



TOWN OF EAST GRANBY

INCORPORATED 1858

PLANNING DEPARTMENT
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June 3, 2024

TO: Inland Wetland Watercourse Agency
FROM: Robin Newton, AICP, CZEO, Town Planner
RE: **CC# 24-06**, Russell Road Associates, LLC; applicant, 38 Russell Road; Construct industrial use building with parking, access drives, loading dock & related infrastructure, a portion of which falls within the upland review area (21,070 sf = 0.48 acres)

Staff has prepared this review for the application listed above.

General Comments:

Staff reviewed the following:

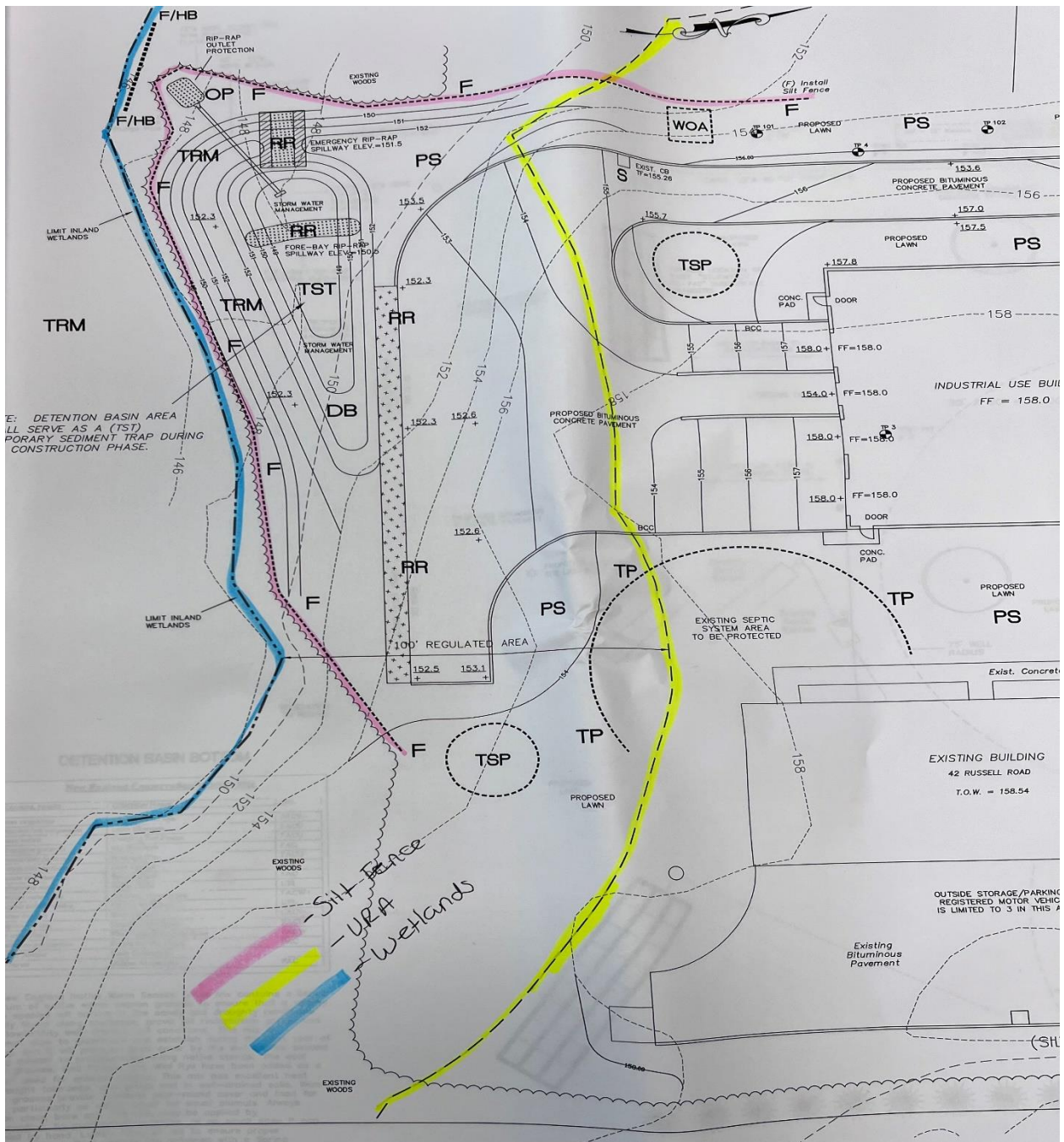
- Plans entitled, "Modification to Approved Site Plan Prepared For Russell Road Associates, LLC, 38 Russell Road, East Granby, Connecticut, Dated April 26, 2024, Revisions through 5/31/24, Prepared by Barresi Associates, LLC" with the following Sheets:

Sheet 1:	Cover Sheet
Sheet 2:	Boundary Plan
Sheet 3:	Existing Conditions/Site Preparation plan
Sheet 4:	Layout Plan
Sheet 5:	Grading & Erosion Control Plan
Sheet 6:	Utility, Lighting & Landscape Plan
Sheet 7:	Septic System Design & Details
Sheet 8:	Sedimentation & Erosion Control Notes
Sheet 9:	Erosion Control Details
Sheet 10:	Construction Details
- Drainage Report
- IWWA Application

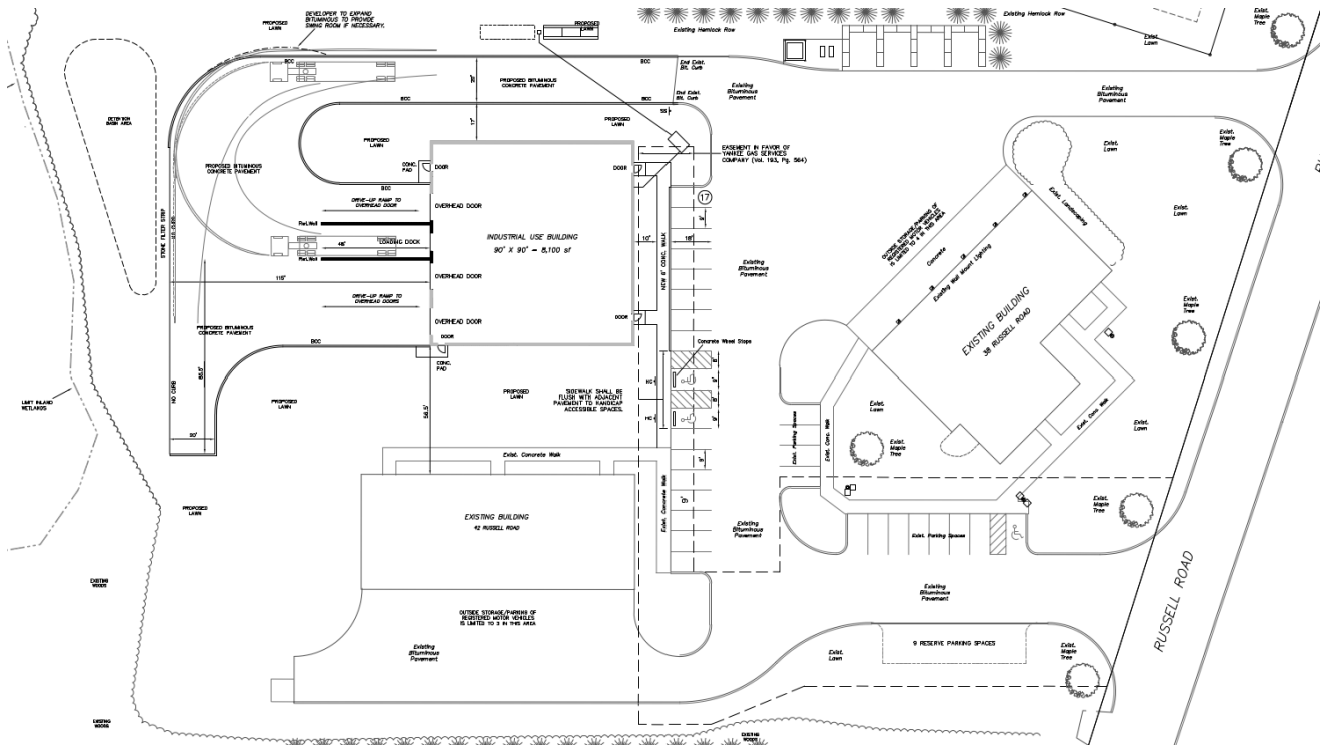
Comments:

This proposal seeks to construct a 8,100 square foot industrial use building with a loading dock and 3 garage bays. There is associated site work which includes drainage updates, bituminous driveway, septic system, parking spots to the front of the building and a proposed lawn area.

There are no direct wetland impacts associated with this proposal. All URA impacts are related to the construction of the detention basin areas as seen below.



This site is already built out with two existing industrial buildings and associated driveways and parking as shown below.



This proposal has no direct wetland impacts associated with the design. All building and associated parking and drive aisles were every day activities take place are outside of the wetlands and URA.

If the Commission feels that all this application meets their regulations, Staff has prepared a draft motion for the Commission’s consideration:

Motion to approve application CC# 24-06, Russell Road Associates, LLC; applicant, 38 Russell Road; Construct industrial use building with parking, access drives, loading dock & related infrastructure, a portion of which falls within the upland review area (21,070 sf = 0.48 acres) with the following conditions:

SPECIAL CONDITIONS:

1. A Pre-Construction Meeting is required with the Commission’s agent prior to the start of project.
2. No activities have been approved associated with this permit for work within the mapped wetland soils. Work beyond this permit will require approval from the Commission and would be considered a violation of the approval if it commences prior to necessary approvals.
3. Limits of clearing shall be staked in the field, inspected by Town Staff and approved before the start of any clearing activities.

4. The Commission's agent shall be notified at least **3 business days** prior to commencement of any regulated activity.
5. Final stabilization of disturbed soil areas shall be stabilized with the application of loam, seed, required plantings and appropriate erosion control measures.
6. At all times during site work and until soil areas are stabilized, the applicant shall install and maintain erosion and sediment control measures such as fabric filter fence, staked hay bales or other measures deemed necessary by the Commission's agent to prevent erosion and sedimentation impacts to wetlands and watercourses.
7. Erosion control and soil stabilization measures shall comply with the approved plans and the guidelines as established in the Connecticut Guidelines for Soil Erosion and Sediment Control, 2002, CTDEP Bulletin 34.
8. Upon direction of the Commission's agent, erosion and sediment control measures shall be removed by the applicant following stabilization of the site.
9. All conditions recommended by the Town Engineer shall be incorporated into the approval.

All work and regulated activities conducted pursuant to this authorization shall be consistent with the terms and conditions of this permit. Any structures, excavation, deposition of fill, obstructions of flow, encroachments or other regulated activities not specifically identified and authorized herein shall constitute a violation of this permit and may result in permit modification, suspension, or revocation.

In the event that any additional wetland or watercourse regulated activities are required as a result of other agency permitting to support the proposed activity, the Inland Wetland Conservation Commission reserves the right to reconsider the proposed regulated activity and may require modifications to minimize the impact to wetland resources.

In evaluating this application, the Commission has relied on information provided by the applicant. If such information subsequently proves to be false, incomplete and/or inaccurate, this permit may be modified, suspended, or revoked.