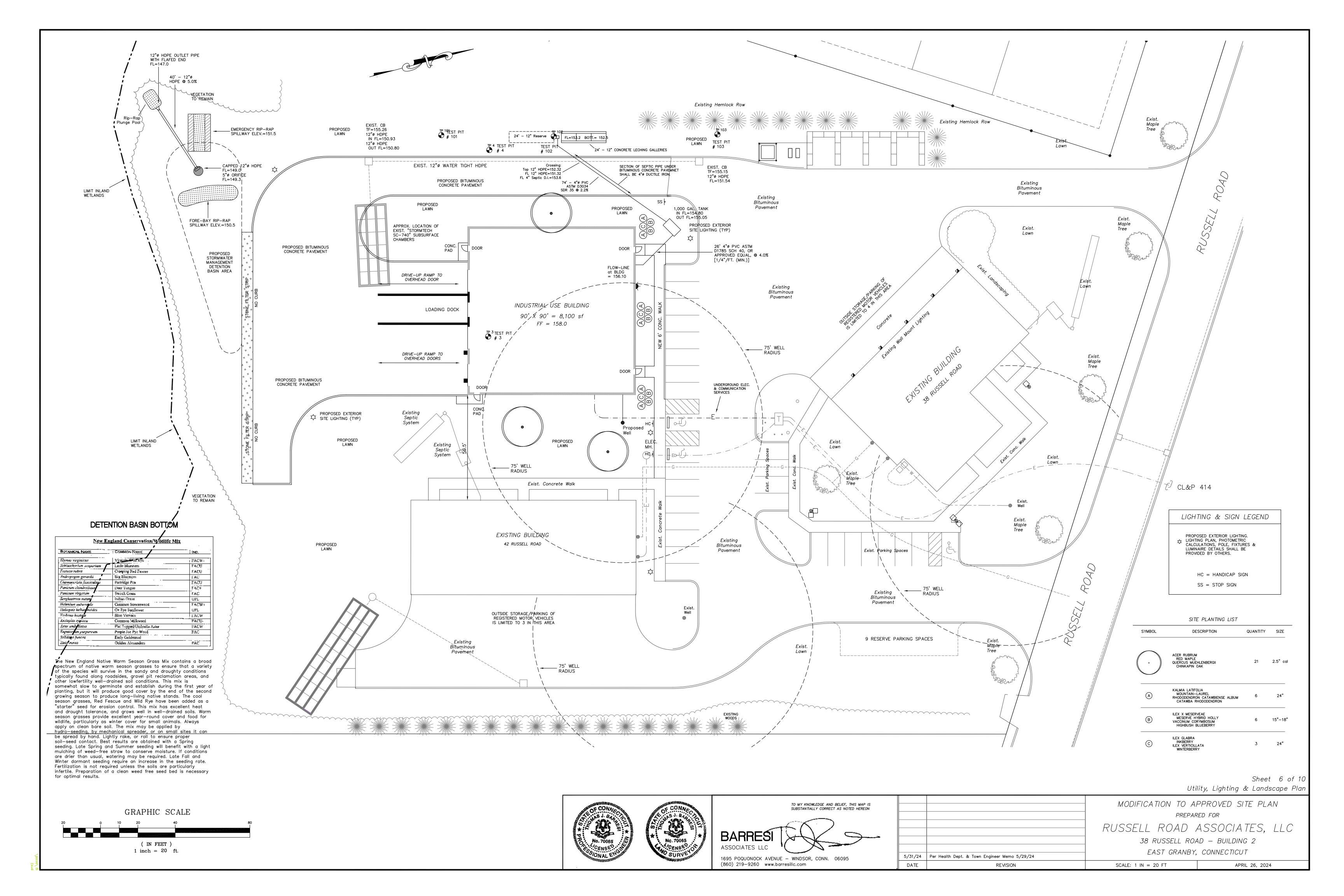
REVISION

SCALE: 1 IN = 50 FT APRIL 26, 2024









SOILS TESTS: BUILDING 2

TEST HOLE	MIN. UNIFORM SEEPAGE RATE (MIN./INCH)		PROFILE H IN INCHES)
3		12-23 23-36	TOPSOIL ORANGE BROWN SANDY LOAM COARSE SAND COMPACT SILTY LOAM
		24 81 NO	
4			TOPSOIL COARSE SAND VERY FINE SAND
		35	MOTTLES TEST HOLE COLLAPSED

SOIL TEST DATA TAKEN FROM REPORT OF SUBSURFACE SOIL EXAMINATION BY D. PALMBERG, WITNESSED BY FARMINGTON VALLEY HEALTH DISTRICT

101

0-12 TOPSOIL
12-23 ORANGE BROWN SUB-SOIL
23-89 MEDIUM SAND

NO MOTTLES
NO WATER
NO HARDPAN
NO LEDGE
NO ROOTS

102

<1 © 26"

0-13 TOPSOIL
13-29 ORANGE BROWN SUB-SOIL
29-93 MEDIUM SAND

41 MOTTLES
58 WATER
NO HARDPAN
NO LEDGE
NO ROOTS

103

0-11 TOPSOIL
11-26 ORANGE BROWN SUB-SOIL

SOIL TEST DATA TAKEN FROM REPORT OF SUBSURFACE SOIL EXAMINATION BY ED LALLY AND ASSOCIATES, INC., WITNESSED BY FARMINGTON VALLEY HEALTH DISTRICT 3—10—05

26-96 MEDIUM SAND

36 MOTTLES 41 WATER NO HARDPAN

NO LEDGE NO ROOTS

1	REQUIRED EFFECTIVE LEACHING AREA & MINIMUM LEACHING SYSTEM SPREAD									
LOT	BEDROOMS	TEST	SLOPE HG (%)	RESTRIC. LAYER (IN.)	PERC RATE (MIN./IN.) @ IN.	HF	FF	PF	MLSS (FT.)	REQ'D. LEACH. AREA (SQ. FT.)
2	4	3	3.1 - 4.0	24		42	.67	1.0	42	
2	4	4	6.1 - 8.0	35		26	.67	1.0	18	
	4	101	6.1 - 8.0	NA	<1 @ 26"	_	.67	1.0	_	134
	4	102	6.1 - 8.0	41		20	.67	1.0	14	134
		103	6.1 - 8.0	36		26	.67	1.0	18	134

SEPTIC SYSTEM DESIGN

SPECIAL CONDITIONS

	SYSTEM DESIGN LARGER THAN 2,000 GPD.		WATER SUPPLY WATERSHED
	HIGH GROUND WATER (< 3 FT.)	X	POSSIBLE SEASONAL HIGH
	WATERCOURSE, MARSH OR PON		GROUND WATER
	LIMITED SUITABLE AREA		POSSIBLE SEASONAL FLOODING
	MARGINAL SOIL (30-60 MINS./IN)		EXCESSIVE SLOPE (OVER 25%)
	UNDERLYING TIGHT SOIL (< 4 FT.)		SHALLOW LEDGE (< 5 FT)
	OTHER		
CONCLUSIO	NS		
X	SUITABLE FOR SEWAGE DISPOSAL		RETEST DURING WET SEASON
	UNSUITABLE FOR SEWAGE DISPOSAL	X	ENGINEER'S PLAN REQUIRED
	ADDITIONAL INVESTIGATION REQUIRED		

SEPTIC SYSTEM DESIGN REQUIREMENTS - 9 CANTERBURY

- 1.) Population: Ten (10)
- 2.) Daily Load per Capita: 20 GPD
- 3.) Total Daily Load: $10 \times 20 \text{ GPD} = 200 \text{ GPD}$
- 4.) Garbage Disposal: No
- 5.) Large Bathtub: (100 - 200 Gal.): N
- (100 200 Gal.): No (Over 200 Gal.): No
- 6.) Minimum Uniform Percolation Rate (Min/In): < 1
- 7.) Sewage Application Rate: 1.5 GPD / SF
- 8.) Required Leaching Area (sf) = 200 GPD / (1.5 GPD/SF) = 133.3 = 134

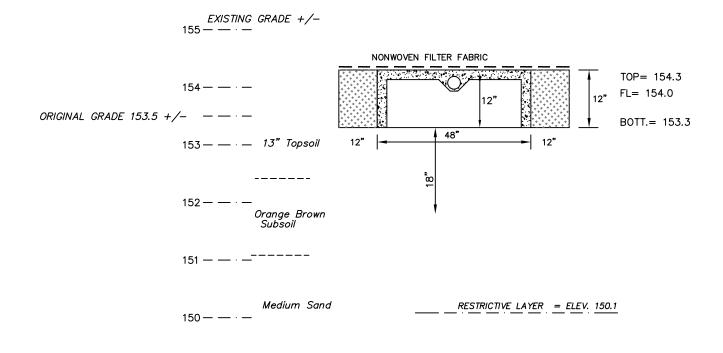
MLSS CALCULATION

- 9.) Slope = 6.1 8.0
- 10.) Depth to Restrictive Layer = 30.1 36.0 11.) Hydraulic Factor (HF) = 26
- 12.) Flow Factor (FF) = 200/300 = .67
- 13.) Percolation Facor (PF) = 1.0
- 14.) MLSS Required = HF X FF X PF = 26 X .67 X 1.0 = 17.4 = 18 Ft.
- 15.) Primary System Design: INSTALL 1 x 24 = 24 FEET OF 12" Concrete Gallery Chambers 16.) Primary Effective Leaching Area = 5.9 SF/LF X 24 LF = 141.6 SF
- 17.) Reserve System Design: INSTALL 1 x 24 = 24 FEET OF 12" Concrete Gallery Chambers 18.) Reserve Effective Leaching Area = 5.9 SF/LF X 24 LF = 141.6 SF
- 17.) MLSS Required = 18 Feet 18.) MLSS Provided = 24 Feet

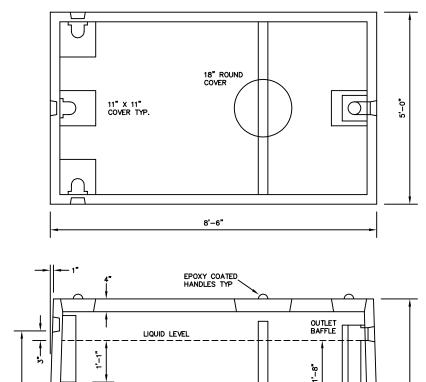
SEPTIC TANK CAPACITY (Gal.)

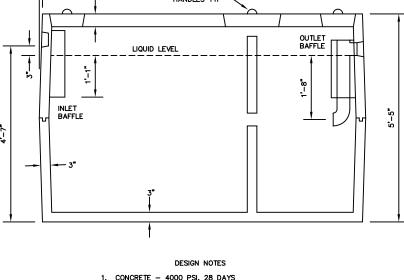
19.) Septic Tank Required Capacity = 1,000 Minimum. Proposed Tank Size = 1,000 Gal.

FINISHED GRADE (GRADE TO DRAIN) 6" MIN. COVER



LEACHING TRENCH SECTION (BASED ON TEST PIT 102)



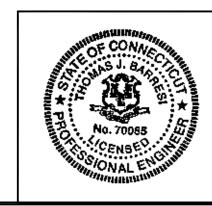


1,000 GALLON TWO COMPARTMENT SEPTIC TANK

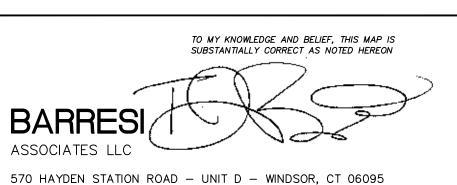
ARROW CONCRETE PRODUCTS AC-3-1000-2 OR EQUAL

Sheet 7 of 10 Septic System Design & Details

APRIL 26, 2024







(860) 219-9260 www.barresillc.com

5/31/24 Per Health Dept. & Town Engineer Memo 5/29/24

DATE REVISION

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC

38 RUSSELL ROAD — BUILDING 2

russell ad\e granby\russell\38\s

EROSION AND SEDIMENTATION CONTROL PLAN

REFERENCE IS MADE TO THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED, AND TO THE TOWN HIGHWAY ENGINEERING STANDARDS AND SPECIFICATIONS HE GUIDELINES ARE OBTAINABLE FROM THE CONNECTICUT COUNCIL ON SOIL AND WATER CONSERVATION, STATE OFFICE BUILDING, HARTFORD, CONNECTICUT 06106, AND SHOULD BE USED AS A REFERENCE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS.

IN ALL AREAS, REMOVAL OF TREES, BUSHES AND OTHER VEGETATION AS WELL AS DISTURBANCE OF THE SOIL IS TO BE KEPT TO AN ABSOLUTE MINIMUM WHILE ALLOWING PROPER DEVELOPMENT OF THE

DURING CONSTRUCTION, EXPOSE AS SMALL AN AREA OF SOIL AS POSSIBLE FOR AS SHORT A TIME

AFTER CONSTRUCTION, GRADE, RESPREAD TOPSOIL AND STABILIZE SOIL BY SEEDING AND MULCHING SO AS TO PREVENT EROSION.

THE CONTRACTOR SHALL NOTIFY THE CODE ENFORCEMENT OFFICER AT THE BEGINNING AND END OF EACH STEP OF THE CONSTRUCTION PROCEDURE AND SHALL NOT PROCEED WITH THE NEXT STEP UNTIL THE TOWN ENGINEER HAS INSPECTED THE WORK.

THE STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, CONNDOT FORM 817, ARE THE STANDARD FOR THIS PROJECT.

STRIPPING AND STOCKPILING

THE CONTRACTOR SHALL CAREFULLY STRIP ALL TOPSOIL, LOAM OR ORGANIC MATERIAL PER THE GEOTECHNICAL REPORT PRIOR TO CONSTRUCTION OPERATIONS AND SHALL STORE THEM SEPARATELY FROM ALL OTHER MATERIALS DURING EXCAVATION. IN AREAS DESIGNATED AS REGULATED AREAS, THE UPPER STRATA TO A DEPTH OF 2 FEET SHALL BE STRIPPED AND STORED SEPARATELY. DURING BACKFILLING, THESE MATERIALS SHALL BE REPLACED AND FINISHED AS THEY EXISTED BEFORE CONSTRUCTION BEGAN, EXCEPT FOR SPECIAL ACCESS WAYS AS NOTED ON THE PLANS.

THE CONTRACTOR SHALL NOT INTRODUCE ANY QUANTITIES OF FILL MATERIALS INTO ANY AREAS DESIGNATED AS REGULATED AREAS EXCEPT AS SHOWN ON THE APPROVED GRADING PLANS.

THE CONTRACTOR SHALL MAINTAIN ALL BACKFILLED EXCAVATION IN PROPER CONDITION UNTIL EXPIRATION OF THE MAINTENANCE PERIOD. ALL DEPRESSIONS APPEARING IN THE BACKFILLED EXCAVATION SHALL BE PROPERLY FILLED AND RESEEDED IF NECESSARY.

DISPOSAL OF TREES AND BRUSH

ALL SAPLING TREES AND BRUSH CUT ON THE JOB SHALL BE CHIPPED FOR DISPOSAL. WOOD CHIPS SHALL BE 1/8 INCH NOMINAL THICKNESS WITH NOT LESS THAN 50 PERCENT OF THE CHIPS HAVING AN AREA NOT LESS THAN ONE (1) SQUARE INCH. NOR MORE THAN SIX (6) SQUARE INCHES. THE CHIPS SHALL BE DISPOSED OF BY UNIFORM SPREADING OVER THE PROJECT IN WOODED AREAS

ALL OTHER CUT TREES AND STUMPS SHALL BE REMOVED FROM THE REGULATED AREAS.

TRENCH EXCAVATION AND BACKFILL

CARE SHALL BE TAKEN TO EXCAVATE TO THE CORRECT LINE AND GRADE AND WIDTH AT ALL POINTS. THE METHODS AND EQUIPMENT USED FOR EXCAVATION MUST BE ADAPTED TO THE CONDITIONS AT THE SITE AND THE DIMENSIONS OF THE REQUIRED TRENCH. THE WIDTH OF THE DISTURBED GROUND OR STREET SURFACE, CUT OR DISTURBED, SHALL BE KEPT AS SMALL AS PRACTICABLE TO

TRENCH EXCAVATION BELOW THE TWO FOOT DEPTH WHICH IS TO BE STRIPPED AND STORED SEPARATELY SHALL BE STOCKPILED AND SHALL BE USED AS THE TRENCH BACKFILL MATERIAL IN THE WETLANDS AREA, UNLESS THE ENGINEER DECLARES IT UNSUITABLE FOR BACKFILL MATERIAL. EXCESS EXCAVATED MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR IN AN AREA DESIGNATED BY THE ENGINEER.

THE FINAL RESTORATION AND RESEEDING SHALL BE DONE IN ACCORDANCE WITH OTHER SPECIFICATIONS IN THIS CONTRACT.

EROSION AND SEDIMENTATION CONTROL MEASURES

F.. SYNTHETIC FILTER BARRIER FENCE AS SPECIFIED IS TO BE INSTALLED AT ALL LOCATIONS AS INDICATED ON THE PLANS TO INTERCEPT SILT AND SEDIMENT BEFORE IT REACHES THE DRAINAGE SYSTEM, WETLANDS OR WATERCOURSES. DEPOSITS OF SEDIMENT AND SILT ARE TO BE PERIODICALLY REMOVED FROM THE UPSTREAM SIDE OF THE FENCE. THIS MATERIAL IS TO BE SPREAD AND STABILIZED IN AREAS NOT SUBJECT TO EROSION, OR TO BE USED AS FILL IN AREAS WHICH ARE NOT TO BE PAVED OR BUILT ON. THE FENCE IS TO BE REPLACED AS NECESSARY TO PROVIDE PROPER FILTERING ACTION. THE FENCE IS TO REMAIN IN PLACE AND TO BE MAINTAINED TO INSURE EFFICIENT SILTATION CONTROL UNTIL ALL AREAS ABOVE THE FENCE ARE STABILIZED AND VEGETATION HAS BEEN ESTABLISHED.

ESTABLISHING VEGETATION COVER ON DISTURBED AREAS

- 1. SCARIFY SURFACE OF ALL AREAS TO BE TOPSOILED AND PLACE A MINIMUM OF 10" OF TOPSOIL ON ALL AREAS TO BE SEEDED.
- APPLY LIME AT A RATE OF TWO TONS OF GROUND LIMESTONE PER ACRE
- FERTILIZE
- a) FOR SPRING SEEDING, APPLY 10-10-10 FERTILIZER AT A RATE OF 300 LBS, PER ACRE (7 LBS./1000 SQ. FT.) AND WORK INTO SOIL. SIX TO EIGHT WEEKS LATER, APPLY AN ADDITIONAL 300 LBS. PER ACRE ON THE SURFACE.
- b) FOR FALL SEEDING, APPLY 10-10-10 FERTILIZER AT A RATE OF 600 LBS. PER ACRE (14 LBS./1000 SQ. FT.) AND WORK INTO SOIL.
- SMOOTH AND FIRM SEEDBED, APPLY SEED UNIFORMLY AT THE RATE SPECIFIED FOR THE SEED TYPE AND COVER SEED WITH NOT MORE THAN 1/4" OF SOIL.
- MULCH IMMEDIATELY WITH HAY FREE FROM WEAK SEEDS, AT A RATE OF 3 BALES PER
- PERMANENT SEEDINGS, WHERE AN AREA WILL BE EXPOSED FOR MORE THAN ONE YEAR, OR WHERE FINAL GRADING IS COMPLETE: (EXCEPT FOR TOWN R.O.W. AND ADJACENT AREAS)

AREA WHERE SEED MIX APPLIES	SEEDING MIXTURE BY WEIGHT	RATE PER 1000 SQ. FT.	SEEDING DATES
ALL LAWN AREAS	CREEPING RED FESCUE KENTUCKY BLUEGRASS PERENNIAL RYEGRASS	0.45 LB 0.45 LB 0.10 LB 1.00 LB	APRIL 15 — JUNE 15 OR AUGUST 15 — SEPT 15
ROAD CUTS & FILLS AND DIVERSION DITCHES	CREEPING RED FESCUE REDTOP TALL FESCUE OR SMOOTH BROMEGRASS	0.45 LB 0.05 LB 0.45 LB 0.95 LB	APRIL 15 — JUNE 15 OR AUGUST 15 — SEPT 15
VERY STEEP SLOPES	CREEPING FESCUE REDTOP CROWN VETCH	0.45 LB 0.05 LB 0.35 LB 0.85 LB	APRIL 15 — JUNE 15 OR AUGUST 15 — SEPT 15
NO MAINTENANCE AREAS	RED CANARYGRASS REDTOP	0.45 LB 0.10 LB 0.55 LB	APRIL 15 — JUNE 15 OR AUGUST 15 — SEPT 15

IF TREES ARE TO BE RETAINED, THE SEED MIX SHOULD BE ADAPTED FOR SHADY CONDITIONS.

TEMPORARY SEEDING: TO PROTECT THE SOIL OVER THE WINTER.

(EXCEPT FOR TOWN	(EXCEPT FOR TOWN R.O.W. AND ADJACENT AREAS)					
SPECIES	RATE PER 1000 SQ. FT.	OPTIMUM SEEDING DATE (1), (3)	OPTIMUM SEED DEPTH (2)			
ANNUAL RYEGRASS	1.0	3/1 - 6/15 8/1 - 10/1	0.5			
PERENNIAL RYEGRASS	1.0	3/15 - 6/15 8/1 - 10/1	0.5			
WINTER RYE	3.0	4/15 - 6/15 8/15 - 10/1	1.0			
OATS	2.0	3/1 - 6/15 8/1 - 10/1	1.0			
WHEAT	3.0	4/1 - 6/15 8/15 - 10/1	1.0			
MILLET	0.5	6/1 - 7/1 5/15 - 8/15	1.0			
SUDANGRASS	0.7	5/15 - 8/15	1.0			
BUCKWHEAT	0.4	4/1 - 9/15	1.0			
WEEPING LOVEGRASS	0.2	6/1 - 7/1	0.25			

- (1) MAY BE PLANTED THROUGHOUT SUMMER IF SOIL MOISTURE IS ADEQUATE OR CAN BE IRRIGATED. (2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOIL.
- (3) THE FALL SEEDING DATES MAY BE EXTENDED 15 DAYS IN THE COASTAL TOWNS OF NEW

LONDON, MIDDLESEX, NEW HAVEN AND FAIRFIELD COUNTIES. SOURCE: U.S. DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, STORRS, CONN.

ORGANIC MULCH MATERIALS AND APPLICATION RATES

MULCHES	RATES PER ACRE	RATES (2) PER 1000 SQ.FT.	NOTES
STRAW OR HAY	1 1/2 – 2 TONS	70 – 90 LBS.	FREE FROM WEEDS AND COARSE MATTER. MUST BE ANCHORED. SPREAD WITH MULCH BLOWER OR BY HAND.
WOOD FIBER	1000 – 2000 LBS.	25 - 50 LBS.	FIBERS 4MM OR LONGER. DO NOT USE ALONE IN WINTER OR DURING HOT, DRY WEATHER. APPLY AS SLURRY.
CORN STALKS	4 — 6 TONS	185 – 275 LBS.	CUT OR SHREDDED IN 4—6 INCH LENGTHS. AIR DRIED. DO NOT USE IN FINE TURF AREAS. APPLY WITH MULCH BLOWER OR BY HAND.

(2) SEED AT TWICE THE INDICATED DEPTH FOR SANDY SOIL.

SEEDING MIX FOR ROAD R.O.W AND ADJACENT AREAS

SPECIES	PROPORTION BY WEIGHT (%)	MINIMUM PURITY (%)	MINIMUM GERMINATION (%)
PERENNIAL RYE GRASS	50 PARTS	98	90
KENTUCKY BLUE GRASS	20 PARTS	85	75
FINE FESCUE	30 PARTS	98	85

APPLY SEEDING PER "TECHNICAL SPECIFICATION 415 LOAMING, SEEDING, HYDROSEEDING, SODDING, AND EROSION CONTROL MATTING'

INSTALLATION REQUIREMENTS FOR ORGANIC MULCHES

ORGANIC MULCHES MAY BE USED IN ANY AREA WHERE MULCH IS REQUIRED, SUBJECT TO THE RESTRICTIONS NOTED IN FIGURE 7-1.

MATERIALS

SELECT MULCH MATERIAL BASED ON SITE CONDITIONS, AVAILABILITY OF MATERIALS, AND LABOR AND EQUIPMENT. FIGURE 7-1 LISTS THE MOST COMMONLY USED ORGANIC MULCHES. OTHER MATERIALS MAY BE USED WITH THE PERMISSION OF THE APPROVING AUTHORITY.

2. PRIOR TO MULCHING

COMPLETE THE REQUIRED GRADING AND INSTALL NEEDED SEDIMENT CONTROL MEASURES.

MULCH MATERIALS SHALL BE SPREAD UNIFORMLY, BY HAND OR MACHINE.

WHEN SPREADING STRAW OR HAY MULCH BY HAND, DIVIDE THE AREA TO BE MULCHED INTO APPROXIMATELY 1000 SQUARE FOOT SECTIONS AND PLACE 70-90 LBS $(1-1/2\ TO\ 2\ BALES)$ OF STRAW OR HAY IN EACH SECTION TO INSURE UNIFORM DISTRIBUTION.

4. ORGANIC MULCH ANCHORING

STRAW OR HAY MULCH MUST BE ANCHORED IMMEDIATELY AFTER SPREADING TO PREVENT WINDBLOWING. OTHER ORGANIC MULCHES DO NOT REQUIRE ANCHORING. THE FOLLOWING METHODS OF ANCHORING STRAW OR HAY MAY BE USED.

A. MULCH ANCHORING TOOL

OPERATED ON THE CONTOUR.

THIS IS A TRACTOR-DRAWN IMPLEMENT DESIGNED TO PUNCH MULCH INTO THE SOIL SURFACE. THIS METHOD PROVIDES MAXIMUM EROSION CONTROL WITH STRAW. IT IS LIMITED TO USE ON SLOPES NO STEEPER THAN 3 TO 1 (3 HORIZONTALLY TO 1 VERTICALLY), WHERE EQUIPMENT CAN OPERATE SAFELY. MACHINERY SHALL BE

- APPLY MULCH AND DRIVE TRACKED EQUIPMENT UP AND DOWN SLOPE OVER ENTIRE SURFACE SO CLEAT MARKS ARE PARALLEL TO CONTOUR.

INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.

ALL MULCHES MUST BE INPSECTED PERIODICALLY. IN PARTICULAR AFTER RAINSTORMS, TO CHECK FOR RILL EROSION. NETTING SHOULD BE INSPECTED AFTER RAINSTORMS FOR DISLOCATION OR FAILURE. F WASHOUTS OR BREAKAGE OCCUR, REINSTALL NETTING AS NECESSARY AFTER REPAIRING DAMAGE TO THE SLOPE. INSPECTIONS SHOULD TAKE PLACE UNTIL GRASSES ARE FIRMLY ESTABLISHED. GRASSES SHALL NOT BE CONSIDERED ESTABLISHED UNTIL A GROUND COVER IS ACHIEVED WHICH IS MATURE ENOUGH TO CONTROL SOIL EROSION AND TO SURVIVE SEVERE WEATHER CONDITIONS. WHERE MULCH IS USED IN CONJUNCTION WITH ORNAMENTAL PLANTING. INSPECT PERIODICALLY THROUGHOUT THE YEAR TO DETERMINE IF MULCH IS MAINTAINING COVERAGE OF THE SOIL SURFACE: REPAIR AS NEEDED.

SOIL EROSION & SEDIMENTATION CONTROL NARRATIVE

1. DEVELOPMENT TYPE:

ADDITION TO EXISTING COMMERCIAL BUILDING WITH REVISED/ADDITIONAL ACCESS DRIVES, PARKING AND RELATED INFRASTRUCTURE SCHEDULE:

EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED PER THE BUILDING & SITE CONSTRUCTION SEQUENCE ON THIS PLAN. ADDITIONAL SEDIMENTATION CONTROLS ARE TO BE INSTALLED BY THE CONTRACTOR AS REQUESTED BY THE TOWN ENGINEER AS ARE NECESSARY TO CONTROL EROSION AND PROTECT THE SITE AND ADJACENT PROPERTIES FROM SEDIMENTATION.

3. INSTALLATION REQUIREMENTS:

SEE "EROSION & SEDIMENTATION CONTROL DETAILS" PLAN FOR APPROPRIATE CONSTRUCTION AND INSTALLATION REQUIREMENTS FOR EROSION CONTROLS.

4. MAINTENANCE REQUIREMENTS:

EROSION AND SEDIMENTATION CONTROLS SHALL BE MAINTAINED PER SOIL EROSION & SEDIMENTATION CONTROLS AND INSPECTION REQUIREMENTS ON THIS PLAN. THE CONRACTOR SHALL MAINTAIN AND REPLACE ALL EROSION CONTROLS AS NECESSARY TO CONTROL EROSION AND PROTECT THE SITE AND ADJACENT PROPERTIES FROM SEDIMENTATION

NOTIFICATION SCHEDULE

THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER AT LEAST TWO WORKING DAYS BEFORE THE

- 1. INSTALLATION OF EROSION & SEDIMENTATION CONTROL MEASURES
- START OF CONSTRUCTION
- 3. COMPLETION OF ROUGH GRADING
- 4. COMPLETION OF INSTALLATION OF UTILITIES.
- 5. COMPLETION OF FINAL GRADING PRIOR TO PAVING.
- 6. COMPLETION OF PAVING.
- 7. COMPLETION OF FINAL LANDSCAPING.
- 8. PRIOR TO THE REMOVAL OF CONSTRUCTION EROSION & SEDIMENTATION CONTROL MEASURES

BUILDING & SITE CONSTRUCTION SEQUENCE

1. ALL CONSTRUCTION SHALL CONFORM TO THE MATERIALS, CONSTRUCTION METHODS AND TESTING REQUIREMENTS OF CONNDOT FORM 817, AND TOWN OF EAST GRANBY STANDARD DETAILS, UNLESS OTHERWISE

2. THE GENERAL CONTRACTOR SHALL CONTACT THE TOWN PLANNER & BUILDING OFFICIAL (860-653-3444) AND THE TOWN ENGINEER (860-653-9473) TO SCHEDULE AND ATTEND A PRE-CONSTRUCTION MEETING TO EXCHANGE CONTACT INFORMATION AND OBTAIN INSPECTION SCHEDULES AND OTHER REQUIREMENTS.

MORE THAN ONE CONSTRUCTION ACTIVITY MAY TAKE PLACE AT A TIME AND THE SEQUENCE CAN BE ADJUSTED TO REFLECT ACTUAL CONSTRUCTION TIMING REQUIREMENTS. THE TOWN ENGINEERING DEPARTMENT SHALL BE NOTIFIED OF ANY DEVIATION OF THE CONSTRUCTION SEQUENCE.

4. NO FUEL STORAGE FACILITIES ARE PERMITTED ON ANY PORTION OF THE PROJECT.

PHASE 1: SITE PREPARATION;

OBTAIN ALL TOWN PERMITS AS REQUIRED.

- 2. CALL "CALL-DIG" TO HAVE ALL EXISTING UTILITIES MARKED ON SITE AND RECEIVE A PROJECT NUMBER.
- 3. INSTALL SILT SACKS IN CATCH BASINS.
- 4. INSTALL CONSTRUCTION ENTRANCE PADS.
- 5. INSTALL SILT FENCE.

6. STAKE LIMITS OF TEMPORARY TOPSOIL STORAGE PILES AND THE MULCH PILES IF STUMPS ARE TO BE GROUND AND USED AS MULCH ON SITE. INSTALL EROSION CONTROLS AT ALL PILES. REMOVE VEGETATION AND STUMPS. DISPOSE OF TREES, BRUSH, STUMPS AND SIMILAR MATERIAL OFF SITE OR GRIND AND STOCKPILE FOR USE AS MULCH ON SITE. NO CHIPS OR WOOD MAY BE DEPOSITED OR DISCHARGED INTO A WETLANDS AREA. NO STUMPS OR WOOD MAY BE BURIED ON SITE.

EXCESS SOIL MATERIALS SHALL ONLY BE STORED IN STORAGE AREAS LABELED AS SUCH ON THE APPROVED 9. INSPECT, CLEAN, REPAIR OR REPLACE SILT FENCE, SILT SACKS AND OTHER EROSION CONTROLS AS

STRIP TOPSOIL IN AREAS TO BE CUT OR FILLED. STOCKPILE TOPSOIL, SEED AND MULCH. TOPSOIL AND

PHASE 2: DETENTION BASIN STORMWATER MANAGEMENT SYSTEM

A. PHASE 2 WILL BEGIN AT THE DETENTION POND AND THE DETENTION BASIN OUTLET

- B. ALL DISTURBED AREAS IN PHASE 2 SHALL BE IMMEDIATELY TREATED WITH STABILZATION METHODS.
- 1. STRIP AREAS TO BE CUT AND FILLED BEING CAREFUL TO CONTROL DUST AT ALL TIMES. 2. INSTALL SILT FENCE AND HAY BALES DOWN GRADIENT OF PROPOSED RETENTION BASIN AS HOWN ON THE
- 3. ROUGH GRADE AND SHAPE DETENTION BASIN.
- INSTALL DETENTION BASIN OUTLET & SPILLWAY.
- 5. FINE GRADE DETENTION BASIN WITH NATIVE MATERIAL.
- 6. INSPECT / REPAIR / REPLACE DOWN GRADIENT EROSION CONTROLS AS NECESSARY.
- 7. DETENTION BASIN AND OUTLET SHALL SERVE AS A TEMPORARY SEDIEMENT TRAP DURING CONSTRUCTION.
- 8. INSTALL TST OUTLET.

PHASE 3: SITE CONSTRUCTION - BUILDING & INFRASTRUCTURE;

1. INSTALL SILT FENCE AND HAY BALES AS NECESSARY TO PROTECT THE NEWLY CREATED STORMWATER MANAGEMENT DETENTION BASIN.

2. STRIP AREAS TO BE CUT AND FILLED BEING CAREFUL TO CONTROL DUST AT ALL TIMES. 3. ROUGH GRADE SITE. SPREAD EXCESS MATERIAL IN AREAS TO BE FILLED AS SHOWN ON APPROVED

4. EXCAVATE FOR BUILDING FOUNDATION AND ROUGH GRADE BUILDING AREA; CONSTRUCT BUILDING

- 5. BOX OUT ACCESS DRIVES, LOADING AND PARKING AREAS.
- 6. INSTALL SEPTIC SYSTEM. 7. INSTALL UTILITIES (WATER SERVICE, GAS SERVICE, ELECTRIC, ETC.)
- 8. INSTALL PAVEMENT BASE.
- 9. FINE GRADE AND COMPACT PAVEMENT BASE MATERIAL.

INSTALL FIRST COURSE OF BITUMINOUS 1. REMOVE TST RISER AND COLLECTED SEDIMENT IN DETENTION BASIN. CLEAN AND/OR REDRESS OUTLET

- CONTROL RIP-RAP IN DETENTION BASIN AS NECESSARY.
- 12. INSTALL HDPE CAP WITH ORIFICE TO THE OUTLET PIPE.
- 13. INSTALL (ECB) & (TRM) TO DETENTION BASIN. 14. INSTALL FOREBAY RIP-RAP.
- 15. INSTALL STONE FILTER STRIP.
- 16. INSTALL EXTERIOR LIGHTING
- 17. INSTALL LANDSCAPING.
- 18. INSTALL BITUMINOUS CURBING.
- 19. PLACE TOPSOIL ON REMAINING DISTURBED AREAS. 20. RAKE, SEED AND FERTILIZE ALL LAWN AREAS WITHIN AREA OF PROPOSED DEVELOPMENT.
- 21. APPLY TACK COAT AND INSTALL FINISHED COURSE OF PAVEMENT.
- 22. INSTALL ALL PAVEMENT MARKINGS & SIGNAGE. 23. REMOVE ALL EROSION CONTROLS ONCE ALL UPGRADIENT AREAS ARE STABILIZED.

21. CLEAN ALL CATCH BASINS ON-SITE. CATCH BASINS SHALL BE CLEANED WHEN CONSTRUCTION IS COMPLETE WITH A COPY OF THE INVOICE TO THE WETLANDS AGENT BEFORE A C/O IS ISSUED.

DEPARTMNET OF ENERGY & **ENVIRONMETAL PROTECTION**

habitat requirements and behavior of the species.

meadows and seasonal vernal pools.

NDDB DETERMINATION NUMBER: 202103535

In general when working between March 15- November 1:

 Exclusionary practices will be required to prevent any turtle access into construction areas. measures will need to be installed at the limits of disturbance as shown on the plans.

with the ground and be regularly maintained (at least bi-weekly and after major weather events) to secure any gaps or openings at ground level that may let animal pass through. - Prior to construction, all turtles occurring within fencing work area will be relocated to suitable habitat outside disturbance area. This should be performed by a qualified professional familiar with

- Exclusionary fencing be at least 20 inches tall and must be secured to and remain in contact

- The Contractor must search the work area each morning prior to any work being done. - All construction personnel working within the turtle habitat must be apprised of the species description and the possible presence of a listed species.

- Any turtles encountered within the immediate work area shall be carefully moved to an adjacent area outside of the excluded area and fencing should be inspected to identify and remove access point

These animals are protected by law and no turtles should be relocated from the site. - In areas where silt fence is used for exclusion, it shall be removed as soon as the area is stable to allow for reptile and amphibian passage to resume.

- Special precautions must be taken to avoid degradation of wetland habitats including any wet

- No heavy machinery or vehicles may be parked in any turtle habitat.

CONSTRUCTION WASTE & LITTER CONTROL PLAN

The Property Owner and Contractor hereby adopt strict "WASTE CONTROL" and "NO LITTER" policies which will be required of all CONTRACTORS and TRADESMEN

Contractors and Tradesmen will be sensitized to the importance of their relationship with the environment and local regulations, especially as it related to litter and recycling, and instructed not to litter and to recycle properly.

- All Concrete Washout will only occur in the designated Concrete Washout Area. - Concrete Washout shall be contained where the waste can solidify and water can evaporate. - Inspection of the Concrete Washout Areas shall be conducted to assess remaining capacity.
- All site debris and waste building material shall be immediately placed in construction
- No fluid wastes and no prohibited material may be placed in a construction dumpster. - Full dumpsters shall be removed from the site prior to their overtopping.
- All litter on site and on adjacent streets shall be collected daily and disposed of properly - All waste construction material and debris shall be picked up daily and deposited in a
- The adjacent streets shall be policed daily for litter and all litter removed and disposed of. - The adjacent streets shall be swept as necessary to collect any dust or tracked earth

All waste materials and wastewater shall be disposed of in accordance with Local, State and

SOIL EROSION & SEDIMENTATION

AND PROVIDED, ON A WEEKLY BASIS, TO THE TOWN ENGINEER.

CONTROLS AND INSPECTION REQUIREMENTS

CONTRACTOR SHALL PRACTICE EFFECTIVE SOIL EROSION AND SEDIMENT CONTROL, INCLUDING DUST CONTROL PER THE 2002 CT EROSION CONTROL MANUAL DURING CONSTRUCTION AND UNTIL ILL AREAS ARE STABILIZED OR SURFACE TREATED. A MOBILE WATER TANK SHALL BE KEPT ON SITE DURING CONSTRUCTION AND USED TO CONTROL DUST.

EROSION & SEDIMENTATION CONTROL MEASURES (CONSTRUCTION ENTRANCE PADS, SILT FENCE, SILT SACKS, ETC.) MUST BE INSTALLED PRIOR TO ANY MAJOR CLEARING AND/OR GRUBBING OF THE

ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE INSPECTED ON A WEEKLY BASIS AND AFTER A RAINFALL OF 0.5 INCH OR MORE. 4. A WEEKLY INSPECTION REPORT/CHECKLIST IS TO BE COMPLETED AND KEPT ON FILE ON SITE

5. EACH INSPECTION REPORT/CHECKLIST SHALL PROVIDE A RECOMMENDED CORRECTIVE ACTION FOR EROSION AND SEDIMENTATION CONTROL IMPROVEMENTS, AND A DATE THE RECOMMENDED 6. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP SILT FENCE FUNCTIONAL.

IN ALL CASES, DEPOSITS SHALL BE REMOVED WHEN THE ACCUMULATED SEDIMENT HAS REACHED ONE-HALF ABOVE THE GROUND HEIGHT OF THE SILT FENCE. INSPECT, CLEAN, REPAIR OR REPLACE SILT FENCE, SILT SACKS AND OTHER EROSION CONTROLS

FENCE, HAY BALES, STAKES, CRUSHED STONE, AND EQUIPMENT TO INSTALL THEM IS TO BE MAINTÁINED ON THÉ SITE DÚRING CONSTRUCTÍON FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES. DISTURBED SOILS SHALL BE STABILIZED WITHIN 5 DAYS OF INACTIVITY. STABILIZATION IS THE ESTABLISHMENT OF TEMPORARY OR PERMANENT SEEDING WITHIN SEEDING DATES OR WITH HAY

ULCH OUTSIDE IF THESE DATES. ALL DISTURBED AREAS SHALL BE STABILIZED IN THE SPRING NO

B. AN EMERGENCY STOCKPILE OF EROSION CONTROLS INCLUDING, BUT NOT LIMITED TO, SILT

POST CONSTRUCTION INSPECTION & MAINTENANCE

LATER THAN JUNE 1ST AND IN THE FALL NO LATER THAN OCTOBER 1ST OF ANY YEAR.

INSPECT SITE AFTER A RAINFALL OF 1" OR MORE IN 24 HOURS TO CHECK FOR EROSION SCARS, SILT, SEDIMENT AND OTHER DEBRIS, STRUCTURAL INTEGRITY OF RETENTION AREAS AND OPERATION OF STORM SYSTEM OUTLET PROTECTION. EROSION SCARS SHALL BE REPAIRED AND STABILIZED. SILT, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED AND DISPOSED OF APPROPRIATELY, ANY STRUCTURAL OR OPERATIONAL DEFICIENCY SHALL BE CORRECTED TO RETURN THE RETENTION BASIN, STORM SYSTEM OR OTHER ITEM TO A CONDITION CONSISTENT WITH THESE PLANS. INSPECTIONS SHALL CONTINUE UNTIL THESE AREAS AND ANY OTHER DISTURBED AREAS ARE STABILIZED.

2.) PARKING AREA SURFACE CLEANING

SEPTEMBER 15TH

SUBSTANTIAL RAINFALL EVENTS.

a. ALL PAVED AREAS SHALL BE CLEANED OF ACCUMULATED SAND AND SEDIMENT BETWEEN APRIL 1ST AND JULY 1ST, AGAIN BETWEEN SEPTEMBER 15TH AND OCTOBER 15TH.

a. CATCH BASIN RIM AREAS AND SUMPS SHALL BE KEPT CLEAR OF LEAVES, TRASH AND DEBRIS. b. ALL CATCH BASINS SHALL BE INSPECTED ONCE ANNUALLY BETWEEN MAY 1ST

. SUMPS SHALL BE CLEANED WHEN THE DEPTH OF ACCUMULATED SILT OR REACHES 1 FOOT.

d. SILT, SEDIMENT AND OTHER DEBRIS SHALL BE REMOVED AND DISPOSED OF

4.) STORM DRAINAGE PIPES AND STRUCTURES a. ALL STORM DRAINAGE STRUCTURES AND PIPES SHALL BE INSPECTED ONCE BETWEEN MAY 1ST AND SEPTEMBER 15TH

b. PROVIDE MAINTENANCE OR REPAIR AS NECESSARY TO KEEP STORM DRAINAGE STRUCTURES IN PROPER WORKING CONDITION.

5.) DETENTION BASINS, PERMANENT OUTLET PROTECTION & VEGETATED WATERWAYS: a. THESE AREAS SHALL BE INSPECTED AT LEAST ANNUALLY AND AFTER

b. THESE AREAS SHALL BE CLEARED OF EXCESSIVE SEDIMENT DEPOSITS AND INVASIVE PLANT SPECIES. c. DAMAGE AND DETERIORATION OF THESE AREAS SHALL BE REPAIRED PROMPTLY.

6.) DETENTION BASIN OUTLET CONTROL: a. DB OUTLET CONTROL PIPE SHALL BE INSPECTED ANNUALLY. DEBRIS AND SEDIMENT WITHIN THE DETENTION BASIN OR AT THE INLET TO THE OUTLET PIPE SHALL BE REMOVED AS NEEDED OR AT LEAST ONCE PER YEAR BETWEEN MAY 1ST AND SEPTEMBER 15TH.

a. SWALES & STORMWATER DETENTION AREAS SHALL BE MINIMALLY MOWED DURING THE FIRST WEEK OF JULY AND THE LAST WEEK OF SEPTEMBER OF EACH YEAR.

b. A LOG OF ALL INSPECTIONS AND REMEDIAL ACTIONS SHALL BE KEPT BY THE

8.) MATERIAL DISPOSAL a) OWNERS ARE RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE, AND REGULATIONS WHEN DISPOSING OF ANY MATERIAL.

OR SANITARY SEWER. c) SILT AND SEDIMENT SHALL BE DISPOSED OF OFF-SITE IN A PROPER MANNER.

b) WATER AND SEDIMENT FROM CLEANOUT PROCEDURES SHALL NOT BE DUMPED

EROSION AND SEDIMENTATION CONTROL CHECKLIST

11.13 ACRES

SOUTH SIDE OF RUSSELL ROAD

PROJECT DESCRIPTION: CONSTRUCTION OF FENCED IN TRAILER PARKING AREA

RESPONSIBLE PERSONNEL:

GRANBY, CT. 06035

PARCEL AREA:

LOCATION:

LARRY PELLETIER (860) 653-2847 RUSSELL ROAD ASSOCIATES, LLC (860) 653-2847 P.O. BOX 59

EROSION AND SEDIMENT CONTROL PLAN PREPARER:

BARRESI ASSOCIATES LLC (860) 219-9260 111 PROSPECT HILL ROAD WINDSOR, CONNECTICUT 06095

EROSION & SEDIMENT CONTROL MEASURES CHECKLIST:

WORK DESCRIPTION	LOCATION	DATE INSTALLED	INITIALS	DATE REMOVED	INITIALS
CONSTRUCTION ENTRANCE	EXISTING PARKING LOT				
SILT FENCE	TOE OF SLOPES				
	STOCKPILES				
SILT SACKS	EXISTING CATCH BASINS				
TOPSOIL, MULCH & SEED	ALL DISTURBED AREAS				

MAINTENANCE OF MEASURES:

LOCATION	DESCRIPTION OR NUMBER	DATE	INITIA
EXISTING PARKING LOT	CONSTRUCTION ENTRANCE		
TOE OF SLOPES	SILT FENCE		
STOCKPILES	SILT FENCE		
EXISTING CATCH BASINS	SILT SACKS		
ALL DISTURBED AREAS	TOPSOIL, MULCH & SEED		

ROJECT DATES:		
DESCRIPTION	DATE	INITIALS
DATE OF GROUNDBREAKING FOR PROJECT		
DATE OF FINAL STABILIZATION		

SOTTED TURTLE

Procedures for removing an Eastern Box Turtle or Spotted Turtle (if found on site)

1 - Immediately stop all work in the area of the Eastern Box Turtle or Spotted Turtle. 2 - Immediately contact a representative of the General 3 - The General Contractor will gently remove the Turtle from the construction site and place it back into a suitable habita area a minimum of 50' beyond the exterior silt fence. 4 - The General Contractor will inspect the exterior silt fence and other barriers to attempt to determine the point of access and install additional silt fence or other means of blocking future access at this point.

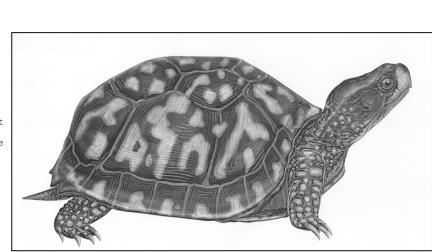
4 - Russell Road Associates, LLC will contact the Town of East Granby Inland Wetland Agent and inform them of the original location and relocation of the turtle.

CONSTRUCTION ENTRANCE DUST CONTROL GEOTEXTILE SILT FENCE SILT FENCE BACKED WITH HAY BALES TEMPORARY SOIL PROTECTION PERMANENT SEEDING PERMANENT TURF REINFORCEMENT MAT DETENTION BASIN

OUTLET PROTECTION

PROTECTION FENCING

RIP RAP



KEY CODES FOR SOIL EROSION & SEDIMENT CONTROL MEASURES

Sheet 8 of 10 Sedimentation & Erosion Control Notes

PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD — BUILDING 2

MODIFICATION TO APPROVED SITE PLAN

EAST GRANBY, CONNECTICUT

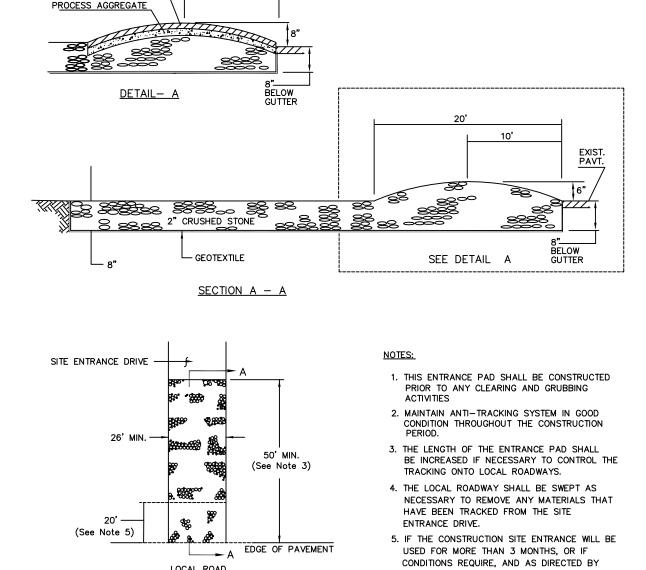
570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860) 219-9260 www.barresillc.com

TO MY KNOWLEDGE AND BELIEF. THIS MAP I SUBSTANTIALLY CORRECT AS NOTED HEREON

5/31/24 | Per Health Dept. & Town Engineer Memo 5/29/24

REVISION

APRIL 26, 2024



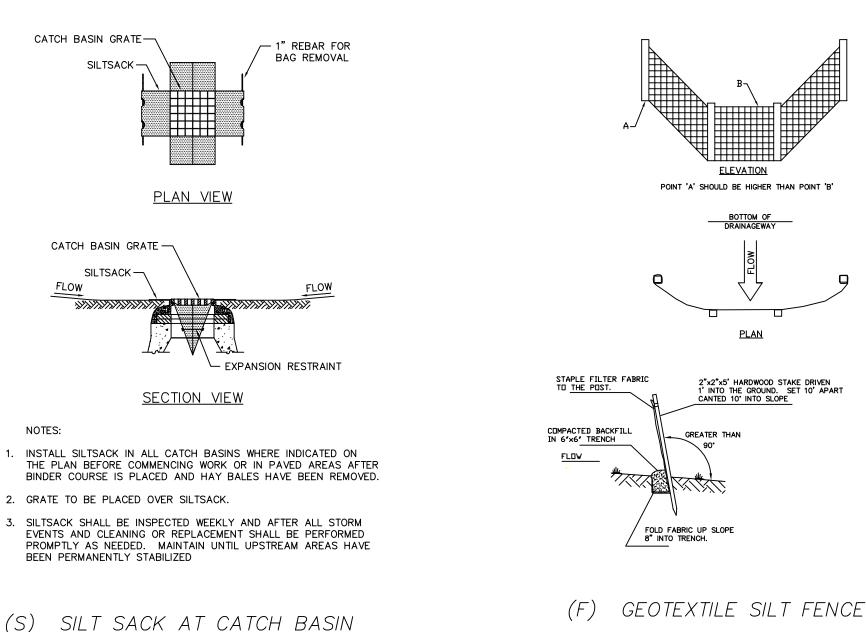
2-1/2" CLASS 1 BIT. CONC. PAVT. WITH 2" LIP.

CRUSHED STONE WITH

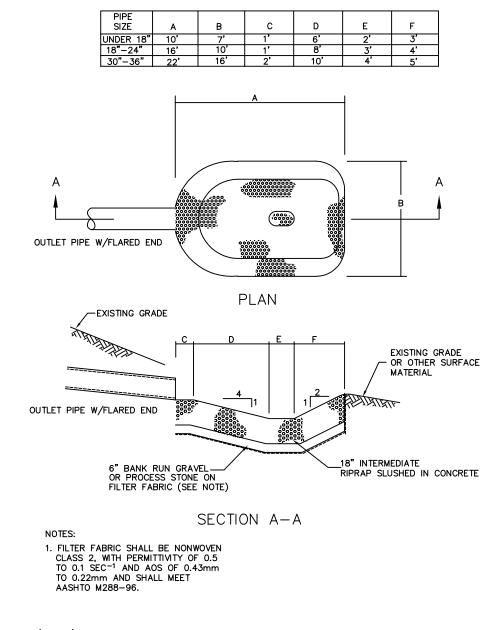


LOCAL ROAD

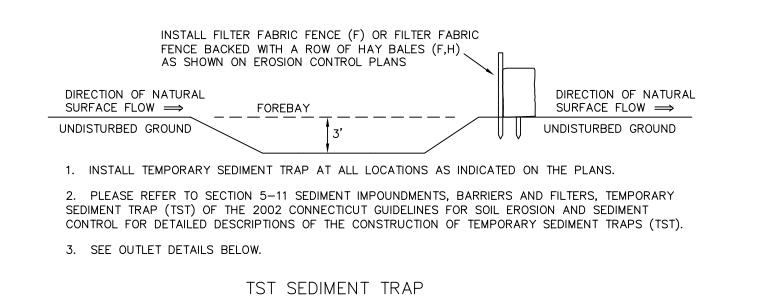
<u>PLAN</u>

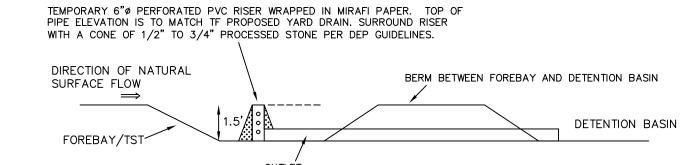






(OP) OUTLET PROTECTION PLUNGE POOL



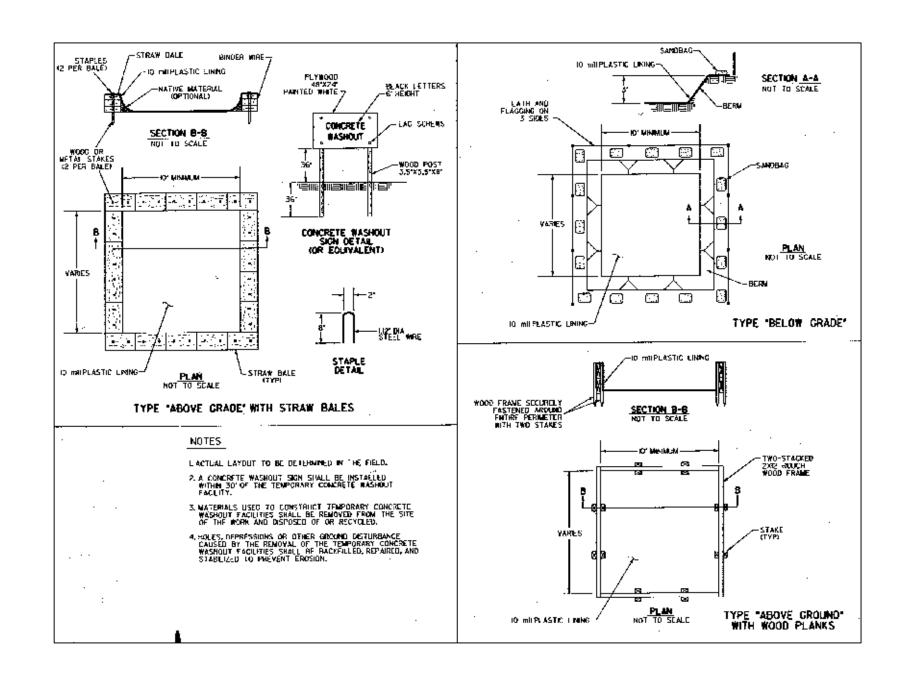


1. INSTALL RISER OUTLET IN TEMPORARY SEDIMENT TRAPS AS INDICATED ON PLANS. 2. WHEN TST STORAGE DEMANDS HAVE BEEN ELIMINATED AND TST'S ARE REMOVED, ALL TEMPORARY 6"Ø PVC AND RISERS ARE TO BE CUT FROM YARD DRAINS OR CATCH BASINS AND REMOVED. CAP

TST RISER OUTLET

AND SEAL ALL 6"Ø TST PVC INLETS TO YARD DRAINS OR CATCH BASINS.

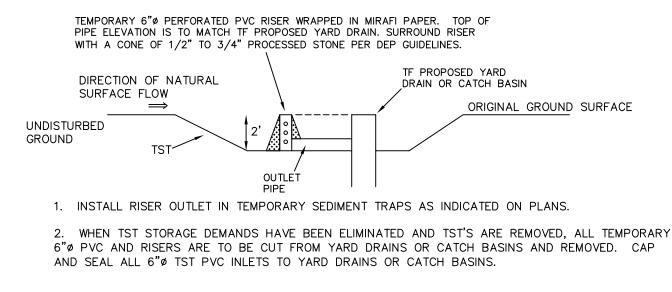
(TST) TEMPORARY SEDIMENT TRAP



THE ENGINEER, THE SITE ENTRANCE DRIVE

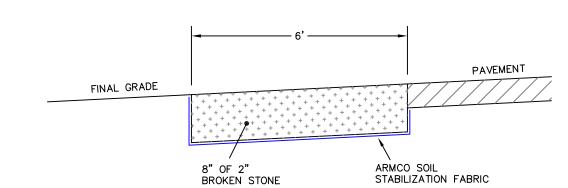
SHALL BE PAVED FOR THE FIRST 20 FEET.

(WOA) CONCRETE WASHOUT AREA



(TST) TEMPORARY SEDIMENT TRAP

TST RISER OUTLET



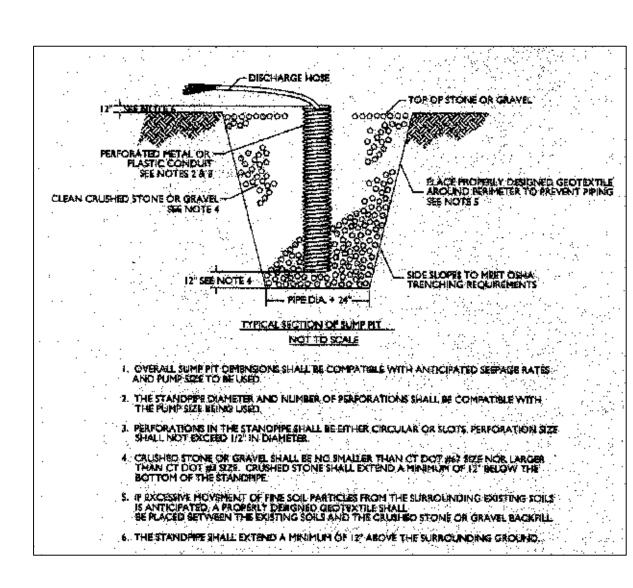
MAINTENACE REQUIREMENTS

1. INSPECT AFTER PAVING OF LOADING/PARKING AREAS.

2. REMOVE ANY SECTIONS OF STONE THAT ARE PLUGGED OR FILLED WITH SEDIMENT, AND REPLACE WITH CLEAN 2" BROKEN STONE.

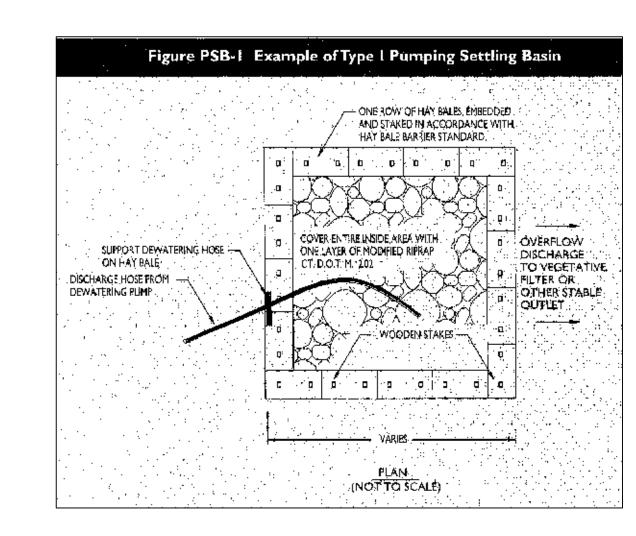
3. INSPECT MONTHLY AND REPEAT STEP #2 AS REQUIRED UNTIL ALL AREAS ARE STABILIZED. 4. INSPECT EACH SPRING AND REPAIR SNOW PLOW DAMAGE. REPEAT STEP #2 AS REQUIRED.

STONE FILTER STRIP



(PuP) PUMP INTAKE

DATE

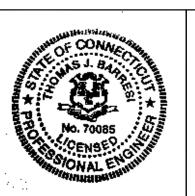


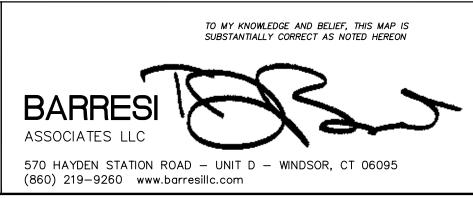
OBTAIN TOWN APPROVAL OF THE PROPOSED LOCATION PRIOR TO INSTALLATION AND INSTALL A PUMP SETTLING BASIN (PSB) AND ASSOCIATED EROSION CONTROLS TO RECEIVE THE DISCHARGE OF PUMPED WATERS WHERE EVER PUMPING IS TO TAKE PLACE. REMOVE PUMP SETTLING BASIN (PSB), EROSION CONTROLS AND ANY SILT OR SEDIMENT AND RESTORÈ ARÉA AFTER PUMPING IS COMPLETE.

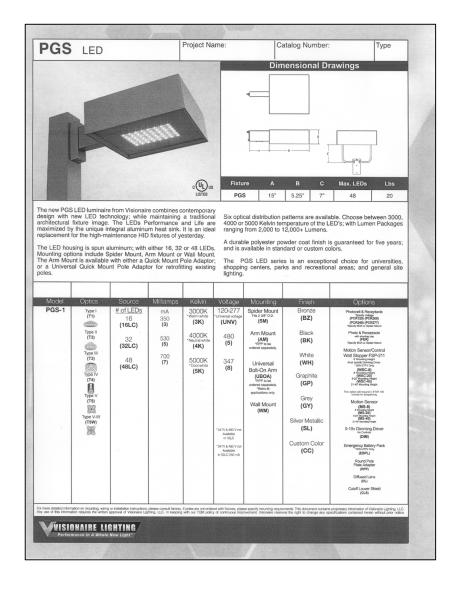
(PSB) PUMP SETTLING BASIN

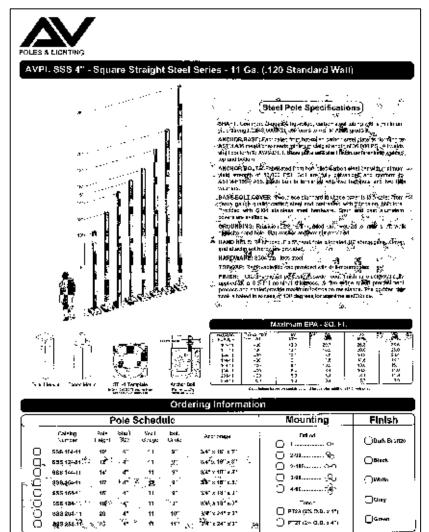
ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF EAST GRANBY STANDARDS AND THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817, WITH LATEST REVISION.

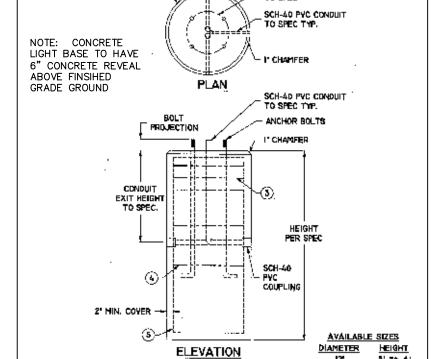
> Sheet 9 of 10 Erosion Control Details











DESIGN NOTES:

L CONCRETE - S,000 PSI, 25 DAYE.

E ANCHOR BOLTS MER STELL REPRUNCIONENT

S (2) PO REMAR HORIZONTAL WASHE F O.C.

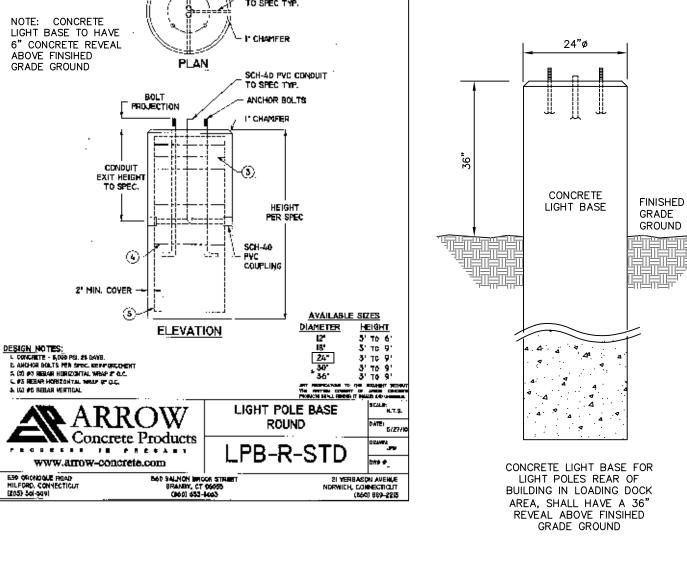
C PSI REMAR HORIZONTAL WASHE F O.C.

S, 100 PSI REMAR HORIZONTAL WASHE F O.C.

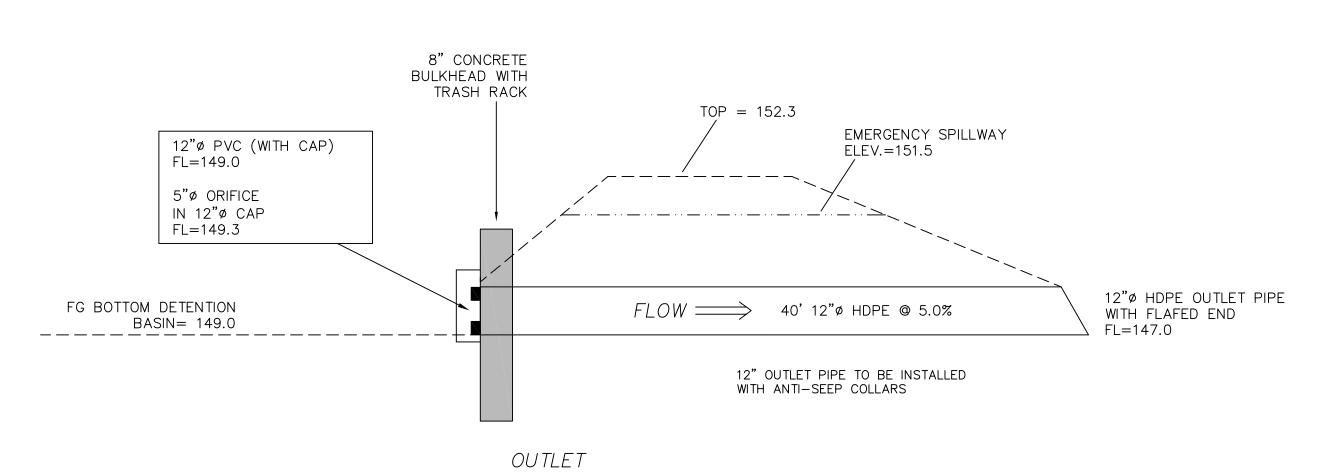
E30 ORCHOOLE PRIAD HILFORD, CONVECTIONT (205) Sol-Sugi

www.arrow-concrete.com

NOTE: SEE BELOW FOR MOUNTING HEIGHT



SITE LIGHTING

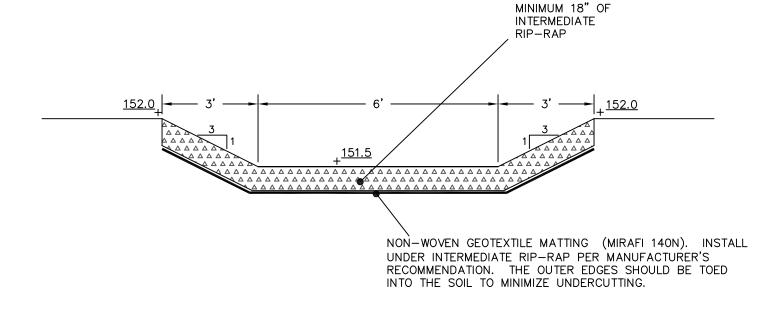




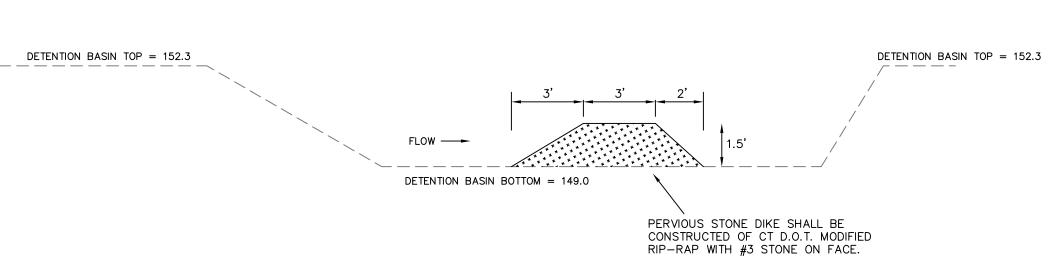
DETENTION BASIN OUTLET STRUCTURE

BULK HEAD DETAIL

NOT TO SCALE

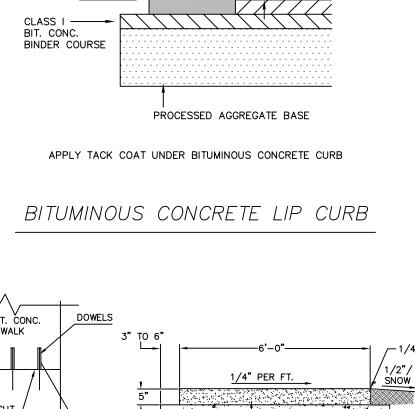


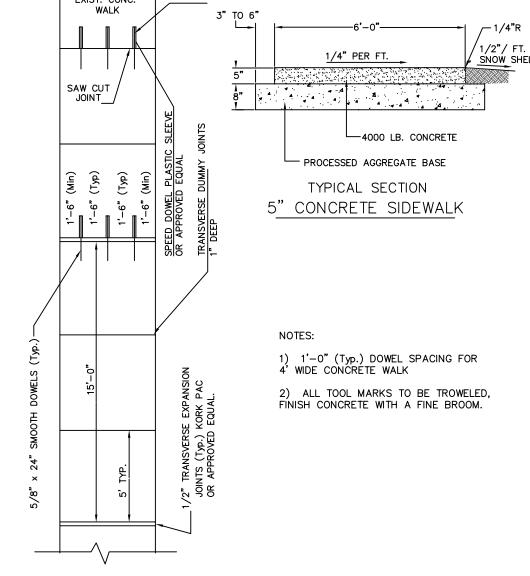
RIP-RAP SPILLWAY - RETENTION BASIN



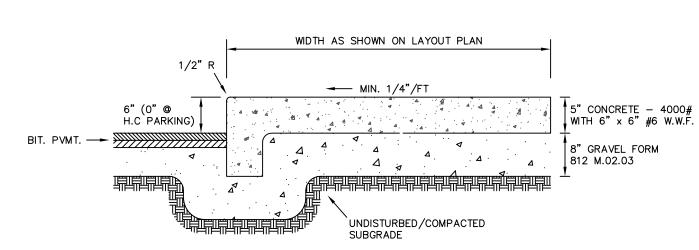
FOREBAY CROSS—SECTION (NTS)

WEAR COURSE BIT. CONC. BINDER COURSE





CONCRETE SIDEWALK

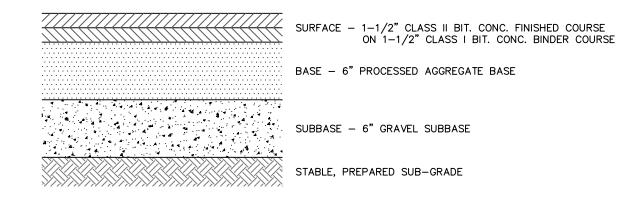


- EXPANSION JOINTS (1/2" PREMOLDED FILLER WITHHELD 1/2" FROM SURFACE) TO BE INSTALLED EVERY 20' (MAX.) O.C. AND WHERE CONCRETE ABUTS ALL BUILDINGS & STRUCTURES. SCORE JOINTS (1/4"W X 3/4" D) TO BE INSTALLED EVERY 5' (MAX.) O.C.
- 2. CURB EDGE TO BE USED WHEREVER CONCRETE WALK ABUTES BITUMINOUS PAVEMENT
- 3. ALL CONC. WALKS TO HAVE WOOD FLOAT FINISH

DATE

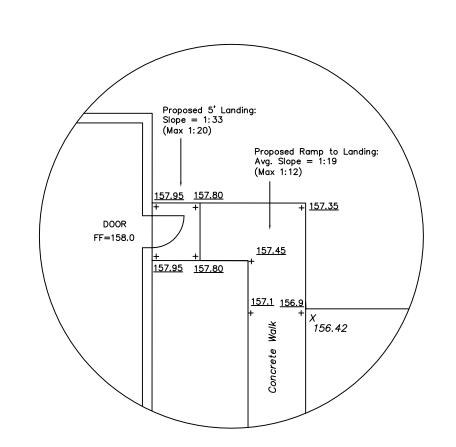
CONCRETE SIDEWALK WITH INTEGRAL CURB

AND THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817, WITH LATEST REVISION.

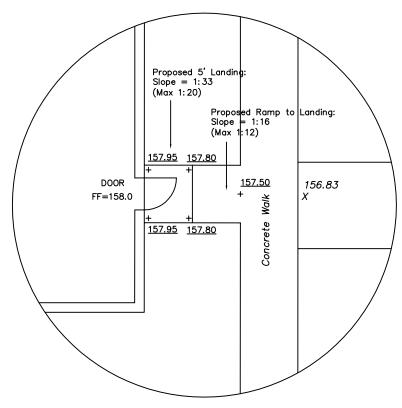


- 1. ALL MATERIAL THICKNESSES ARE FOR COMPACTED DEPTHS. COMPACTION SHALL BE PERFORMED WITH A 10 TON ROLLER.
- 2. WHERE NEW PAVEMENT MATCHES EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT VERTICALLY TO A SMOOTH EDGE AND A TACK COAT APPLIED. AFTER PLACEMENT OF THE PAVEMENT, THE JOINT SHALL BE SEALED WITH A HOT ASPHALT MATERIAL, AC-20 OR APPROVED EQUAL.
- 3. TACK COAT SHALL BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE FOR MORE THAN 72 HOURS.

BITUMINOUS PAVEMENT SECTION



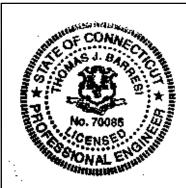
NORTHWEST ENTRY SPOT GRADE DETAIL



NORTHEAST ENTRY SPOT GRADE DETAIL

ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF EAST GRANBY STANDARDS

Sheet 10 of 10 Construction Details





MODIFICATION TO APPROVED SITE PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD — BUILDING 2 EAST GRANBY, CONNECTICUT 5/31/24 | Per Health Dept. & Town Engineer Memo 5/29/24 APRIL 26, 2024 REVISION