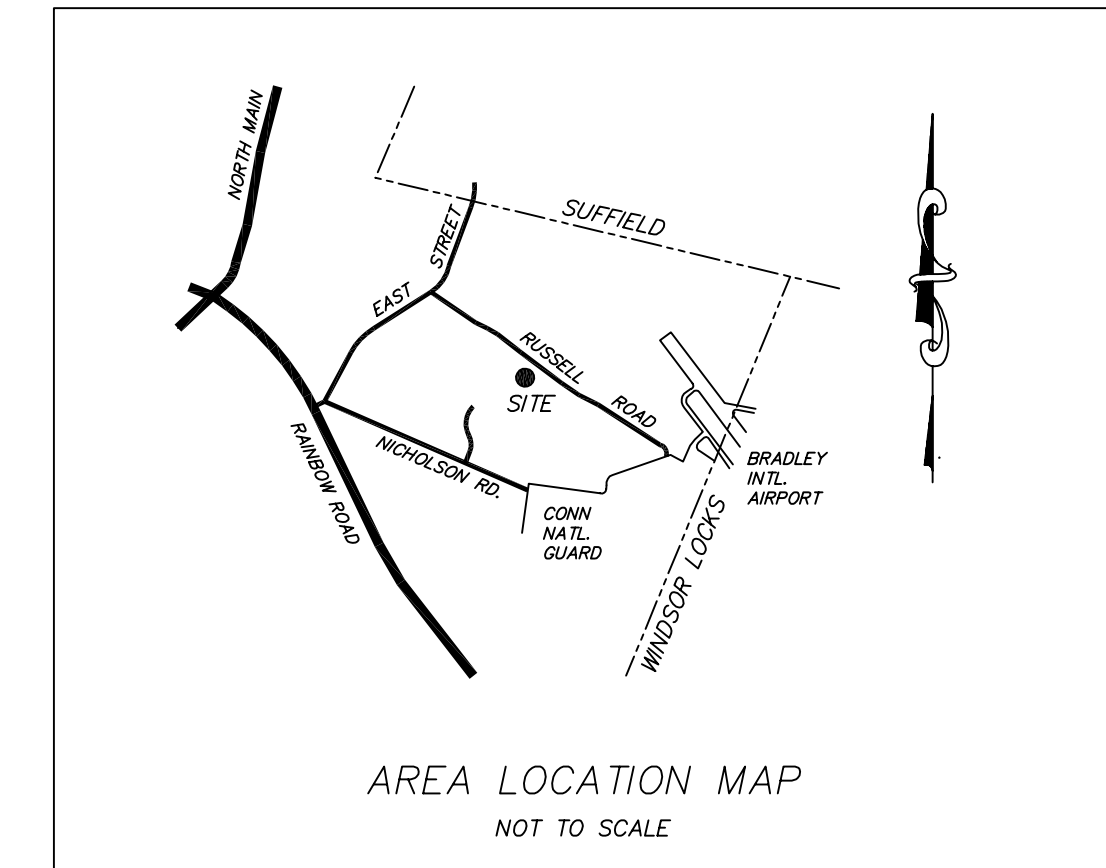


MODIFICATION TO APPROVED SITE PLAN

PREPARED FOR

RUSSELL ROAD ASSOCIATES, LLC

38 RUSSELL ROAD, EAST GRANBY, CONNECTICUT



AREA LOCATION MAP
NOT TO SCALE

ZONE: COMMERCE PARK A	REQUIRED	EXISTING BLDG.	PROPOSED BLDG.
MAX. BUILDING HT. (STORIES) / (FT.)	3.5 / 45	2 / 23	1
MIN. FRONT YARD (FT.)	50	51.6	244.1
MIN. SIDE YARD (FT.)	30	74.5	181.7
MIN. REAR YARD (FT.)	30	334.8	400.4
MAX. LOT COVERAGE (%)	75	14.6	19.7

Activity	Area
TOTAL SITE AREA	485,007 Sq. Ft.
AREA OF WETLANDS	102,311 Sq. Ft.
LENGTH & AREA OF WATERCOURSES	0.00 Acres
UPLAND REVIEW AREA	175,658 Sq. Ft.
PROPOSED LAND AREA DISTURBANCE	54,830 Sq. Ft.
WETLANDS DISTURBED	0.0
WATERCOURSE DISTURBED	0.0
UPLAND REVIEW AREA DISTURBED	21,070 Sq. Ft.

N/F
CT VENTURES, LLC
14 AIRPORT PARK ROAD
MAP 12 LOT 54

N/F STATE OF CONNECTICUT

N/F
TOWN OF EAST GRANBY

N/F
ANTHONY M. OQUISANTI
18-22 RUSSELL ROAD
MAP 12 LOT 49

N/F
TOWN OF EAST GRANBY

N/F
RUSSELL ROAD ASSOCIATES, LLC
38-42 RUSSELL ROAD
AREA = 485,007 Sq. Ft. = 11.134 Acres.

N/F
BRICK BROTHERS, LLC
46 RUSSELL ROAD
MAP 13 LOT 8

INLAND WETLANDS NOTES

1. THE PERMITEE & APPLICANT/DEVELOPER SHALL CONTACT THE TOWN OF EAST GRANBY BUILDING/ENGINEERING DEPARTMENT AT 860-853-3444 TWO WORKING DAYS PRIOR TO STARTING ANY WORK ON THE SITE IN ORDER TO DISCUSS ANY SPECIAL CONDITIONS AND/OR REQUIRED INSPECTIONS.
2. THE PERMITEE & APPLICANT/DEVELOPER SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE WETLANDS AGENT, DEVELOPER, GENERAL CONTRACTOR AND SITE WORK CONTRACTOR PRIOR TO THE START OF ANY CONSTRUCTION, TREE CLEARING OR GROUND DISTURBANCE.
3. PRIOR TO STARTING ANY WORK ON THE SITE, THE CONTRACTOR MUST VERIFY EXISTING SITE CONDITIONS, TOPOGRAPHY AND UTILITIES SHOWN ON THE APPROVED PLAN. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DIFFERENCES BETWEEN CONDITIONS FOUND ON THE SITE AND THOSE DEPICTED ON THE APPROVED PLAN.
4. ALL SOIL STABILIZATION AND SOIL EROSION AND SEDIMENT CONTROL MEASURES, DETAILS, SPECIFICATIONS AND NOTES INCLUDED ON THE FINAL PLANS SHALL BE BOUND ON THE PERMITS AND SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE PLANS OR THE CT 2002 EROSION CONTROL GUIDELINES IF NOT SPECIFIED ON THE PLANS. SOIL STABILIZATION AND EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE MAINTAINED IN WORKING CONDITION FOR THE DURATION OF THE PROJECT.
5. ALL SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED, REPLACED, AND/OR MAINTAINED FOR THE DURATION OF THE PROJECT BY THE DEVELOPER/CONTRACTOR UNTIL ALL DISTURBED AREAS ARE STABILIZED.
6. ANY MODIFICATIONS TO THE REGULATED ACTIVITIES DUE TO THE APPROVAL OR REVIEW OF THE PROJECT BY THE HEALTH DISTRICT, THE DEEP OR OTHER STATE AGENCY, THE ADE OR OTHER FEDERAL AGENCY SHALL SUBMITTED TO THE WETLANDS COMMISSION FOR REVIEW. CHANGES TO THE PLANS APPROVED BY THE WETLANDS COMMISSION CANNOT BE MADE WITHOUT PRIOR APPROVAL OF THE COMMISSION.
7. NO PERMITS SHALL BE ASSIGNED OR TRANSFERRED WITHOUT THE WRITTEN PERMISSION OF THE COMMISSION OR ITS AGENT. THE ASSIGNEE, TRANSFEREE OR OTHER RECIPIENT OF A TRANSFERRED PERMIT SHALL BE BOUND BY ALL REPRESENTATIONS MADE BY THE APPLICANT IN OBTAINING THE PERMIT AND BY ALL THE TERMS, CONDITIONS, LIMITATIONS CONTAINED IN THE PERMIT AND SUCH PERSON SHALL HAVE ALL THE RIGHTS, DUTIES AND OBLIGATIONS OF THE ORIGINAL PERMITEE WHO WAS GRANTED THE PERMIT. REQUESTS FOR PERMIT TRANSFERS ARE TO BE MADE IN WRITING TO THE COMMISSION.
8. ALL ASPECTS OF THE APPROVED PLANS SHALL BE BOUND UPON THE PERMITEE, AND ON THE DEVELOPER AND CONTRACTORS EMPLOYED TO IMPLEMENT THE PROJECT. MODIFICATIONS TO ANY ASPECT OF THE PROJECT OR THE PLANS MAY REQUIRE A REVISED WETLANDS PERMIT.
9. THE REMOVAL OF TREES OR OTHER VEGETATION OR REGRADING OF SOIL SUBSTANTIALLY DIFFERENT FROM THAT SHOWN ON THE GRADING AND EROSION CONTROL PLAN IS NOT PERMITTED WITHOUT PRIOR APPROVAL OF THE TOWN ENGINEERING STAFF.
10. NO EQUIPMENT, MATERIALS OR MACHINERY TO BE STORED, CLEANED, REPAIRED OR REFUELED WITHIN 75 FEET OF THE WETLANDS OR WATERCOURSE.
11. THERE SHALL BE NO STOCKPILING OR DISPOSAL OF SURPLUS MATERIAL, WITHIN OR IMMEDIATELY ADJACENT TO THE WETLANDS OR WATERCOURSES OR THE UPLAND REVIEW AREAS, TEMPORARILY OR PERMANENTLY, EXCEPT AS SHOWN ON THE APPROVED PLANS.
12. THE PERMITEE SHALL PROVIDE AN EMERGENCY STOCKPILE OF SOIL EROSION AND SEDIMENT CONTROL MEASURES, INCLUDING HAY BALES, STAKES, CRUSHED STONE AND EQUIPMENT TO PLACE OR INSTALL THESE MEASURES, FOR USE DURING HEAVY RAINS OR OTHER EMERGENCIES.
13. AFTER CONSTRUCTION IS COMPLETE AND ALL DISTURBED AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES ARE TO BE REMOVED.
14. REMOVAL OF THE TEMPORARY SOIL EROSION AND SEDIMENT CONTROL MEASURES IS NOT PERMITTED UNTIL ALL SITE WORK IS COMPLETE AND EXPOSED SOILS PERMANENTLY STABILIZED TO THE SATISFACTION OF THE WETLANDS AGENT. THE PERMITEE SHALL REQUEST AN INSPECTION BY THE WETLANDS AGENT OF THE COMPLETED PROJECT AT LEAST TWO WEEKS BEFORE REQUESTING THE CERTIFICATE OF OCCUPANCY INSPECTION BY THE BUILDING DEPARTMENT.
15. ANY ADDITIONAL SEDIMENTATION/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE STAFF DURING ANY CONSTRUCTION PROCESS SHALL BE IMPLEMENTED BY THE GENERAL CONTRACTOR. IN ADDITION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR/REPLACEMENT/MAINTENANCE OF ALL SEDIMENTATION/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS ARE STABILIZED TO THE SATISFACTION OF STAFF.
16. THE APPLICANT/DEVELOPER AND/OR CONTRACTOR SHALL PRACTICE EFFECTIVE DUST CONTROL PER THE SOIL CONSERVATION SERVICE HANDBOOK DURING CONSTRUCTION AND UNTIL ALL AREAS ARE STABILIZED OR SURFACE TREATED. THE APPLICANT/DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
17. DURING CONSTRUCTION OF ANY SITE IMPROVEMENTS, A STONE CONSTRUCTION ENTRANCE/EXIT PAD OF AT LEAST 50 FEET IN LENGTH AND THE ENTIRE WIDTH OF THE PROPOSED ENTRANCE DRIVE SHALL BE INSTALLED TO COLLECT ANY SEDIMENT OFF WHEELS OF CONSTRUCTION VEHICLES.
18. THE REMOVAL OF TREES OR OTHER VEGETATION OR REGRADING OF SOIL SUBSTANTIALLY DIFFERENT FROM THAT SHOWN ON THE GRADING AND EROSION CONTROL PLAN IS NOT PERMITTED WITHOUT PRIOR APPROVAL OF THE TOWN ENGINEERING STAFF.
19. ANY EXCESS MATERIAL MUST BE DISPOSED OF IN A SUITABLE MANNER AND LOCATION ACCEPTABLE TO TOWN STAFF.
20. ALL ROOF AND/OR FOUNDATION DRAINS SHALL DRAIN TO A FREE SURFACE OR SHALL BE TIED INTO THE STORM DRAINAGE SYSTEM. ALL FOOTING DRAINS SHALL HAVE A CLEANOUT SUMP AND A BACKWATER VALVE INSIDE THE FOUNDATION OF THE PROPOSED HOUSE. THE TOWN IS NOT RESPONSIBLE FOR THE REPAIR, REPLACEMENT, OR MAINTENANCE OF PRIVATE DRAINS.
21. ALL CONSTRUCTION DEBRIS SHALL BE DISPOSED OF IN DUMPSTERS AND REMOVED FROM THE SITE. ANY CONSTRUCTION MATERIALS OR DEBRIS BLOWN OR BLOWN INTO THE WETLANDS OR WATERCOURSE IS TO BE REMOVED AT ONCE.
22. PLOT PLANS FOR THE DEVELOPMENT OF THE INDIVIDUAL HOUSE LOT IS TO COMPLY WITH THE INTENT OF THE PLANS APPROVED BY THE WETLANDS COMMISSION. PLOT PLANS THAT DO NOT COMPLY ARE TO BE SUBMITTED WITH AN APPLICATION FOR A REVISED WETLANDS PERMIT.
23. LOAM AND SEED ALL DISTURBED AREAS FROM CONSTRUCTION ACTIVITIES WHICH ARE NOT PAVED, MULCHED OR PLANTED PER THE SEDIMENTATION AND EROSION CONTROL DETAILS PLAN.
24. ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE TO BE REMOVED AFTER PERMANENT STABILIZATION OF ALL DISTURBED AREAS HAS BEEN ACHIEVED.
25. PER SECTION 7.5.J OF THE EAST GRANBY INLAND WETLANDS AND WATERCOURSES REGULATIONS, AUTHORIZATION SHALL BE GRANTED TO MEMBERS AND AGENTS OF THE CONSERVATION COMMISSION TO INSPECT THE SUBJECT LAND AT REASONABLE TIMES, DURING PENDENCY OF AN APPLICATION AND FOR THE LIFE OF THE PERMIT.

SITE DEVELOPMENT NOTES

1. LOT IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2 % ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON FIRM FLOOD INSURANCE RATE MAP 09003C0204F, EFFECTIVE DATE: SEPTEMBER 26, 2009.
2. TOPOGRAPHY IN AREA OF PROPOSED CONSTRUCTION TAKEN FROM FIELD SURVEY BY BARRESI ASSOCIATES LLC. BALANCE OF TOPOGRAPHY TAKEN FROM REFERENCE MAPS.
3. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ARE BASED, IN PART, ON FIELD SURVEY AND MAPS OF RECORD. THEIR LOCATIONS SHOULD BE CONSIDERED APPROXIMATE.
4. CONTRACTOR SHALL CALL "CALL BEFORE YOU DIG" 1-800-922-4455 AT LEAST 48 HOURS PRIOR TO EXCAVATION NEAR PUBLIC UTILITIES.
5. CONTRACTOR MUST VERIFY EXISTING SITE TOPOGRAPHY AND UTILITIES PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DIFFERENCES BETWEEN CONDITIONS FOUND ON THE SITE AND THOSE DEPICTED ON THIS PLAN.
6. ALL NEW CONSTRUCTION TO BE DONE IN ACCORDANCE WITH THE TOWN OF EAST GRANBY STANDARDS AND CONNECTICUT DOT FORM 817.
7. ALL PROPOSED UTILITIES SHALL BE UNDERGROUND. CONSTRUCTION AND INSTALLATION OF ALL UTILITIES SHALL BE IN ACCORDANCE WITH INDIVIDUAL UTILITY REQUIREMENTS. CONTRACTOR SHALL PROVIDE COORDINATION AS REQUIRED.
8. THE CONTRACTOR SHALL PRACTICE EFFECTIVE DUST CONTROL DURING CONSTRUCTION TO KEEP DUST AND BLOWN DEBRIS FROM AFFECTING ADJACENT PROPERTIES. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE CLEANING OF NEARBY STREETS, AS ORDERED BY THE TOWN, OF ANY DEBRIS FROM THESE CONSTRUCTION ACTIVITIES.
9. ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN ENGINEER OR THE INLAND WETLANDS & WATERCOURSES COMMISSION, OR ITS DESIGNATEE, DURING THE CONSTRUCTION OF ANY SITE IMPROVEMENT SHALL BE IMPLEMENTED BY THE DEVELOPER. IN ADDITION, THE DEVELOPER SHALL BE RESPONSIBLE FOR THE MAINTENANCE/REPAIR/REPLACEMENT OF ALL SEDIMENT/EROSION CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN ENGINEER AND THE CONSERVATION COMMISSION, OR ITS DESIGNATEE.
10. ANY EXCESS MATERIAL MUST BE DISPOSED OF IN A SUITABLE MANNER AND LOCATION ACCEPTABLE TO TOWN STAFF.
11. LOAM AND SEED ALL DISTURBED AREAS NOT PAVED, MULCHED, OR PLANTED PER SEDIMENTATION AND EROSION CONTROL DETAILS PLAN.
12. EXTERNAL STORAGE SHALL NOT EXCEED THE AREAS AND TYPES SHOWN ON THESE PLANS WHICH HAS BEEN DETERMINED BY THE COMMISSION AS APPROPRIATE FOR THE NATURE OF THE BUSINESSES. STORAGE BEHIND BUILDINGS TO BE LIMITED TO REGISTERED MOTOR VEHICLES. STORAGE IN BINS SHALL BE LIMITED TO TOPSOIL, GRAVEL, PROCESSED STONE, MULCH, DECORATIVE STONE AND CONSTRUCTION EQUIPMENT.
13. SPOTLIGHTS ON THE BUILDINGS SHALL NOT BE DIRECTED TOWARD RUSSELL ROAD. ALL LIGHTING SHALL BE SHROUDED AND DIRECTED DOWNWARD, AS APPROVED BY TOWN STAFF, IN ORDER TO PREVENT GLARE ONTO ADJACENT PROPERTIES.
14. ANY SIGN TO BE INSTALLED ON THE PROPERTY SHALL BE SUBJECT TO STAFF AND/OR COMMISSION REVIEW.
15. WETLAND LINE DELINEATED BY MICHAEL GRAGNOLATI, SOIL SCIENTIST. AREA OF WETLANDS ON SITE = 102,311 SQ. FT. ±

PARKING REQUIREMENTS

- MINIMUM NUMBER OF SPACES
- OFFICE: 5.0 SPACES PER 1,000 SF OF BUILDING FLOOR AREA
 - WAREHOUSE: 0.5 SPACE PER 1,000 SF OF BUILDING FLOOR AREA
- EXISTING BUILDING 1
- OFFICE: 3,000 SF X 5.0 SPACES / 1,000 SF = 15
 - WAREHOUSE: 4,500 SF X 0.5 SPACES / 1,000 SF = 2.2
- PROPOSED BUILDING 2
- OFFICE: 2,000 SF X 5.0 SPACES / 1,000 SF = 10
 - WAREHOUSE: 6,100 SF X 0.5 SPACES / 1,000 SF = 3.1
- EXISTING BUILDING 3
- OFFICE: 336 SF X 5.0 SPACES / 1,000 SF = 1.7
 - WAREHOUSE: 5,664 SF X 0.5 SPACES / 1,000 SF = 2.8
- TOTAL MINIMUM NUMBER OF SPACES REQUIRED = 34.8 = 35 SPACES (FULL BUILD-OUT)
- TEMPORARY INSTALLATION REDUCTION (25 %) = 9 SPACES
- PARKING SPACES PROVIDED
- EXISTING: 18
 - NEW: 9
 - RESERVE: 9
- TOTAL: 36 (INCLUDES 1 EXISTING, 1 PROPOSED & 1 FUTURE HANDICAP SPACES)
- THE INSTALLATION OF THE RESERVE PARKING SPACES SHALL BE DONE WITHIN 6 MONTHS OF THE PLANNING & ZONING COMMISSION'S REQUEST.

PARCEL AREA (sf)	BUILDINGS (sf)	PAVEMENT (sf)	CONCRETE (sf)	IMPERVIOUS SURFACE (sf)	GRAVEL (sf)	
EXISTING (% OF SITE)	485,007 100.0	12,364 2.6	53,781 11.1	4,644 1.0	70,789 14.6	39,000 8.0
PROPOSED (% OF SITE)	485,007 100.0	20,464 4.2	69,427 14.3	5,638 1.2	95,529 19.7	39,000 8.0

DRAWING INDEX

- Sheet 1 Cover Sheet
- Sheet 2 Boundary Plan
- Sheet 3 Existing Conditions / Site Preparation Plan
- Sheet 4 Layout Plan
- Sheet 5 Grading & Erosion Control Plan
- Sheet 6 Utility & Landscape Plan
- Sheet 7 Septic, Lighting Design & Details
- Sheet 8 Sedimentation & Erosion Control Notes
- Sheet 9 Erosion Control Details
- Sheet 10 Construction Details

BARRESI ASSOCIATES LLC

570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095
(860) 219-9260 www.barresilic.com

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

5/31/24 Per Health Dept. & Town Engineer Memo 5/29/24
DATE REVISION

SITE PLAN APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved this Site Plan in accordance with the East Granby Zoning Regulations.

Chairman _____ Date Signed _____

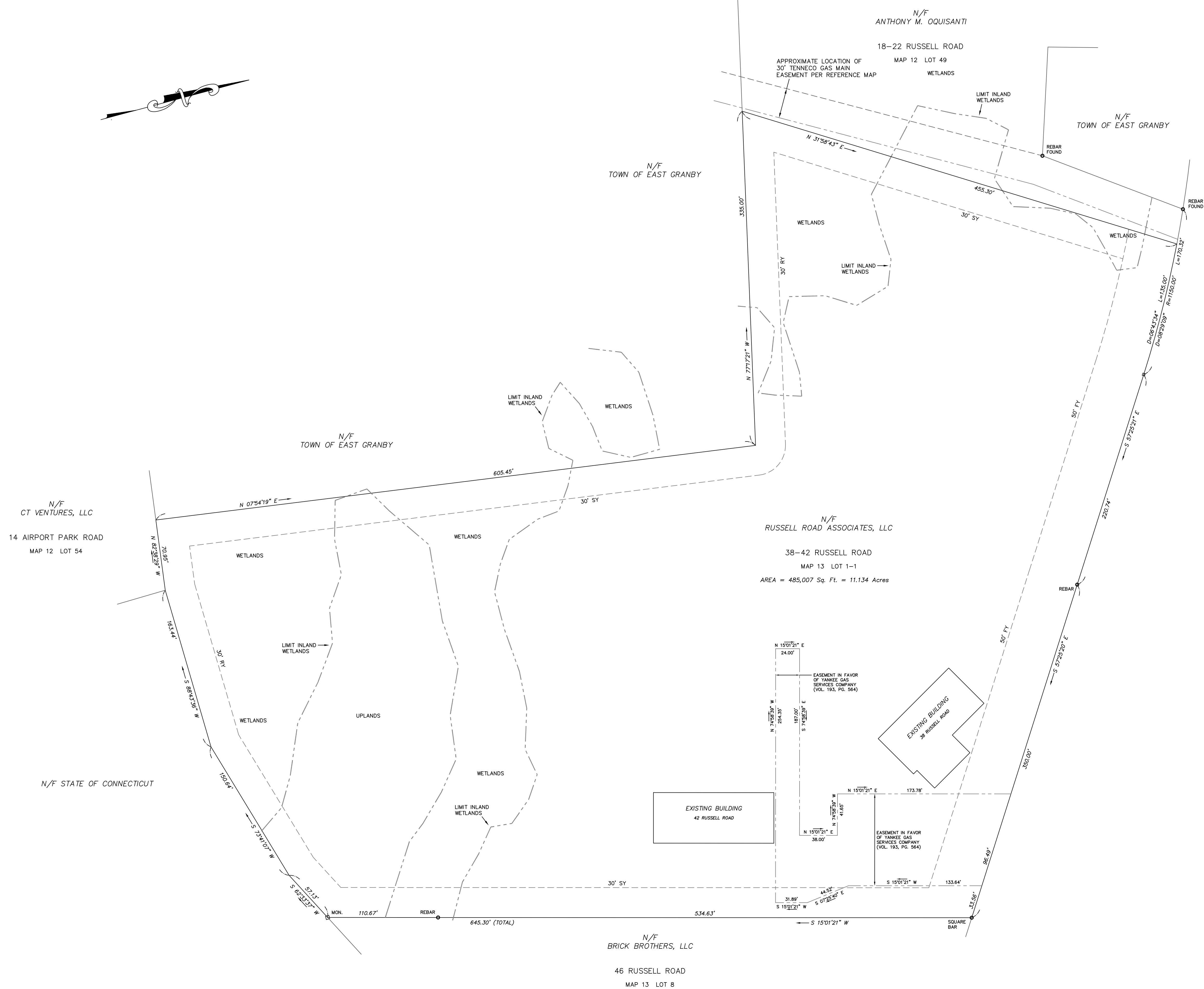
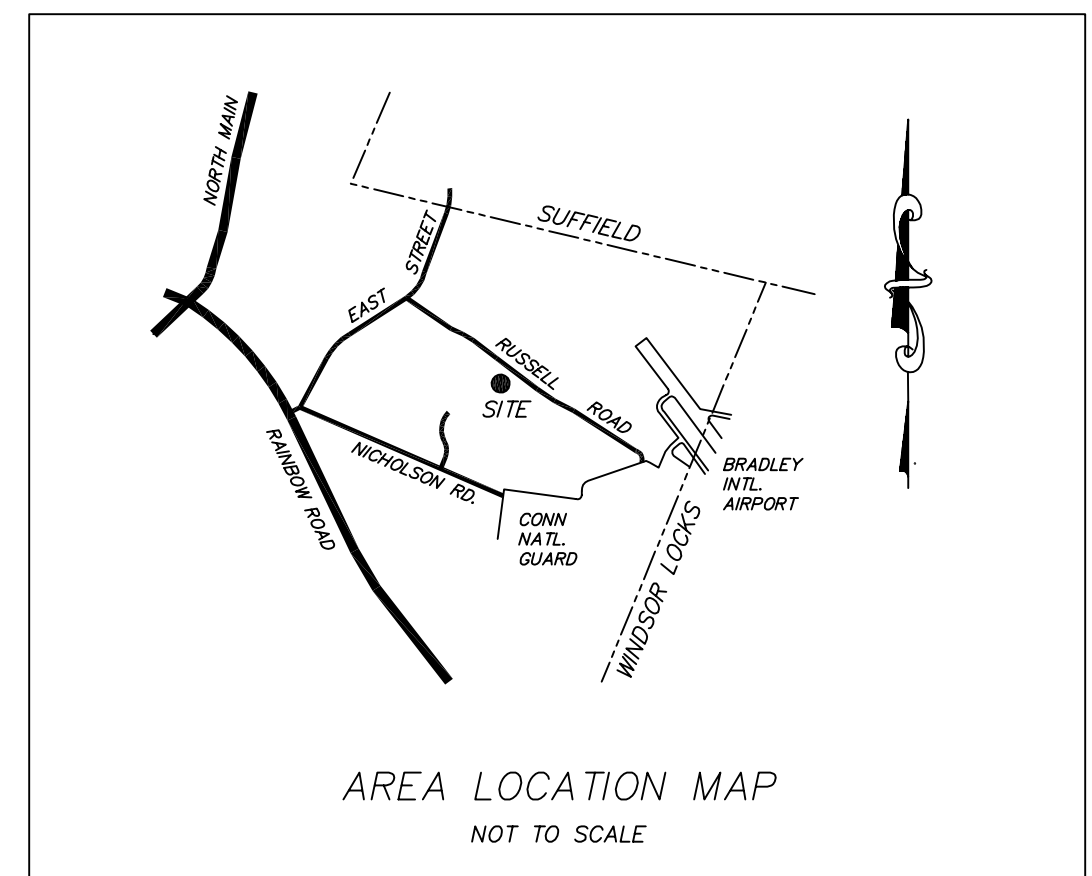
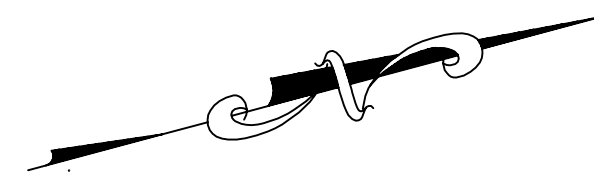
In accordance with Section X.A.2.h of the Zoning Regulations, work in connection with this Site Plan shall begin by _____ (18 months of the date of approval).

In accordance with CCS 8-3-3 (f), all work in connection with this Site Plan shall be completed by _____ (five years of the date of approval)

Received at the Planning & Zoning Office on _____ by _____ Title _____

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

proj: russell
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GENERAL NOTES

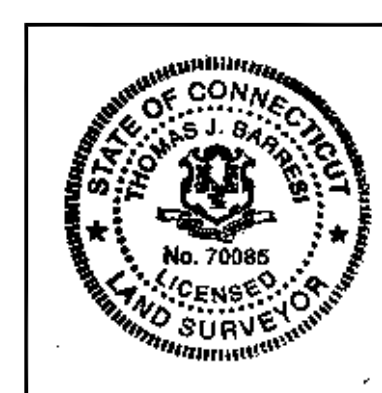
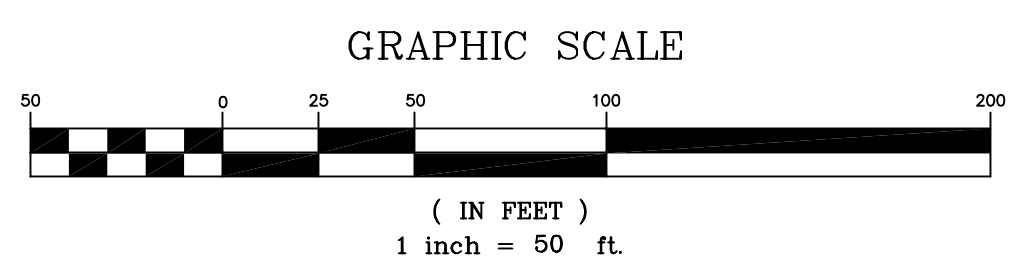
1. PARCEL LOCATION: 38-42 RUSSELL ROAD
2. PROPERTY OWNER:
RUSSELL ROAD ASSOCIATES, LLC
38-A RUSSELL ROAD
EAST GRANBY, CT 06026
3. PARCEL AREA = 485,007 Sq. Ft. = 11.134 Acres.
4. PARCEL ZONE: COMMERCE PARK B
5. THE SUBJECT PARCEL HAS DIRECT ACCESS TO A PUBLIC ROAD.
6. HORIZONTAL DATUM: UNKNOWN. BASED ON MAP REFERENCE # MRI.
7. EXISTING BUILDINGS LOCATED AS SHOWN.

SURVEY NOTES

1. TO MY KNOWLEDGE AND BELIEF, THIS MAP AND SURVEY ARE SUBSTANTIALLY CORRECT AND WERE PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300B-1 THROUGH 20-300B-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. ON SEPTEMBER 26, 1996.
2. THE TYPE OF SURVEY IS A ZONING LOCATION SURVEY
3. THE BOUNDARY DETERMINATION CATEGORY IS DEPENDENT RESURVEY.
4. HORIZONTAL CLASS OF ACCURACY: A-2

MAP REFERENCES

- a.) "LOT COMBINATION PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 30 RUSSELL ROAD & 38-42 RUSSELL ROAD EAST GRANBY, CONNECTICUT SCALE: 1" IN = 50 FT JANUARY 29, 2021 BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860)219-9260 www.barresilic.com"
- b.) "AS BUILT PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT DECEMBER 12, 2019 SCALE: 1" IN = 40 FT BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860)219-9260 www.barresilic.com"
- c.) "MAP OF INLAND WETLANDS PROPERTY OF MARK OQUISANTI 30 RUSSELL ROAD EAST GRANBY, CONNECTICUT NOVEMBER 3, 2016 SCALE: 1" IN = 50 FT BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860)219-9260 www.barresilic.com"
- d.) "MODIFICATION TO APPROVED SITE PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT JANUARY 31, 2019 BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860)219-9260 www.barresilic.com" REVISED THROUGH 7-18-19 SURVEY NOTES ADDED.
- e.) "IMPROVEMENT LOCATION PLAN PREPARED FOR BAUER LAWN AND LANDSCAPE, LLC EAST GRANBY, CONNECTICUT SCALE 1" = 30' DATE 01-13-04 1 OF 3" REVISED 07-07-04 BY WILLIAM R. PALMBERG & SON LLC LAND SURVEYORS
- f.) "SITE PLAN REVISION PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONNECTICUT JUNE 10, 2005" SHEETS 1-5, REVISED 9/29/05 PER PLANNING & ZONING COMMISSION APPROVAL BY ED LALLY AND ASSOCIATES, INC.
- g.) "FILE NUMBER: E8123 COMPLETION PLAN MAP SHOWING EASEMENT AREA TO BE GRANTED TO YANKEE GAS SERVICES COMPANY ACROSS THE PROPERTY OF RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD EAST GRANBY, CONN. SCALE: 1" IN = 40 FT AUGUST 12, 2008" BY ED LALLY AND ASSOCIATES, INC.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

BARRESI *WJ Barresi*

ASSOCIATES LLC

570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095
(860) 219-9260 www.barresilic.com

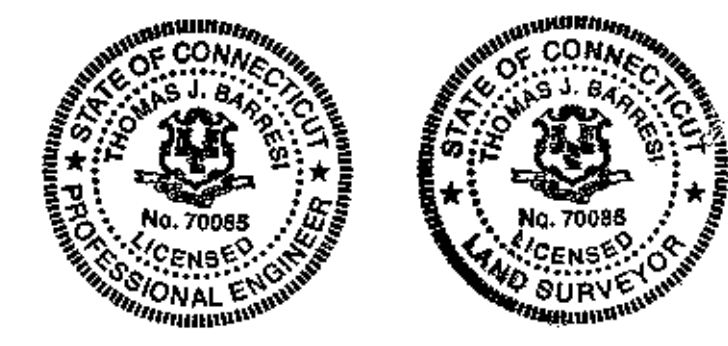
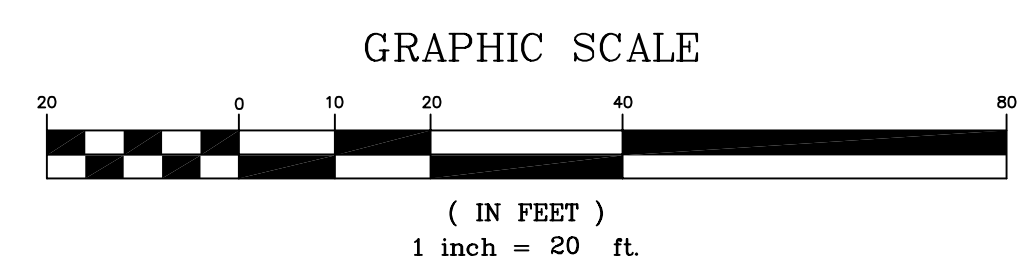
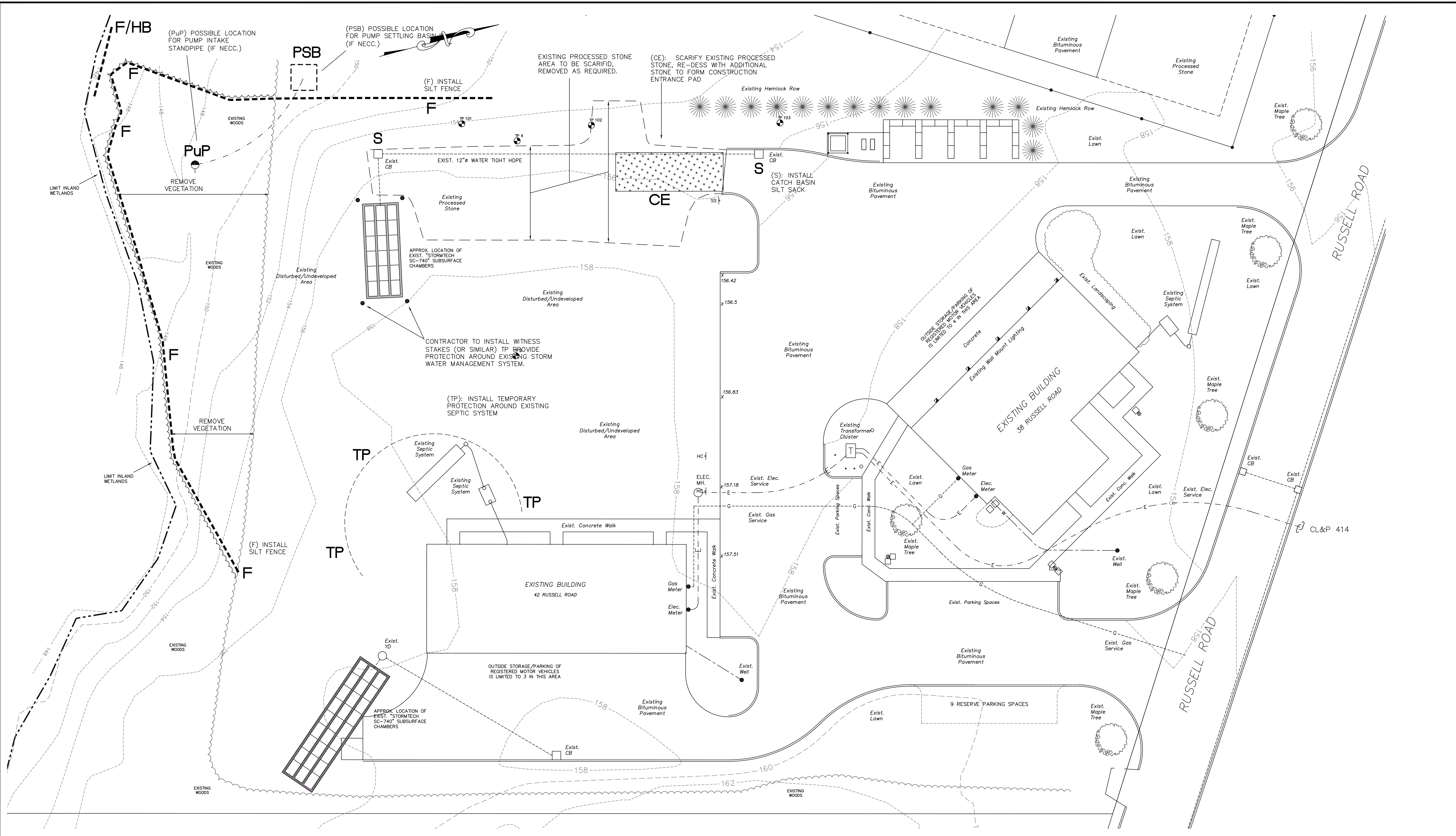
DATE	REVISION
5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

SCALE: 1 IN = 50 FT

APRIL 26, 2024

proj: russell
p: russell & granby
s: russell & granby
t: russell & granby
u: russell & granby
v: russell & granby
w: russell & granby
x: russell & granby
y: russell & granby
z: russell & granby



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

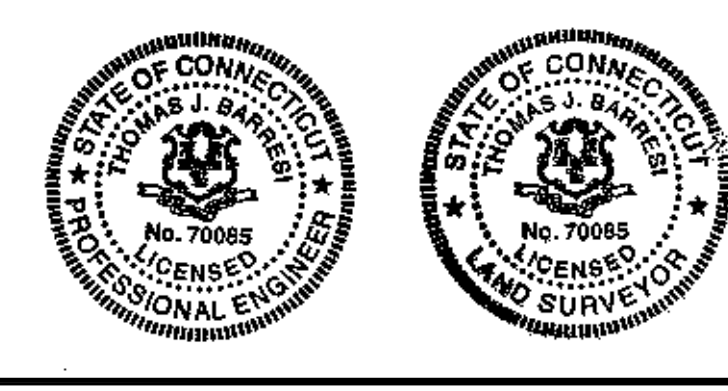
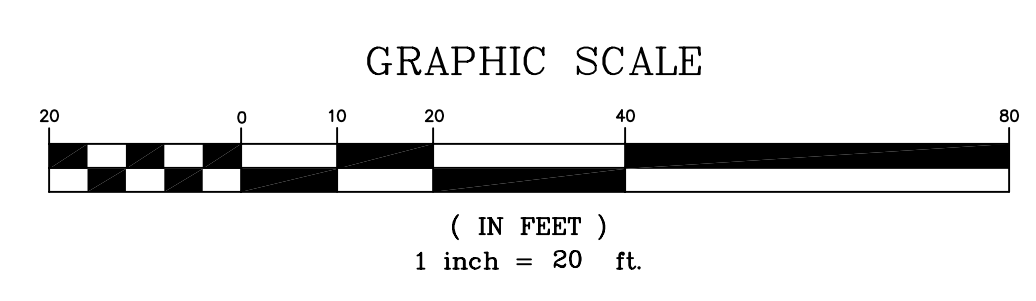
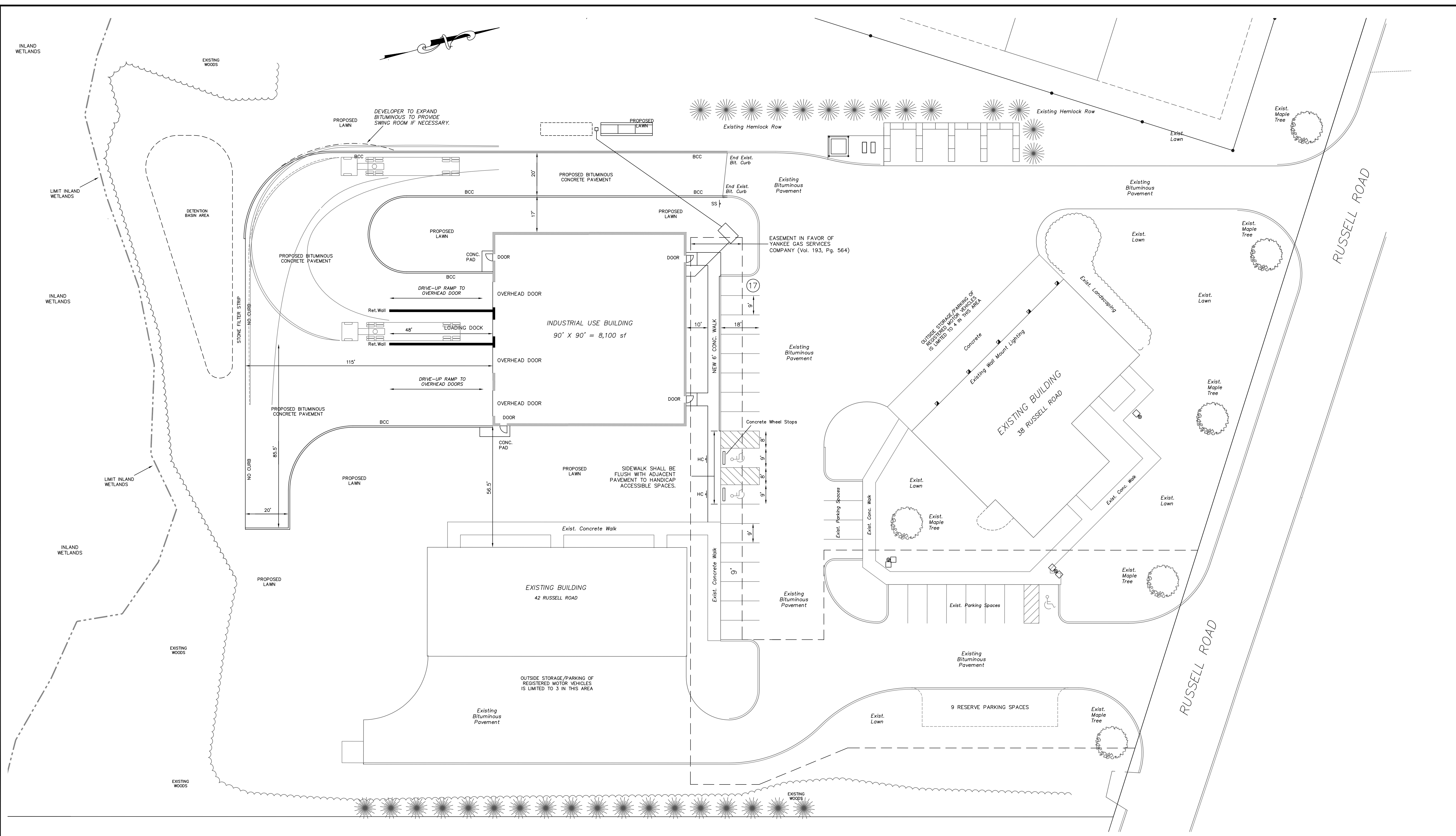
BARRESI
ASSOCIATES LLC

1695 POQUONOCK AVENUE - WINDSOR, CONN. 06095
(860) 219-9260 www.barresillc.com

DATE	REVISION
5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

SCALE: 1 IN = 20 FT
APRIL 26, 2024



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

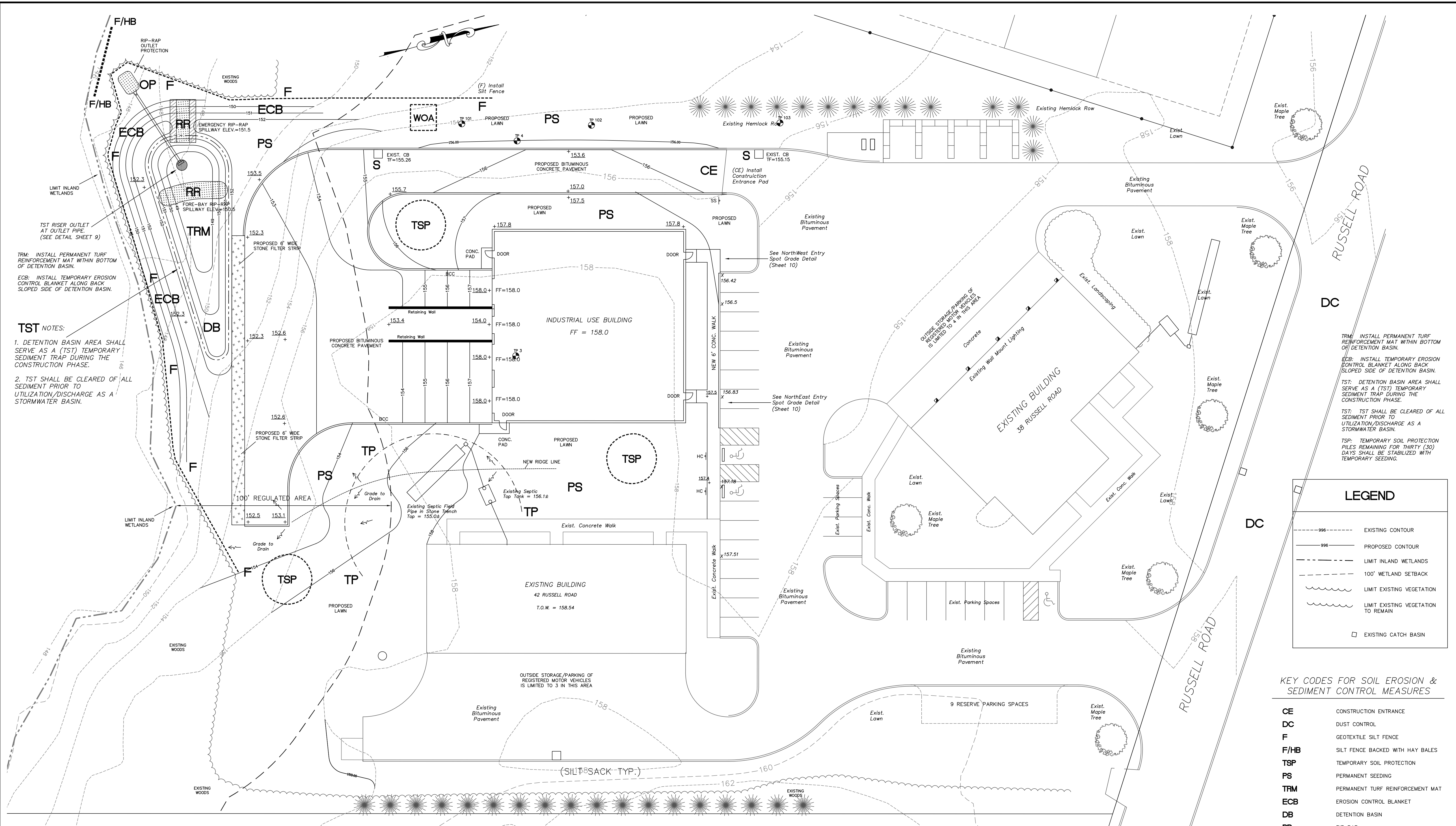
BARRESI
ASSOCIATES LLC

1695 POQUONOCK AVENUE - WINDSOR, CONN. 06095
(860) 219-9260 www.barresilic.com

DATE	5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24
REVISION		

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

SCALE: 1 IN = 20 FT
APRIL 26, 2024



TST NOTES:

1. DETENTION BASIN AREA SHALL SERVE AS A (TST) TEMPORARY SEDIMENT TRAP DURING THE CONSTRUCTION PHASE.
2. TST SHALL BE CLEARED OF ALL SEDIMENT PRIOR TO UTILIZATION/DISCHARGE AS A STORMWATER BASIN.

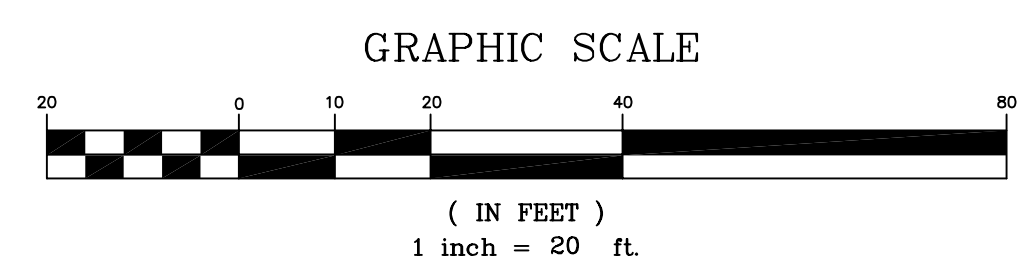
TRM: INSTALL PERMANENT TURF REINFORCEMENT MAT WITHIN BOTTOM OF DETENTION BASIN.
 ECB: INSTALL TEMPORARY EROSION CONTROL BLANKET ALONG BACK SLOPED SIDE OF DETENTION BASIN.
 TST: DETENTION BASIN AREA SHALL SERVE AS A (TST) TEMPORARY SEDIMENT TRAP DURING THE CONSTRUCTION PHASE.
 TST: TST SHALL BE CLEARED OF ALL SEDIMENT PRIOR TO UTILIZATION/DISCHARGE AS A STORMWATER BASIN.
 TSP: TEMPORARY SOIL PROTECTION PILES REMAINING FOR THIRTY (30) DAYS SHALL BE STABILIZED WITH TEMPORARY SEEDING.

LEGEND	
---996---	EXISTING CONTOUR
—996—	PROPOSED CONTOUR
- - - - -	LIMIT INLAND WETLANDS
- - - - -	100' WETLAND SETBACK
~~~~~	LIMIT EXISTING VEGETATION
~~~~~	LIMIT EXISTING VEGETATION TO REMAIN
□	EXISTING CATCH BASIN

KEY CODES FOR SOIL EROSION & SEDIMENT CONTROL MEASURES

CE	CONSTRUCTION ENTRANCE
DC	DUST CONTROL
F	GEOTEXTILE SILT FENCE
F/HB	SILT FENCE BACKED WITH HAY BALES
TSP	TEMPORARY SOIL PROTECTION
PS	PERMANENT SEEDING
TRM	PERMANENT TURF REINFORCEMENT MAT
ECB	EROSION CONTROL BLANKET
DB	DETENTION BASIN
RR	RIP RAP
OP	OUTLET PROTECTION
TP	PROTECTION FENCING

Sheet 5 of 10
Grading & Erosion Control Plan



TST DATA				
STORAGE CALCULATION (134 CY/ACRE)				
TST #	AREA (AC)	REQUIRED (CY)	PROVIDED (CY)	
1	0.7	92	165	



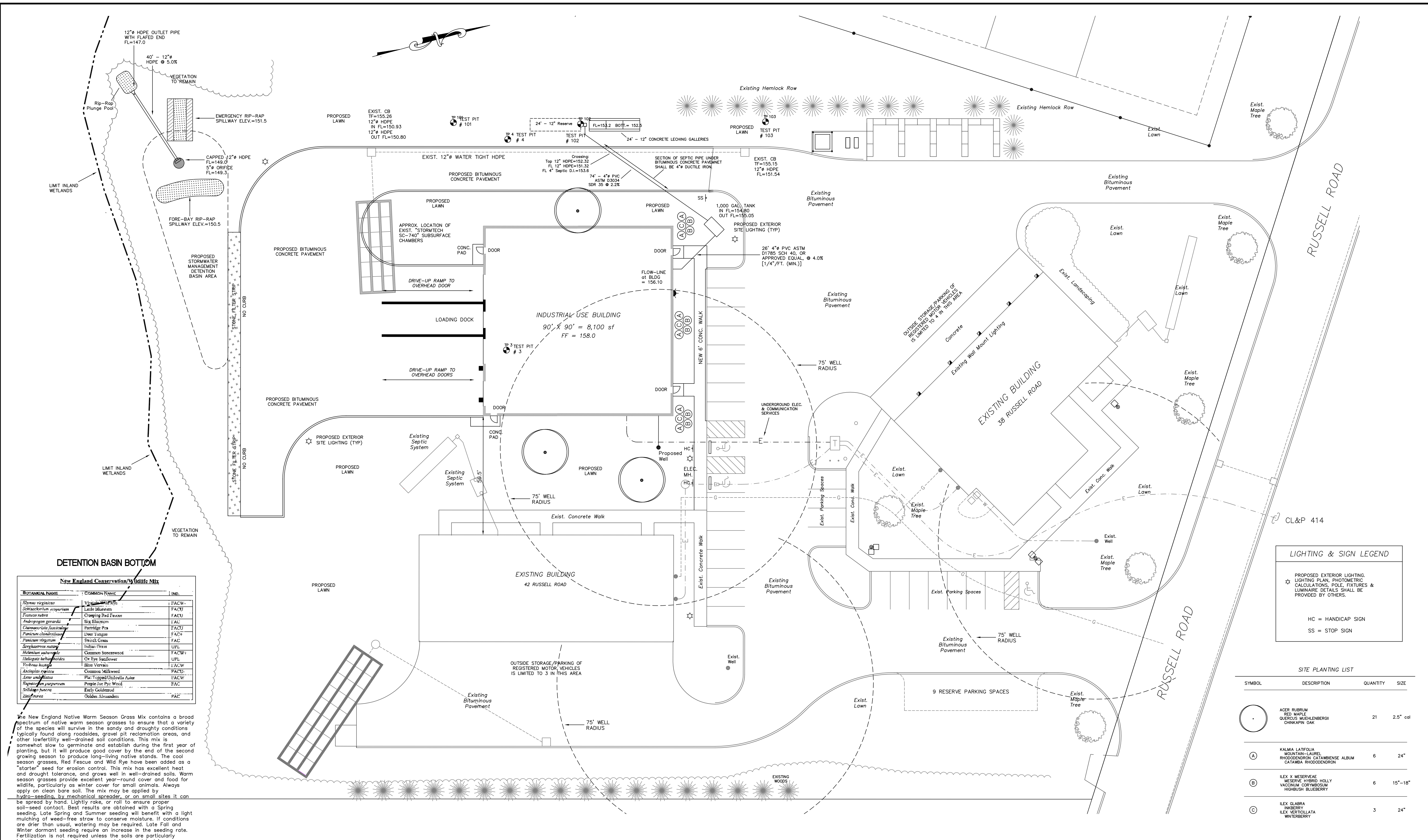
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

BARRESI
ASSOCIATES LLC
1695 POQUONOCK AVENUE - WINDSOR, CONN. 06095
(860) 219-9260 www.barresilc.com

DATE	REVISION
5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

SCALE: 1 IN = 20 FT
APRIL 26, 2024



New England Conservation/Wildlife Mix

BOTANICAL NAME	COMMON NAME	LINE
<i>Festuca virginiana</i>	Virginian Fescue	FACW
<i>Schizanthus scariosus</i>	Little Bluestem	FACU
<i>Festuca rubra</i>	Creeping Red Fescue	FACU
<i>Andropogon gerardii</i>	Big Bluestem	LAC
<i>Chamaecrista fasciculata</i>	Partridge Pea	FACU
<i>Panicum clandestinum</i>	Dwarf Zoysia	FACU
<i>Panicum virgatum</i>	Switch Grass	FAC
<i>Scorpaenopsis nutans</i>	Indian Grass	UPL
<i>Heteranthera subverticillata</i>	Common Sorecrowd	FACW
<i>Thalassiparus bellus</i>	Ox Eye Sunflower	UPL
<i>Yucca angustifolia</i>	Blue Yucca	LACW
<i>Asclepias speciosa</i>	Common Milkweed	FACU
<i>Aster multiflorus</i>	Fla. Topped Aster	FACW
<i>Rudbeckia hirta</i>	Purple Joe Pye Weed	FAC
<i>Solidago nemoralis</i>	Early Goldenrod	FAC
<i>Zizia aurea</i>	Golden Alexanders	FAC

The New England Native Warm Season Grass Mix contains a broad spectrum of native warm season grasses to ensure that a variety of the species will survive in the sandy and droughty conditions typically found along roadsides, gravel pit reclamation areas, and other lowfertility well-drained soil conditions. This mix is somewhat slow to germinate and establish during the first year of planting, but it will produce good cover by the end of the second growing season to produce long-living native stands. The cool season grasses, Red Fescue and Wild Rye have been added as a "starter" seed for erosion control. This mix has excellent heat and drought tolerance, and grows well in well-drained soils. Warm season grasses provide excellent year-round cover and food for wildlife, particularly as winter cover for small animals. Always apply on clean bare soil. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper soil-seed contact. Best results are obtained with a Spring seeding. Late Spring and Summer seeding will benefit with a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering may be required. Late Fall and Winter dormant seeding require an increase in the seeding rate. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free seed bed is necessary for optimal results.

LIGHTING & SIGN LEGEND

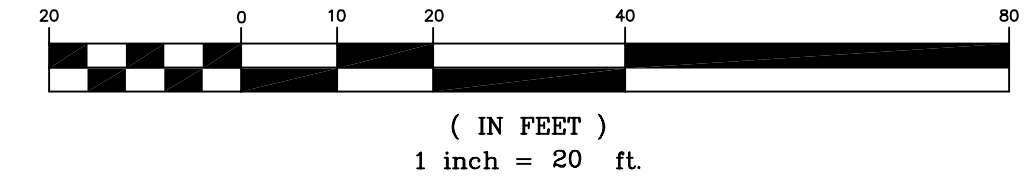
PROPOSED EXTERIOR LIGHTING PLAN, PHOTOMETRIC CALCULATIONS, POLE, FIXTURES & LUMINAIRE DETAILS SHALL BE PROVIDED BY OTHERS.

HC = HANDICAP SIGN
SS = STOP SIGN

SITE PLANTING LIST

SYMBOL	DESCRIPTION	QUANTITY	SIZE
(Circle with dot)	ACER RUBRUM RED MAPLE QUERCUS MUEHLBERGII CHINKAPIN OAK	21	2.5" cal
(A)	KALMIA LATIFOLIA MOUNTAIN-LAUREL RHODODENDRON CATAWBIENSE ALBUM CATAWBA RHODODENDRON	6	24"
(B)	ILEX V. MESSERVAE MESERVE HYBRID HOLLY VACCINIUM CORUMBOSUM HIGHBUSH BLUEBERRY	6	15"-18"
(C)	ILEX GLABRA HIBERNY ILEX VERTICILLATA WINTERBERRY	3	24"

GRAPHIC SCALE



		<p>TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON</p> <p>BARRESI ASSOCIATES LLC 1695 POQUONOCK AVENUE - WINDSOR, CONN. 06095 (860) 219-9260 www.barresilic.com</p>	<p>5/31/24</p>	<p>Per Health Dept. & Town Engineer Memo 5/29/24</p>	<p>MODIFICATION TO APPROVED SITE PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD - BUILDING 2 EAST GRANBY, CONNECTICUT</p>
			<p>DATE</p>	<p>REVISION</p>	

SOILS TESTS: BUILDING 2

TEST HOLE	MIN. UNIFORM SEEPAGE RATE (MIN./INCH)	SOIL PROFILE (DEPTH IN INCHES)
3		0-12 TOPSOIL 12-23 ORANGE BROWN SANDY LOAM 23-36 COARSE SAND 36-81 COMPACT SILTY LOAM 24 MOTTLES 81 WATER (SEEPS @ 67) NO LEDGE
4		0-10 TOPSOIL 10-26 COARSE SAND 26-55 VERY FINE SAND 35 MOTTLES TEST HOLE COLLAPSED

SOIL TEST DATA TAKEN FROM REPORT OF SUBSURFACE SOIL EXAMINATION BY D. PALMBERG, WITNESSED BY FARMINGTON VALLEY HEALTH DISTRICT

101		0-12 TOPSOIL 12-23 ORANGE BROWN SUB-SOIL 23-89 MEDIUM SAND NO MOTTLES NO WATER NO HARDPAN NO LEDGE NO ROOTS
-----	--	--

102	<1 @ 26"	0-13 TOPSOIL 13-29 ORANGE BROWN SUB-SOIL 29-83 MEDIUM SAND 41 MOTTLES 58 WATER NO HARDPAN NO LEDGE NO ROOTS
-----	----------	--

103		0-11 TOPSOIL 11-26 ORANGE BROWN SUB-SOIL 26-96 MEDIUM SAND 36 MOTTLES 41 WATER NO HARDPAN NO LEDGE NO ROOTS
-----	--	--

SOIL TEST DATA TAKEN FROM REPORT OF SUBSURFACE SOIL EXAMINATION BY ED LALLY AND ASSOCIATES, INC., WITNESSED BY FARMINGTON VALLEY HEALTH DISTRICT 3-10-05

REQUIRED EFFECTIVE LEACHING AREA & MINIMUM LEACHING SYSTEM SPREAD										
LOT	BEDROOMS	TEST	SLOPE HG (%)	RESTRIC. LAYER (IN.)	PERC RATE (MIN./IN.) @ IN.	HF	FF	PF	MLSS (FT.)	REQ'D. LEACH. AREA (SQ. FT.)
2	4	3	3.1 - 4.0	24		42	.67	1.0	42	
	4	4	6.1 - 8.0	35		26	.67	1.0	18	
	4	101	6.1 - 8.0	NA	<1 @ 26"	-	.67	1.0	-	134
	4	102	6.1 - 8.0	41		20	.67	1.0	14	134
	4	103	6.1 - 8.0	36		26	.67	1.0	18	134

SEPTIC SYSTEM DESIGN

SPECIAL CONDITIONS

-----	SYSTEM DESIGN LARGER THAN 2,000 GPD.	-----	WATER SUPPLY WATERSHED
-----	HIGH GROUND WATER (< 3 FT.)	___X___	POSSIBLE SEASONAL HIGH GROUND WATER
-----	WATERCOURSE, MARSH OR PON	-----	
-----	LIMITED SUITABLE AREA	-----	POSSIBLE SEASONAL FLOODING
-----	MARGINAL SOIL (30-60 MINS./IN)	-----	EXCESSIVE SLOPE (OVER 25%)
-----	UNDERLYING TIGHT SOIL (< 4 FT.)	-----	SHALLOW LEDGE (< 5 FT)
-----	OTHER	-----	

CONCLUSIONS

___X___	SUITABLE FOR SEWAGE DISPOSAL	-----	RETEST DURING WET SEASON
-----	UNSUITABLE FOR SEWAGE DISPOSAL	___X___	ENGINEER'S PLAN REQUIRED
-----	ADDITIONAL INVESTIGATION REQUIRED	-----	

SEPTIC SYSTEM DESIGN REQUIREMENTS - 9 CANTERBURY

- Population: Ten (10)
- Daily Load per Capita: 20 GPD
- Total Daily Load: 10 x 20 GPD = 200 GPD
- Garbage Disposal: No
- Large Bath tub: (100 - 200 Gal.): No
(Over 200 Gal.): No
- Minimum Uniform Percolation Rate (Min/In): < 1
- Sewage Application Rate: 1.5 GPD / SF
- Required Leaching Area (sf) = 200 GPD / (1.5 GPD/SF) = 133.3 = 134

MLSS CALCULATION

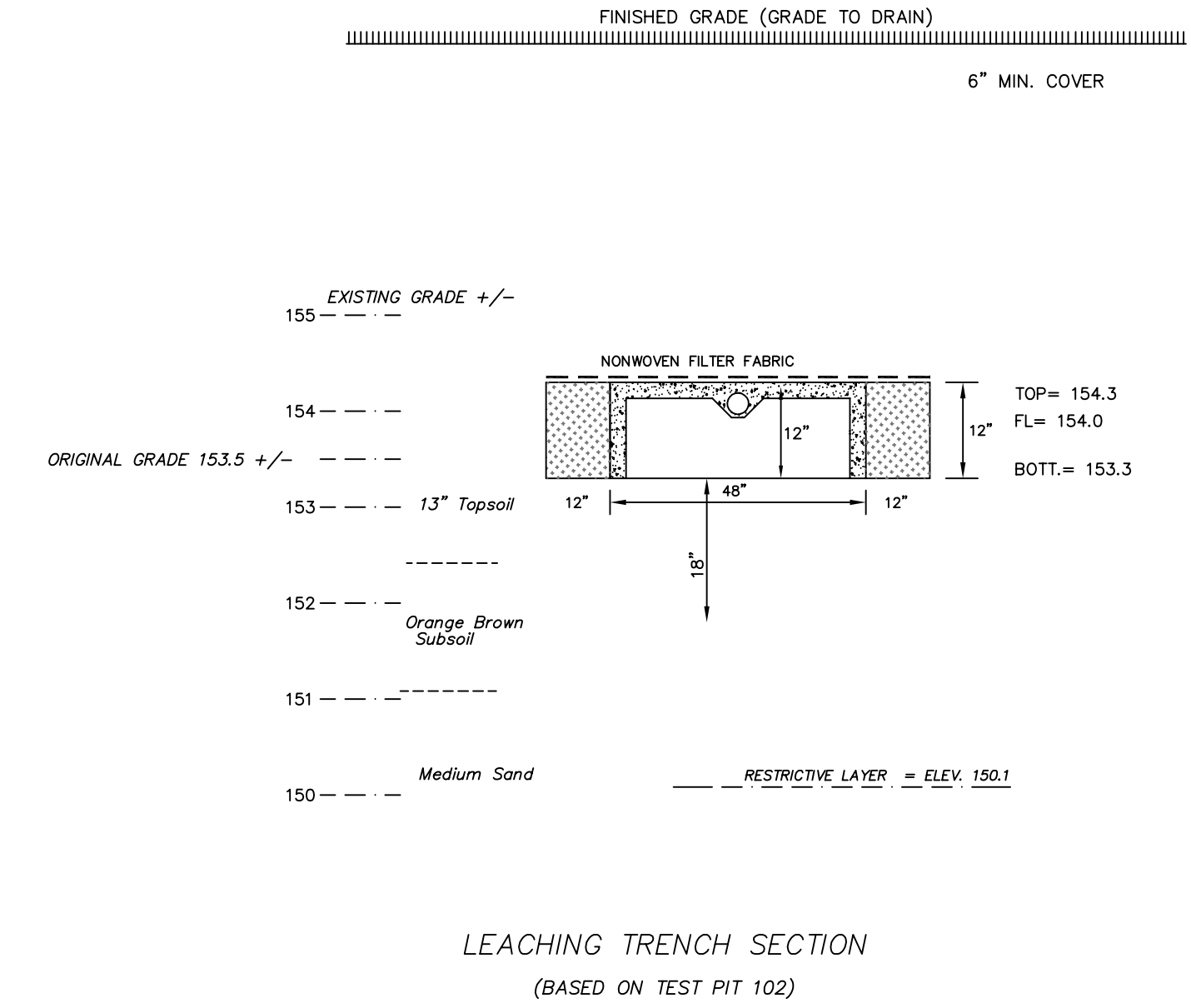
- Slope = 6.1 - 8.0
- Depth to Restrictive Layer = 30.1 - 36.0
- Hydraulic Factor (HF) = 26
- Flow Factor (FF) = 200/300 = .67
- Percolation Factor (PF) = 1.0
- MLSS Required = HF X FF X PF
= 26 X .67 X 1.0
= 17.4 = 18 Ft.

- Primary System Design: INSTALL 1 x 24 = 24 FEET OF 12" Concrete Gallery Chambers
- Primary Effective Leaching Area = 5.9 SF/LF X 24 LF = 141.6 SF
- Reserve System Design: INSTALL 1 x 24 = 24 FEET OF 12" Concrete Gallery Chambers
- Reserve Effective Leaching Area = 5.9 SF/LF X 24 LF = 141.6 SF

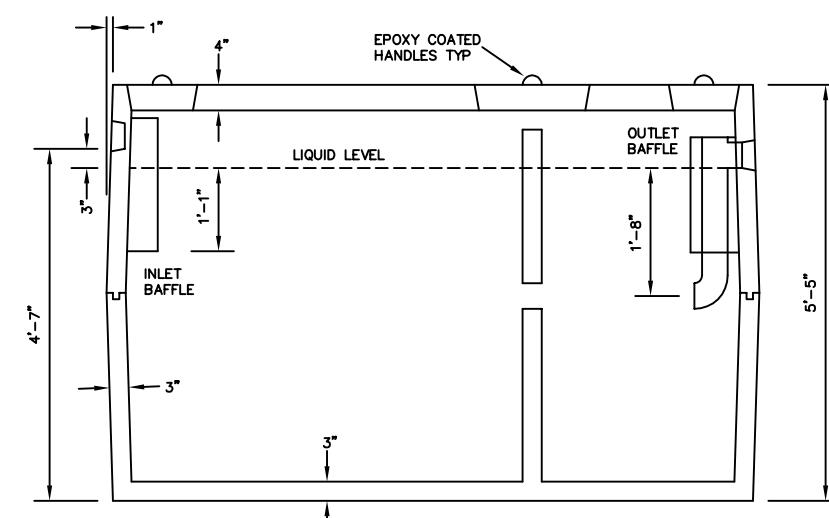
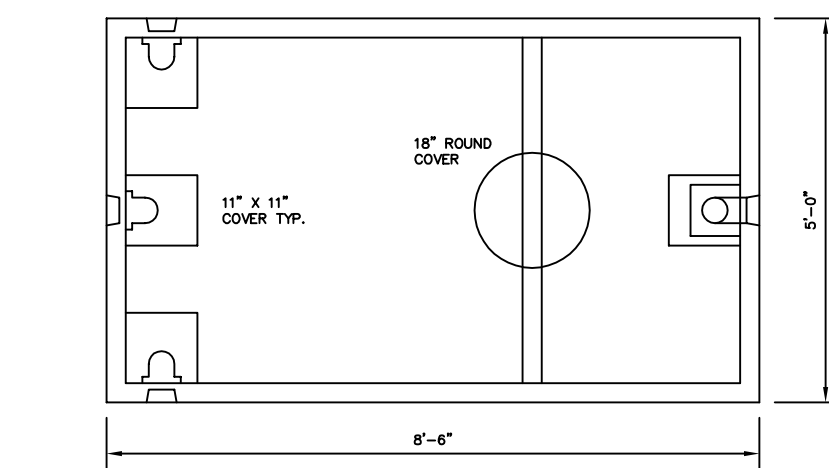
- MLSS Required = 18 Feet
- MLSS Provided = 24 Feet

SEPTIC TANK CAPACITY (Gal.)

- Septic Tank Required Capacity = 1,000 Minimum. Proposed Tank Size = 1,000 Gal.



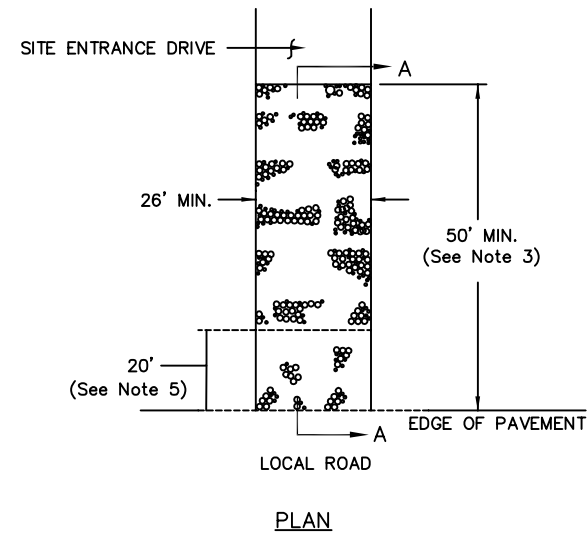
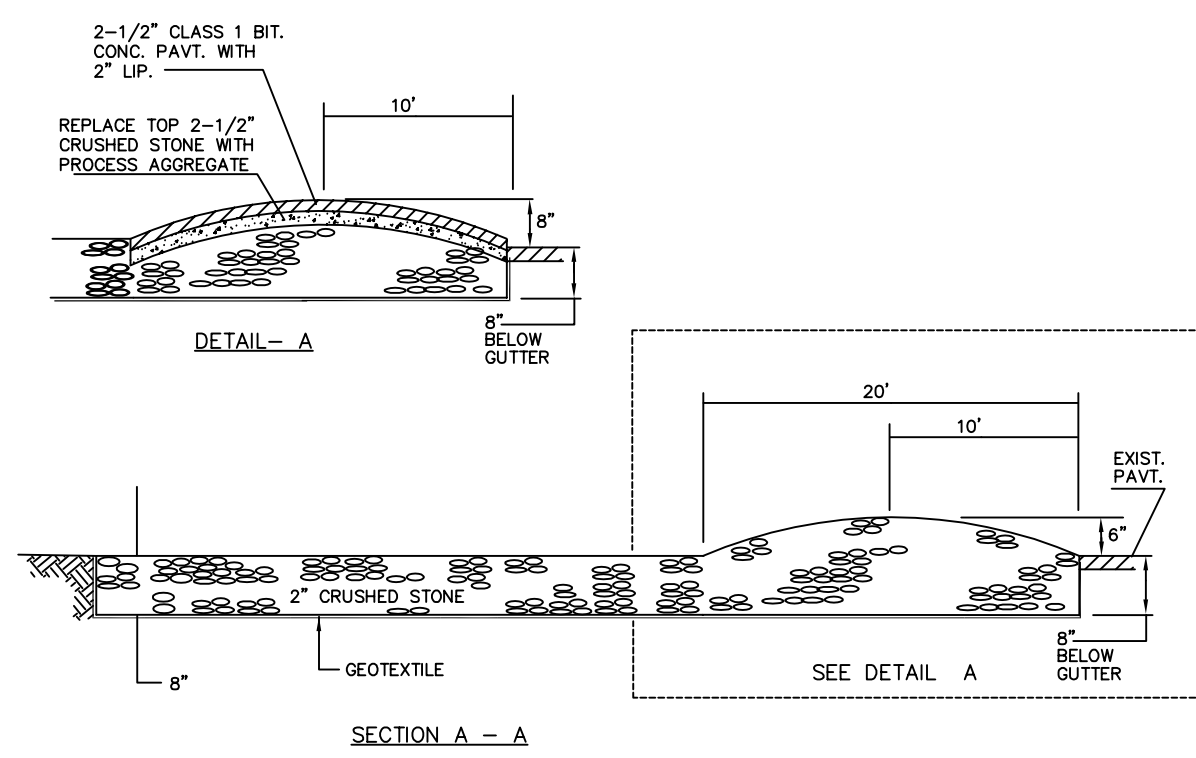
LEACHING TRENCH SECTION
(BASED ON TEST PIT 102)



DESIGN NOTES
 1. CONCRETE - 4000 PSI, 28 DAYS
 2. INLET BAFLE - PLASTIC WITH INLET PIPE SEALS
 3. 4\"/>

1,000 GALLON TWO COMPARTMENT SEPTIC TANK
 ARROW CONCRETE PRODUCTS AC-3-1000-2 OR EQUAL

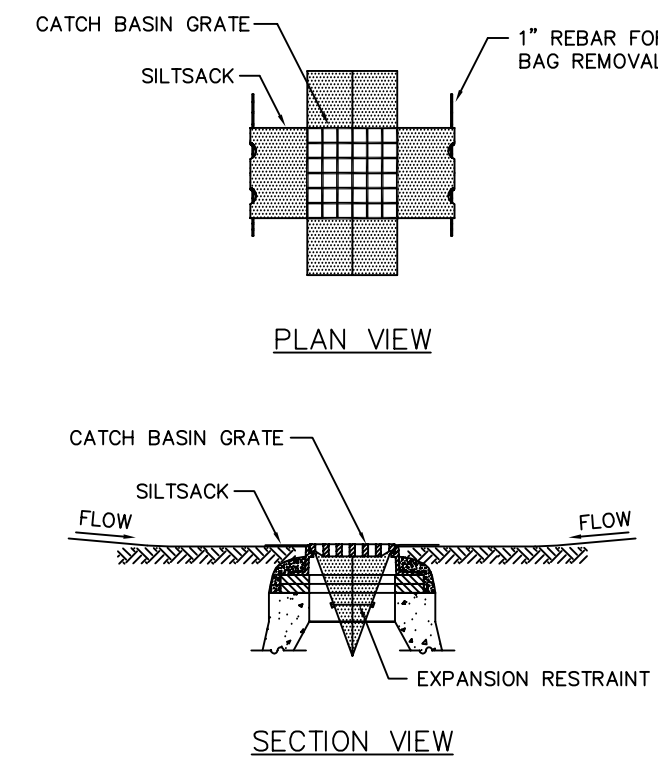
		<p>TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON</p> <p>BARRESI ASSOCIATES LLC 570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095 (860) 219-9260 www.barresilic.com</p>	5/31/24 DATE	Per Health Dept. & Town Engineer Memo 5/29/24 REVISION	MODIFICATION TO APPROVED SITE PLAN PREPARED FOR RUSSELL ROAD ASSOCIATES, LLC 38 RUSSELL ROAD - BUILDING 2
			APRIL 26, 2024		



NOTES:

1. THIS ENTRANCE PAD SHALL BE CONSTRUCTED PRIOR TO ANY CLEARING AND GRUBBING ACTIVITIES.
2. MAINTAIN ANTI-TRACKING SYSTEM IN GOOD CONDITION THROUGHOUT THE CONSTRUCTION PERIOD.
3. THE LENGTH OF THE ENTRANCE PAD SHALL BE INCREASED IF NECESSARY TO CONTROL THE TRACKING ONTO LOCAL ROADWAYS.
4. THE LOCAL ROADWAY SHALL BE SWEPT AS NECESSARY TO REMOVE ANY MATERIALS THAT HAVE BEEN TRACKED FROM THE SITE ENTRANCE DRIVE.
5. IF THE CONSTRUCTION SITE ENTRANCE WILL BE USED FOR MORE THAN 3 MONTHS, OR IF CONDITIONS REQUIRE, AND AS DIRECTED BY THE ENGINEER, THE SITE ENTRANCE DRIVE SHALL BE PAVED FOR THE FIRST 20 FEET.

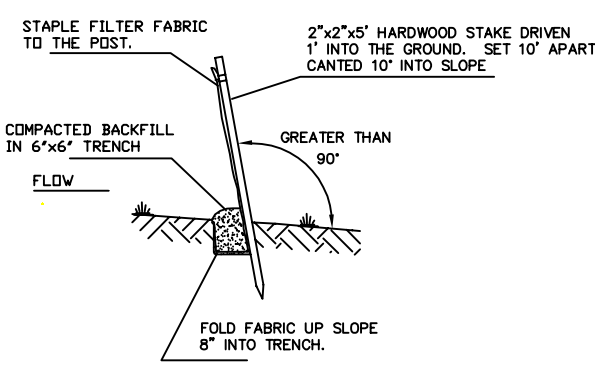
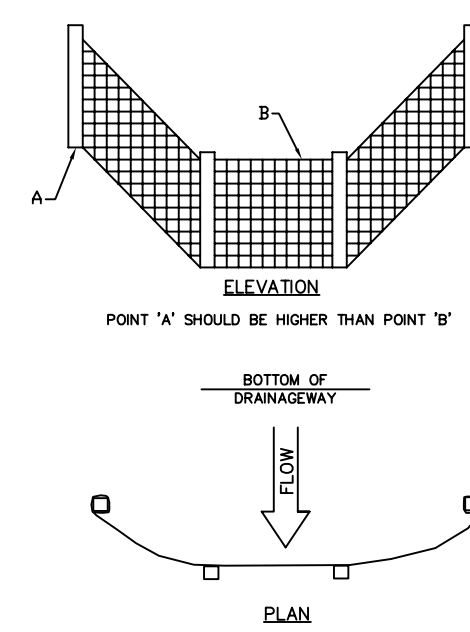
(CE) CONSTRUCTION ENTRANCE PAD



NOTES:

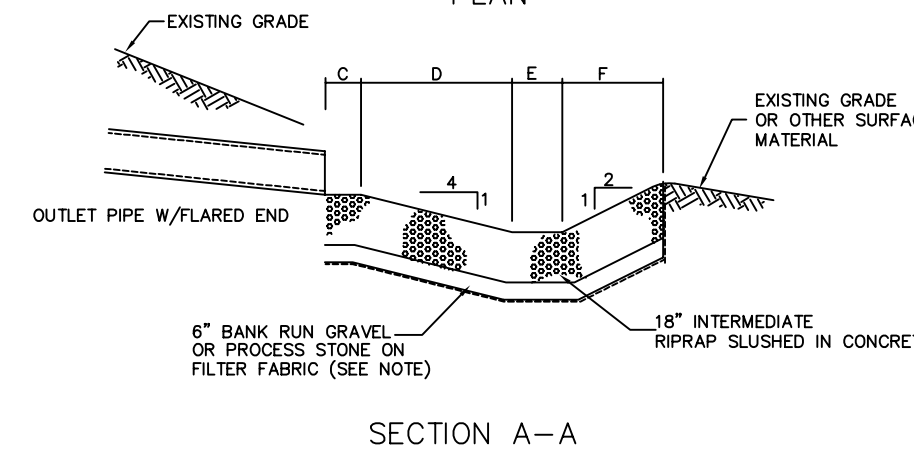
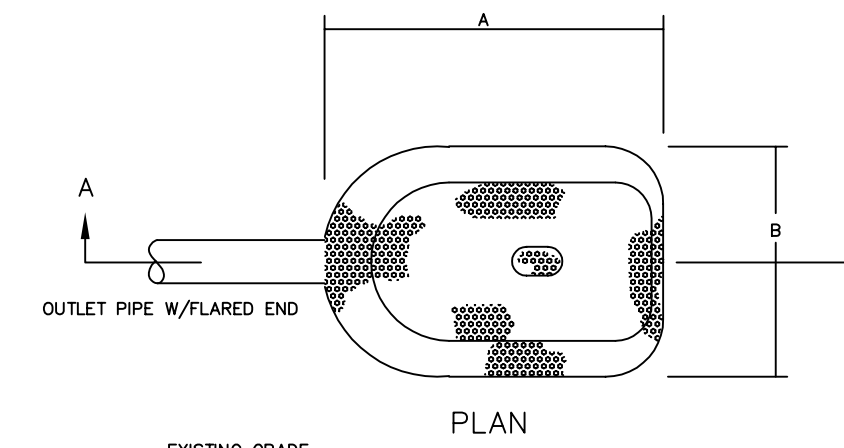
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILTSACK.
3. SILTSACK SHALL BE INSPECTED WEEKLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

(S) SILT SACK AT CATCH BASIN



(F) GEOTEXTILE SILT FENCE

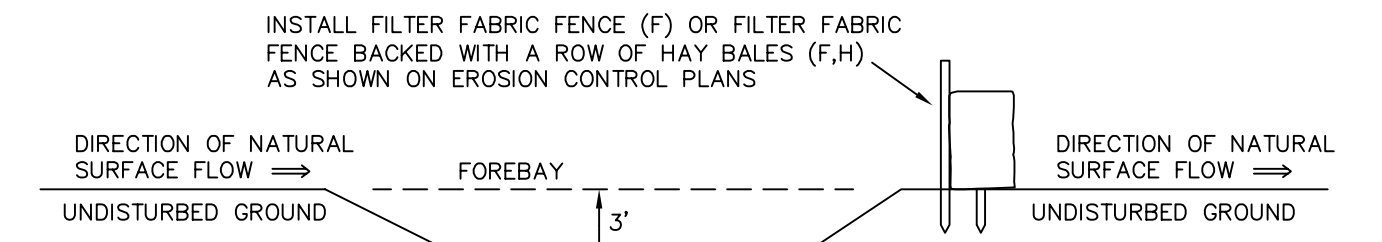
PIPE SIZE	A	B	C	D	E	F
UNDER 18"	10'	9'	1'	6"	3'	3'
18"-24"	16'	10'	1'	8"	3'	4'
30"-36"	22'	16'	2'	10"	4'	5'



NOTES:

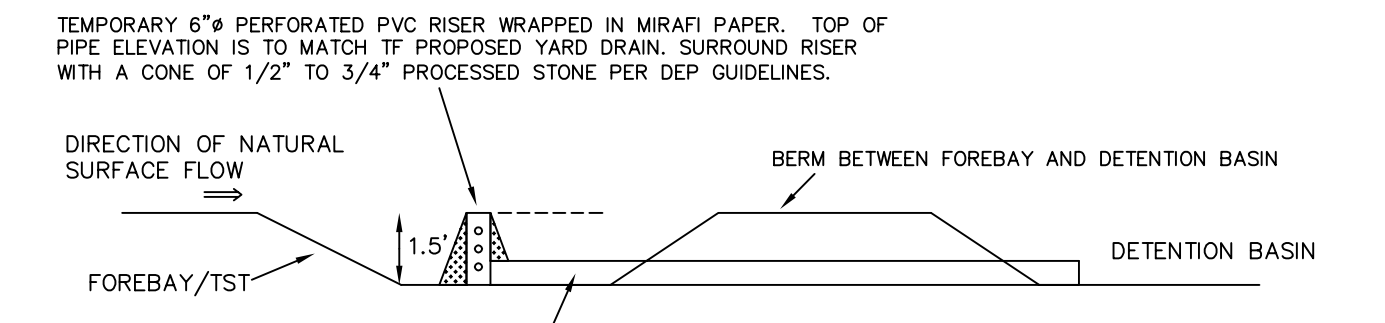
1. FILTER FABRIC SHALL BE NONWOVEN CLASS 2, WITH PERMITTIVITY OF 0.5 TO 8.1 SEC² AND ASS OF 0.4mm TO 0.22mm AND SHALL MEET AASHTO M288-96.

(OP) OUTLET PROTECTION PLUNGE POOL



1. INSTALL TEMPORARY SEDIMENT TRAP AT ALL LOCATIONS AS INDICATED ON THE PLANS.
2. PLEASE REFER TO SECTION 5-11 SEDIMENT IMPOUNDMENTS, BARRIERS AND FILTERS, TEMPORARY SEDIMENT TRAP (TST) OF THE 2002 CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL FOR DETAILED DESCRIPTIONS OF THE CONSTRUCTION OF TEMPORARY SEDIMENT TRAPS (TST).
3. SEE OUTLET DETAILS BELOW.

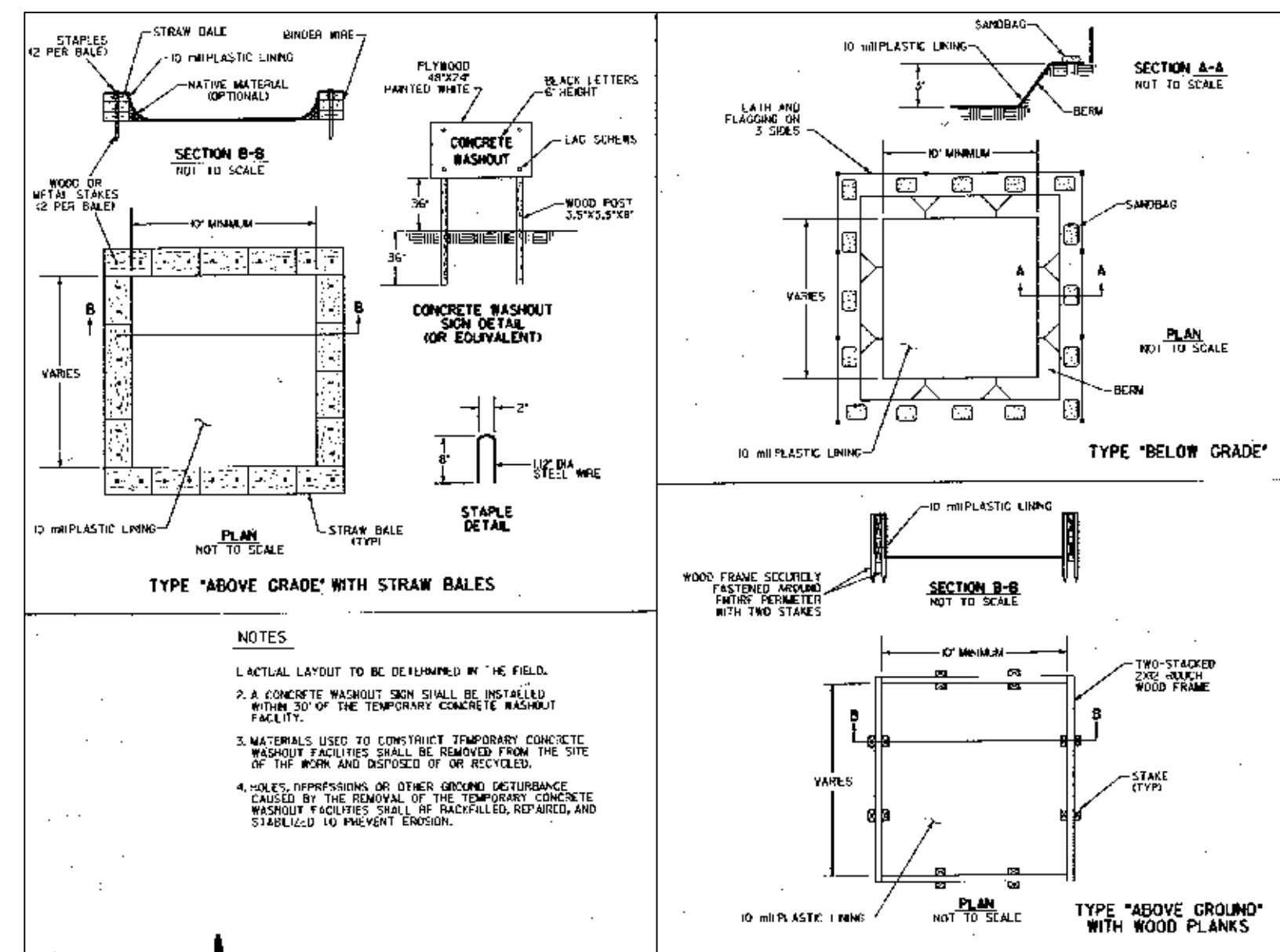
TST SEDIMENT TRAP



1. INSTALL RISER OUTLET IN TEMPORARY SEDIMENT TRAPS AS INDICATED ON PLANS.
2. WHEN TST STORAGE DEMANDS HAVE BEEN ELIMINATED AND TST'S ARE REMOVED, ALL TEMPORARY 6\"/>

TST RISER OUTLET

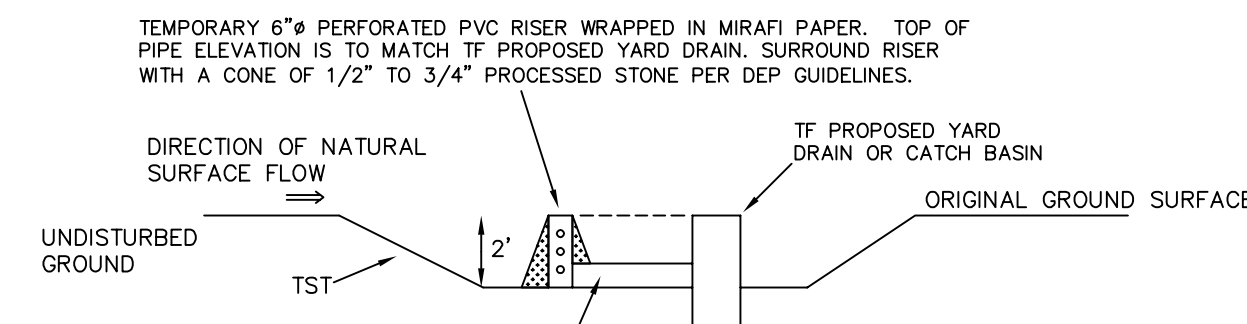
(TST) TEMPORARY SEDIMENT TRAP



NOTES:

1. LATERAL LAYOUT TO BE DETERMINED BY THE FIELD.
2. A CONCRETE WASHOUT SIGN SHALL BE INSTALLED FROM TOP OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
3. MATERIALS USED TO CONSTRUCT TEMPORARY CONCRETE WASHOUT FACILITIES SHALL BE DERIVED FROM THE SITE OF THE WORK AND RECYCLED OR REUSED.
4. SOIL STABILIZATION OR OTHER GROUND DISTURBANCE CAUSED BY THE REMOVAL OF THE TEMPORARY CONCRETE WASHOUT FACILITY SHALL BE BACKFILLED, REVEGETATED AND STABILIZED TO PREVENT EROSION.

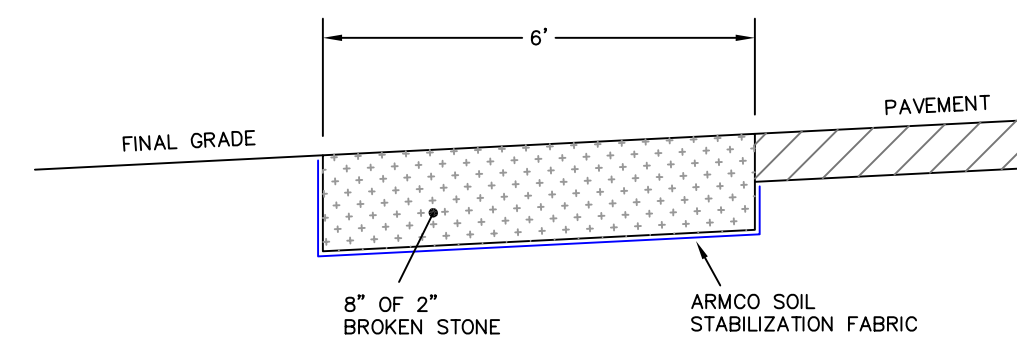
(WOA) CONCRETE WASHOUT AREA



1. INSTALL RISER OUTLET IN TEMPORARY SEDIMENT TRAPS AS INDICATED ON PLANS.
2. WHEN TST STORAGE DEMANDS HAVE BEEN ELIMINATED AND TST'S ARE REMOVED, ALL TEMPORARY 6\"/>

TST RISER OUTLET

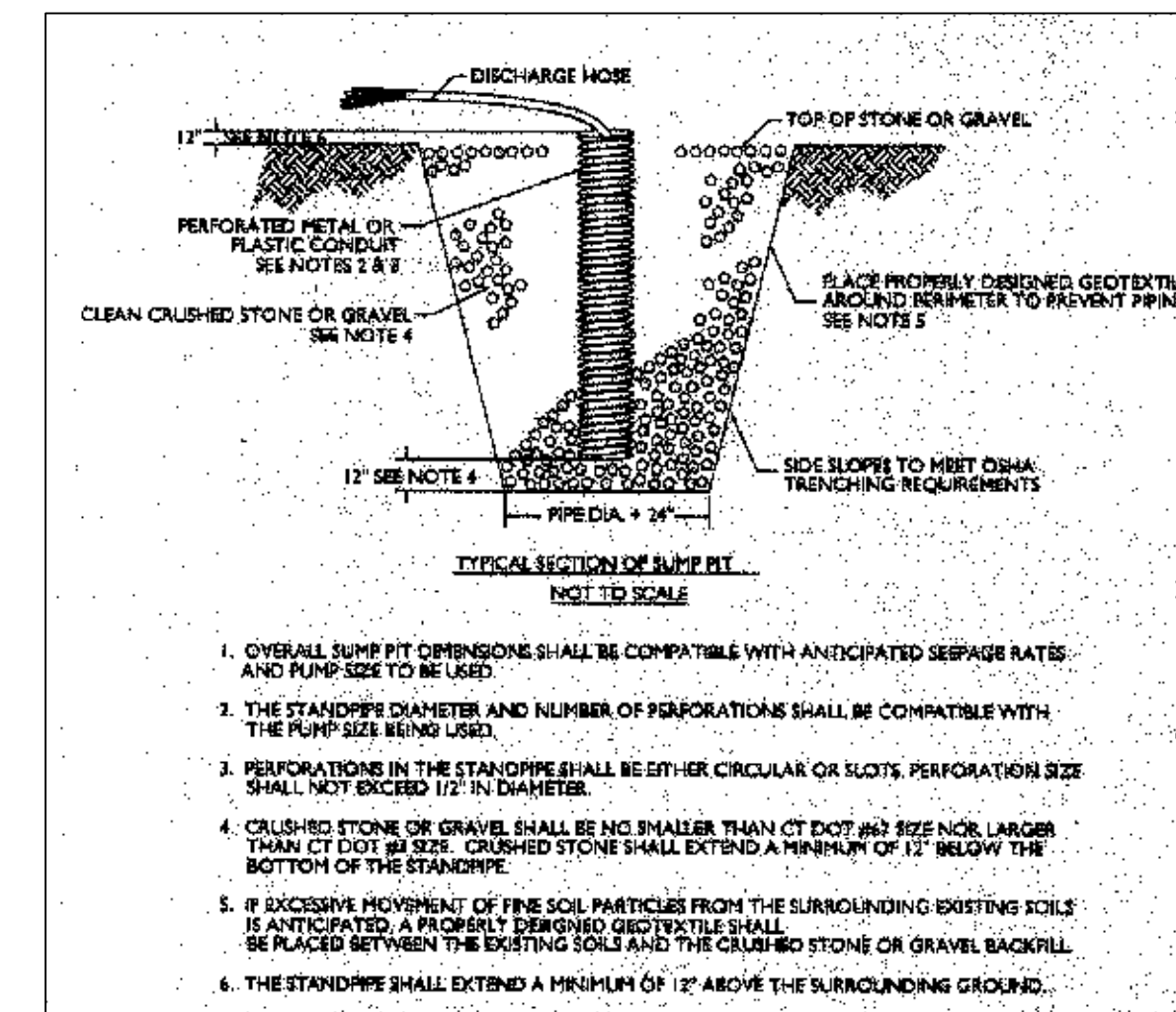
(TST) TEMPORARY SEDIMENT TRAP



MAINTENANCE REQUIREMENTS

1. INSPECT AFTER PAVING OF LOADING/PARKING AREAS.
2. REMOVE ANY SECTIONS OF STONE THAT ARE PLUGGED OR FILLED WITH SEDIMENT, AND REPLACE WITH CLEAN 2" BROKEN STONE.
3. INSPECT MONTHLY AND REPEAT STEP #2 AS REQUIRED UNTIL ALL AREAS ARE STABILIZED.
4. INSPECT EACH SPRING AND REPAIR SNOW PLOW DAMAGE. REPEAT STEP #2 AS REQUIRED.

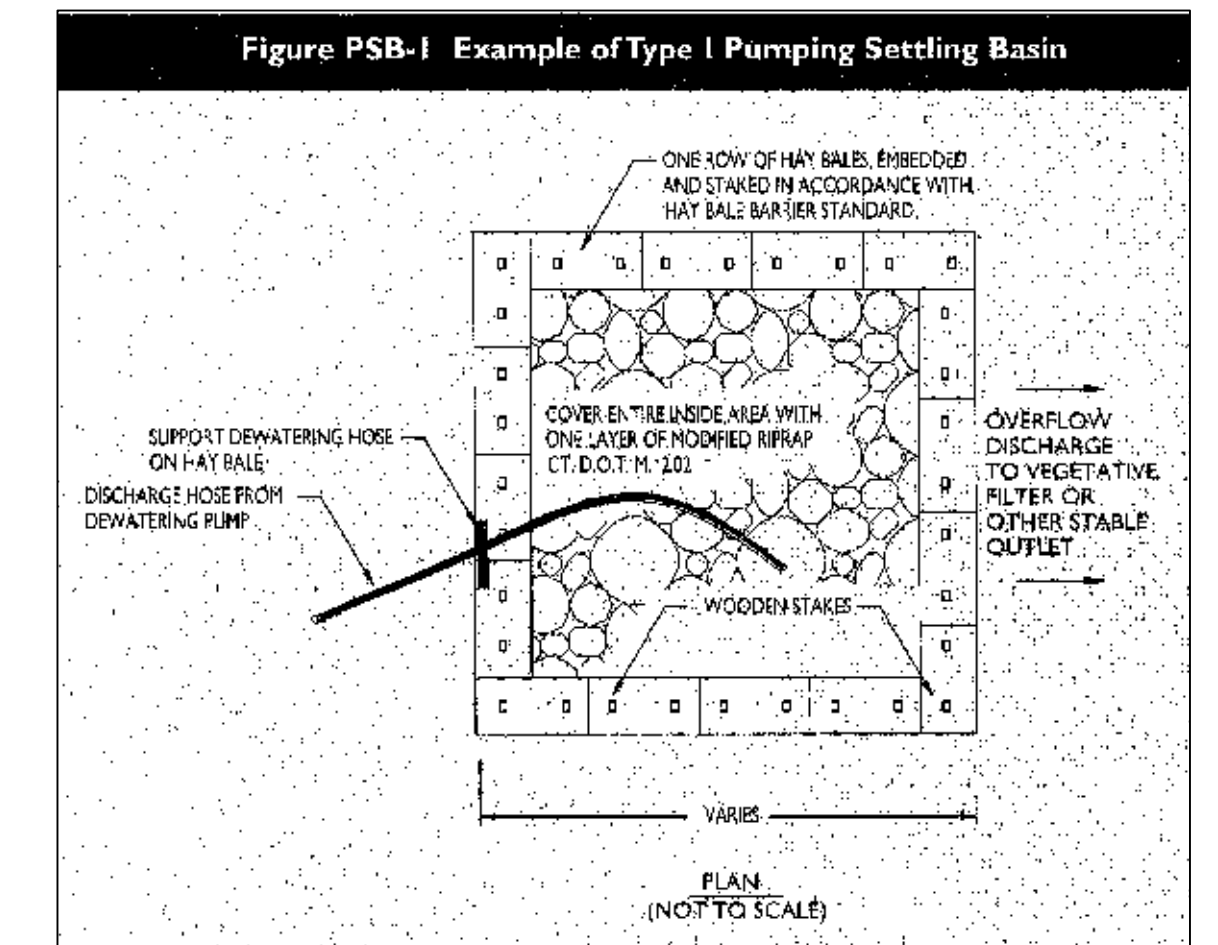
STONE FILTER STRIP



NOTES:

1. OVERALL SUPPLY DIMENSIONS SHALL BE COMPATIBLE WITH ANTICIPATED SEEPAGE RATE AND PUMP SIZE TO BE USED.
2. THE STANDPIPE DIAMETER AND NUMBER OF PERFORATIONS SHALL BE COMPATIBLE WITH THE PUMP SIZE BEING USED.
3. PERFORATIONS IN THE STANDPIPE SHALL BE EITHER CIRCULAR OR SLOTS. PERFORATION SIZE SHALL NOT EXCEED 1/2" IN DIAMETER.
4. CRUSHED STONE OR GRAVEL SHALL BE NO SMALLER THAN CT DOT # 20 AND SIZE NO. LARGER THAN CT DOT # 40 SIZES. CRUSHED STONE SHALL EXTEND A MINIMUM OF 12" BELOW THE BOTTOM OF THE STANDPIPE.
5. IF EXCESSIVE MOVEMENT OF FINE SOIL PARTICLES FROM THE SURROUNDING EXISTING SOILS IS ANTICIPATED, A PROPERLY DESIGNED GEOTEXTILE SHALL BE PLACED BETWEEN THE EXISTING SOILS AND THE CRUSHED STONE OR GRAVEL BACKFILL.
6. THE STANDPIPE SHALL EXTEND A MINIMUM OF 12" ABOVE THE SURROUNDING GROUND.

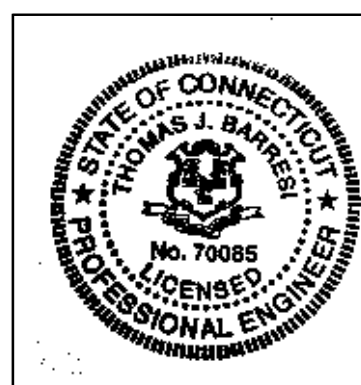
(PuP) PUMP INTAKE



OBTAIN TOWN APPROVAL OF THE PROPOSED LOCATION PRIOR TO INSTALLATION AND INSTALL A PUMP SETTLING BASIN (PSB) AND ASSOCIATED EROSION CONTROLS TO RECEIVE THE DISCHARGE OF PUMPED WATERS WHERE EVER PUMPING IS TO TAKE PLACE. REMOVE PUMP SETTLING BASIN (PSB), EROSION CONTROLS AND ANY SILT OR SEDIMENT AND RESTORE AREA AFTER PUMPING IS COMPLETE.

(PSB) PUMP SETTLING BASIN

ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF EAST GRANBY STANDARDS AND THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817, WITH LATEST REVISION.



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

BARRESI
ASSOCIATES LLC

570 HAYDEN STATION ROAD - UNIT D - WINDSOR, CT 06095
(860) 219-9260 www.barresilc.com

DATE	5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24
REVISION		

MODIFICATION TO APPROVED SITE PLAN
PREPARED FOR
RUSSELL ROAD ASSOCIATES, LLC
38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

PGS LED

Project Name: _____ Catalog Number: _____ Type: _____

Dimensional Drawings

The new PGS LED fixture from Vigorite contains compacted LEDs with the LED technology, with a maximum life expectancy of 50,000 hours. The fixture is designed for use in outdoor applications and is available in multiple colors and finishes. The fixture is designed for use in outdoor applications and is available in multiple colors and finishes.

Model	Power (W)	Beam Angle	Mounting	Finish	Color
PGS-1	100	30°	Flush	Black	White
PGS-2	150	30°	Flush	Black	White
PGS-3	200	30°	Flush	Black	White
PGS-4	300	30°	Flush	Black	White
PGS-5	400	30°	Flush	Black	White
PGS-6	500	30°	Flush	Black	White
PGS-7	600	30°	Flush	Black	White
PGS-8	800	30°	Flush	Black	White
PGS-9	1000	30°	Flush	Black	White

Historical Listing

AVP: 355 4" - Square Straight Steel Series - 61 Ga. (120 Standard Wall)

AVP: 355 4" - Square Straight Steel Series - 61 Ga. (120 Standard Wall)

Ordering Information

Pole Schedule	Mounting	Finish
355-4-10	10'	Black
355-4-12	12'	Black
355-4-14	14'	Black
355-4-16	16'	Black
355-4-18	18'	Black
355-4-20	20'	Black
355-4-22	22'	Black
355-4-24	24'	Black
355-4-26	26'	Black
355-4-28	28'	Black
355-4-30	30'	Black

NOTE: SEE BELOW FOR MOUNTING HEIGHT

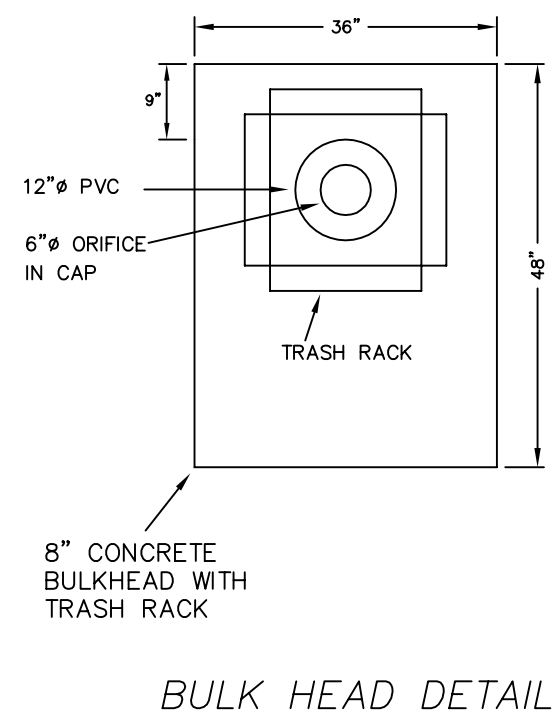
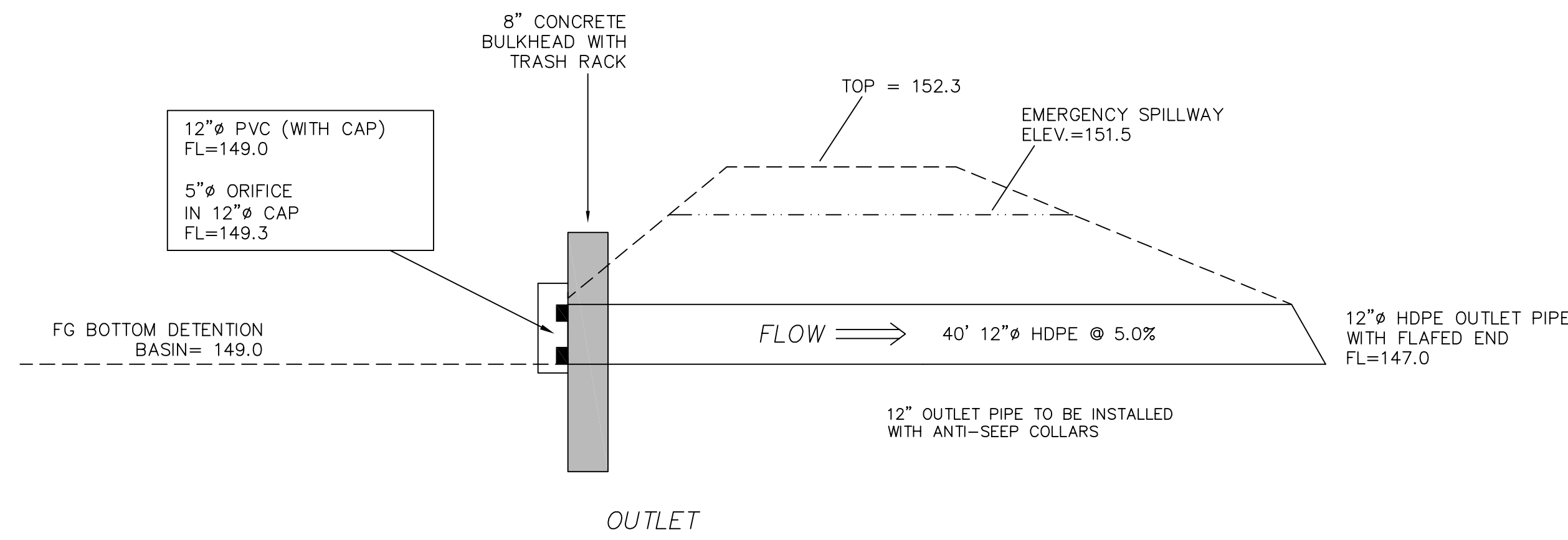
ARROW Concrete Products

LIGHT POLE BASE ROUND LPB-R-STD

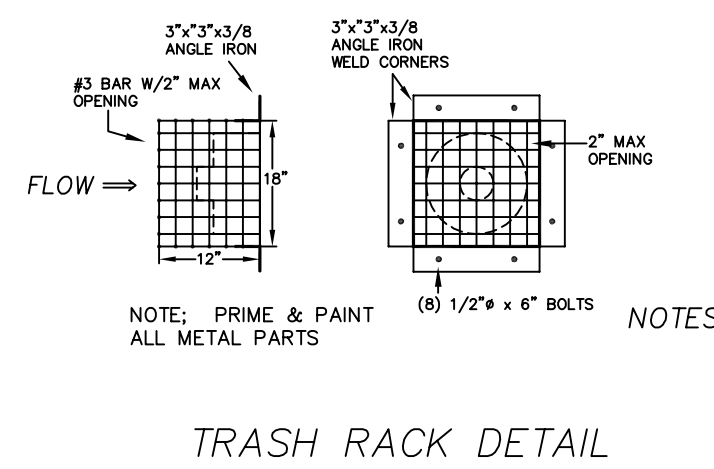
NOTE: CONCRETE LIGHT BASE TO HAVE 6" CONCRETE REVEAL ABOVE FINISHED GRADE GROUND

CONCRETE LIGHT BASE FOR LIGHT POLES REAR OF BUILDING IN LOADING DOCK AREA, SHALL HAVE A 36" REVEAL ABOVE FINISHED GRADE GROUND

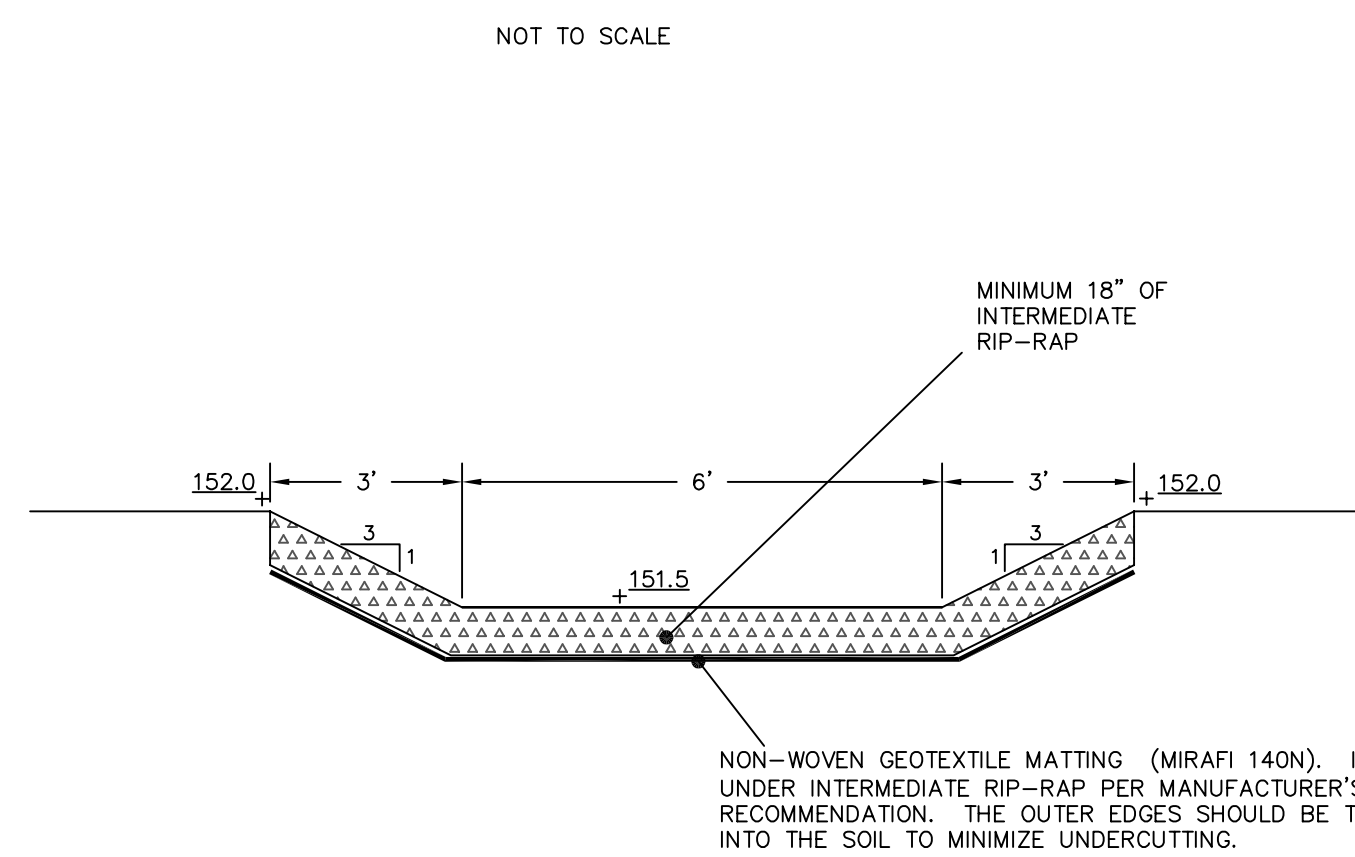
SITE LIGHTING



BULK HEAD DETAIL



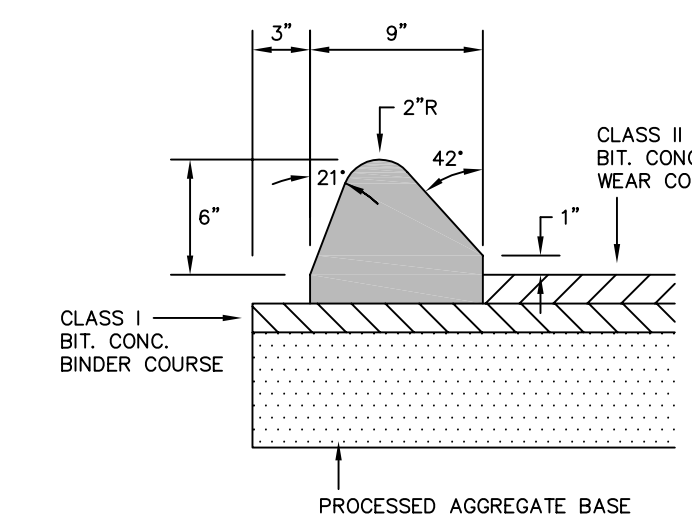
DETENTION BASIN OUTLET STRUCTURE



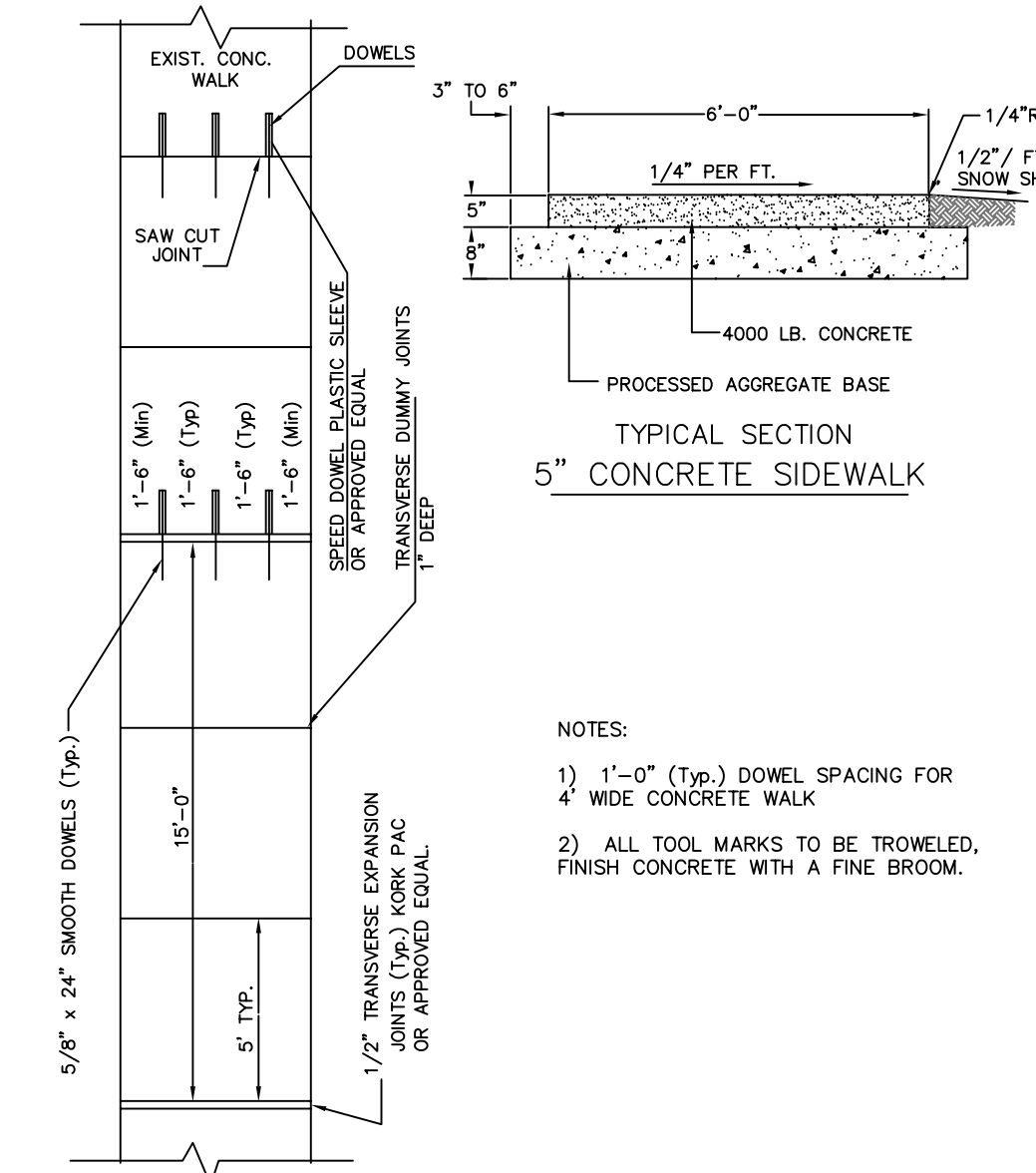
RIP-RAP SPILLWAY - RETENTION BASIN

FOREBAY CROSS-SECTION

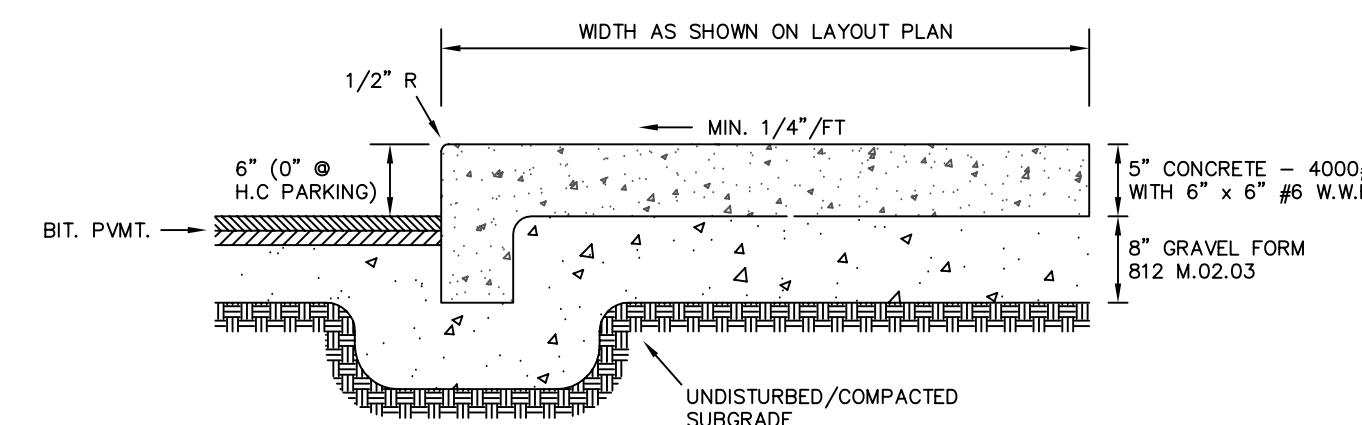
(NTS)



BITUMINOUS CONCRETE LIP CURB



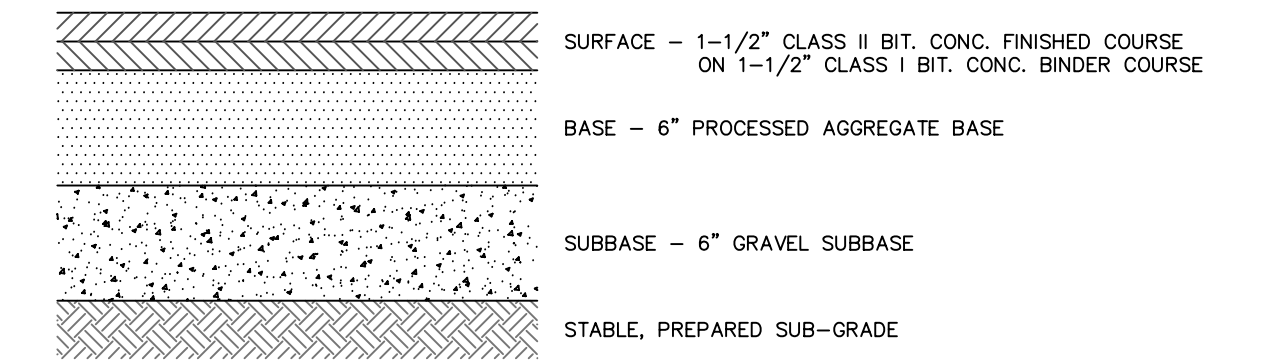
CONCRETE SIDEWALK



- NOTES:
- EXPANSION JOINTS (1/2" PREMOLDED FILLER WITHHELD 1/2" FROM SURFACE) TO BE INSTALLED EVERY 20' (MAX.) O.C. AND WHERE CONCRETE ABUTS ALL BUILDINGS & STRUCTURES. SCORE JOINTS (1/4" W x 3/4" D) TO BE INSTALLED EVERY 5' (MAX.) O.C.
 - CURB EDGE TO BE USED WHEREVER CONCRETE WALK ABUTES BITUMINOUS PAVEMENT
 - ALL CONC. WALKS TO HAVE WOOD FLOAT FINISH

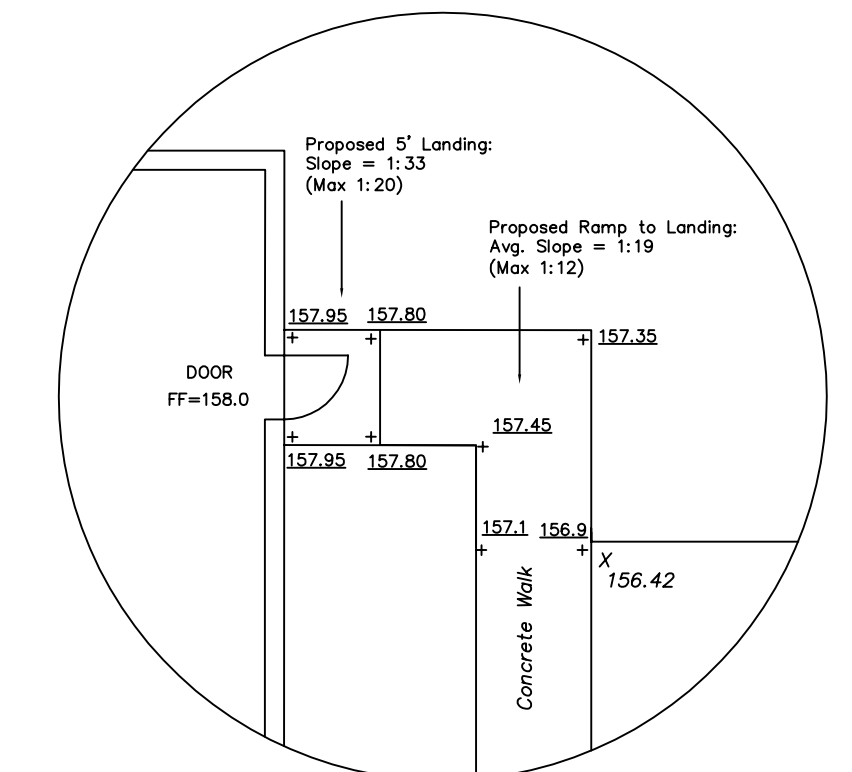
CONCRETE SIDEWALK WITH INTEGRAL CURB

ALL CONSTRUCTION SHALL CONFORM TO THE TOWN OF EAST GRANBY STANDARDS AND THE STATE OF CONNECTICUT, DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS, BRIDGES AND INCIDENTAL CONSTRUCTION, FORM 817, WITH LATEST REVISION.

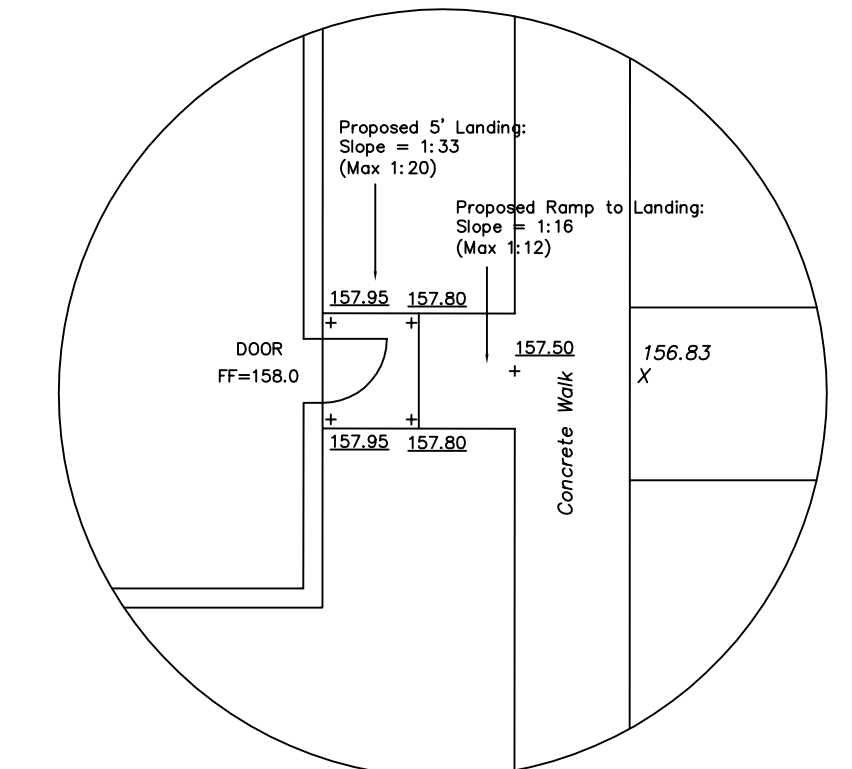


- NOTES:
- ALL MATERIAL THICKNESSES ARE FOR COMPACTED DEPTHS. COMPACTION SHALL BE PERFORMED WITH A 10 TON ROLLER.
 - WHERE NEW PAVEMENT MATCHES EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE SAWCUT VERTICALLY TO A SMOOTH EDGE AND A TACK COAT APPLIED. AFTER PLACEMENT OF THE PAVEMENT, THE JOINT SHALL BE SEALED WITH A HOT ASPHALT MATERIAL, AC-20 OR APPROVED EQUAL.
 - TACK COAT SHALL BE APPLIED BETWEEN LIFTS TO ALL VERTICAL JOINTS AND ON ALL SURFACES THAT HAVE BEEN IN PLACE FOR MORE THAN 72 HOURS.

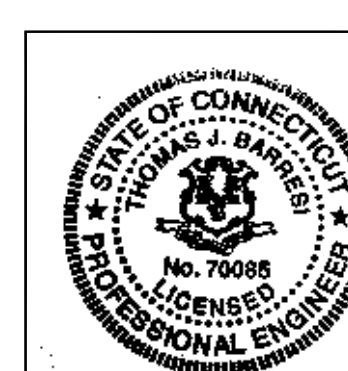
BITUMINOUS PAVEMENT SECTION



NORTHWEST ENTRY SPOT GRADE DETAIL



NORTHEAST ENTRY SPOT GRADE DETAIL



TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

BARRESI

ASSOCIATES LLC

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(860) 219-9260 www.barresillc.com

DATE	REVISION
5/31/24	Per Health Dept. & Town Engineer Memo 5/29/24

MODIFICATION TO APPROVED SITE PLAN

PREPARED FOR

RUSSELL ROAD ASSOCIATES, LLC

38 RUSSELL ROAD - BUILDING 2
EAST GRANBY, CONNECTICUT

APRIL 26, 2024