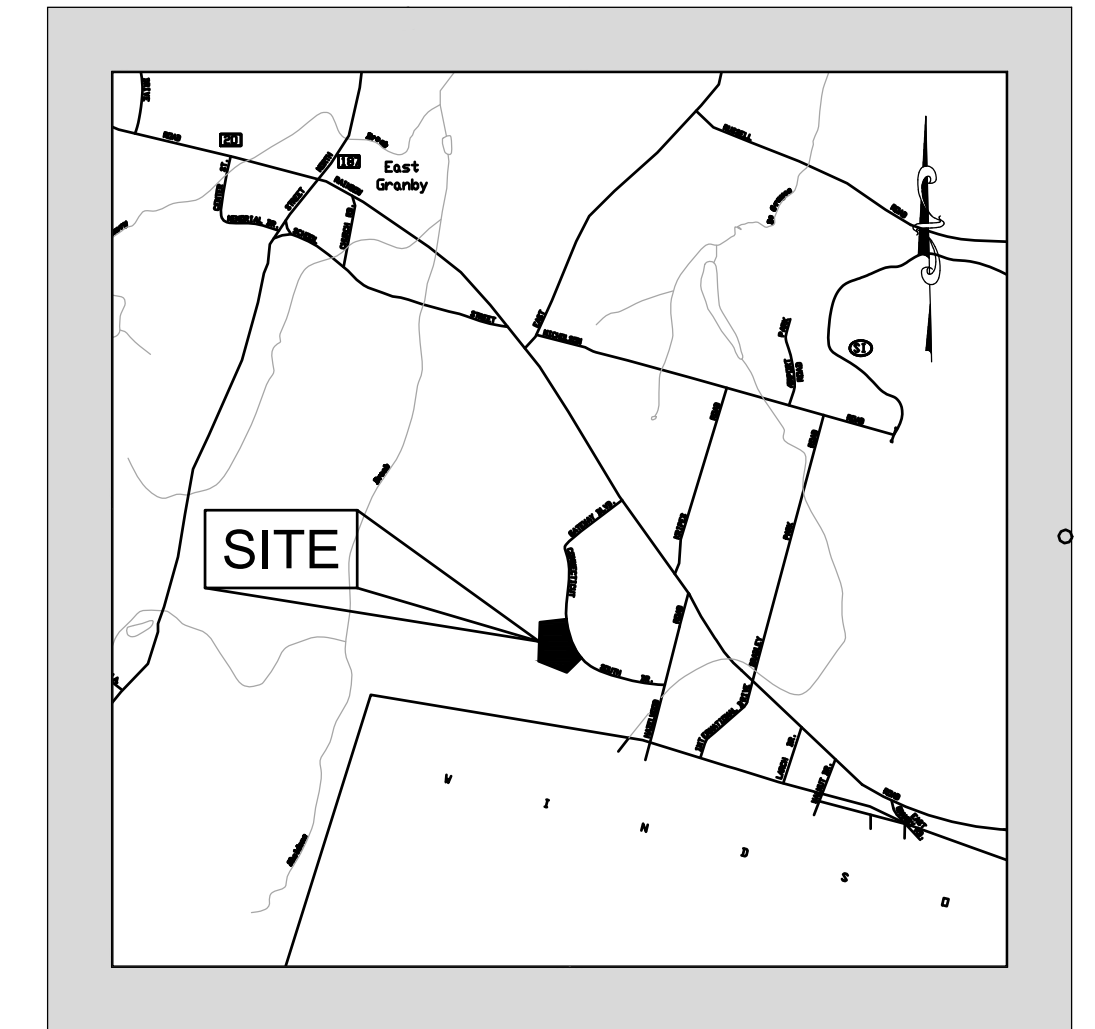


PROPOSED SELF STORAGE FACILITY

10 Connecticut South Drive
East Granby, Connecticut
Inland Wetlands & Site Plan Application
October 21, 2022



VICINITY MAP
(1" = 2000')

DEVELOPMENT TEAM

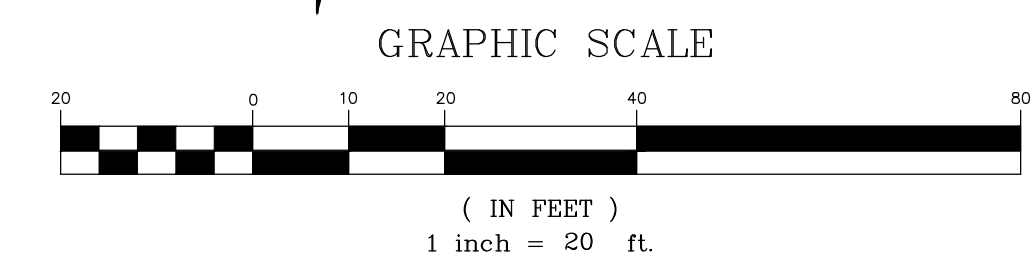
Property Owner	Harp Realty, LLC
Applicant/Developer	Sweat Equity, LLC
Civil Engineer	F. A. Hesketh & Associates, Inc.
Traffic Engineer	F. A. Hesketh & Associates, Inc.
Landscape Architect	F. A. Hesketh & Associates, Inc.
Land Surveyor	Dufour Surveying, LLC
Wetland Consultant	Soil Sciences & Environmental Services, Inc.

LIST OF DRAWINGS

	Title Sheet
LA-1	Layout Plan
LS-1	Landscape Plan
GR-1	Grading Plan
EC-1	Soil Erosion & Sedimentation Control Plan
UT-1	Utility and Drainage Plan
SD-1 thru SD-5	Site Details
NT-1	Notes
	Topographic Survey

SIGNAGE LEGEND

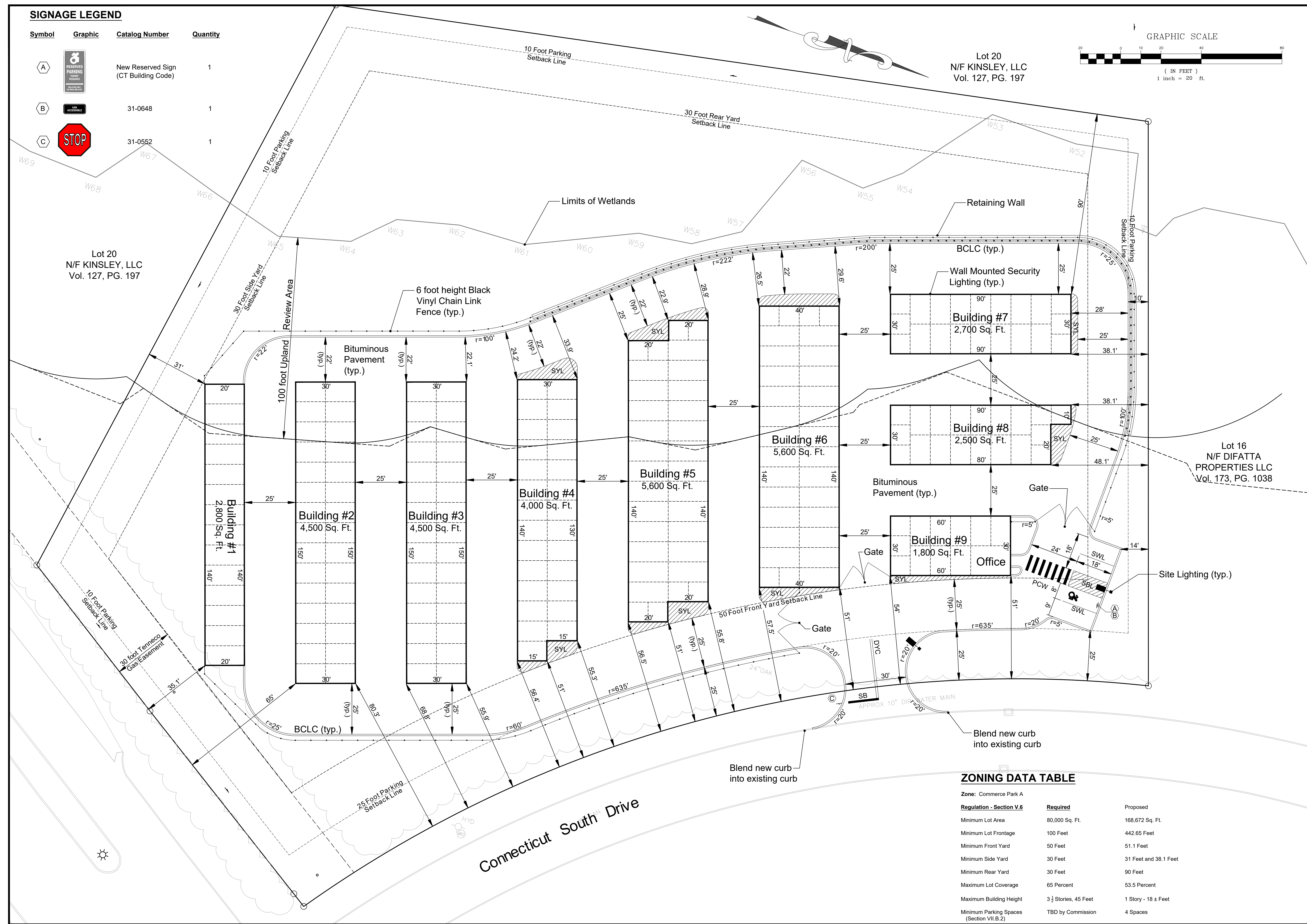
Symbol	Graphic	Catalog Number	Quantity
A		New Reserved Sign (CT Building Code)	1
B		31-0648	1
C		31-0552	1



Lot 20
N/F KINSLEY, LLC
Vol. 127, PG. 197

Lot 20
N/F KINSLEY, LLC
Vol. 127, PG. 197

Lot 16
N/F DIFATTA
PROPERTIES LLC
Vol. 173, PG. 1038



ZONING DATA TABLE

Zone: Commerce Park A		
Regulation - Section V.6	Required	Proposed
Minimum Lot Area	80,000 Sq. Ft.	168,672 Sq. Ft.
Minimum Lot Frontage	100 Feet	442.65 Feet
Minimum Front Yard	50 Feet	51.1 Feet
Minimum Side Yard	30 Feet	31 Feet and 38.1 Feet
Minimum Rear Yard	30 Feet	90 Feet
Maximum Lot Coverage	65 Percent	53.5 Percent
Maximum Building Height	3 1/2 Stories, 45 Feet	1 Story - 18 ± Feet
Minimum Parking Spaces (Section VII.B.2)	TBD by Commission	4 Spaces

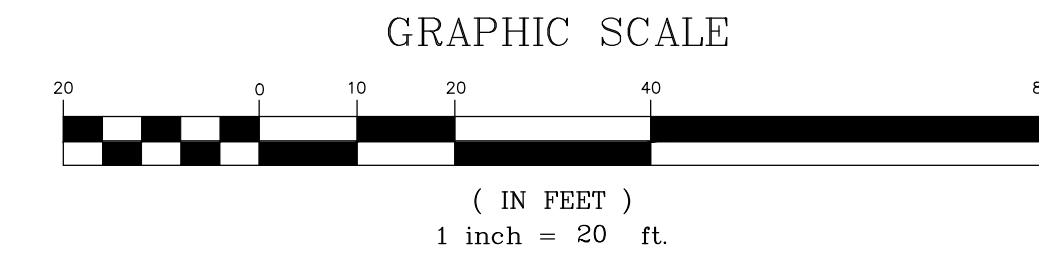
No.	Date	Description

LAYOUT PLAN
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT
Date: 10-21-2022 Drawn by: KLL Job no: 22085
Scale: 1" = 20' Checked by: DSZ Sheet no: 1 OF 1
© 2022 22085 - Connecticut South Drive\Summitt\2022-10-21\CTSD LA-1 2022-10-21.dwg, LA-1, Oct. 25, 2022 = 7:52:47 AM

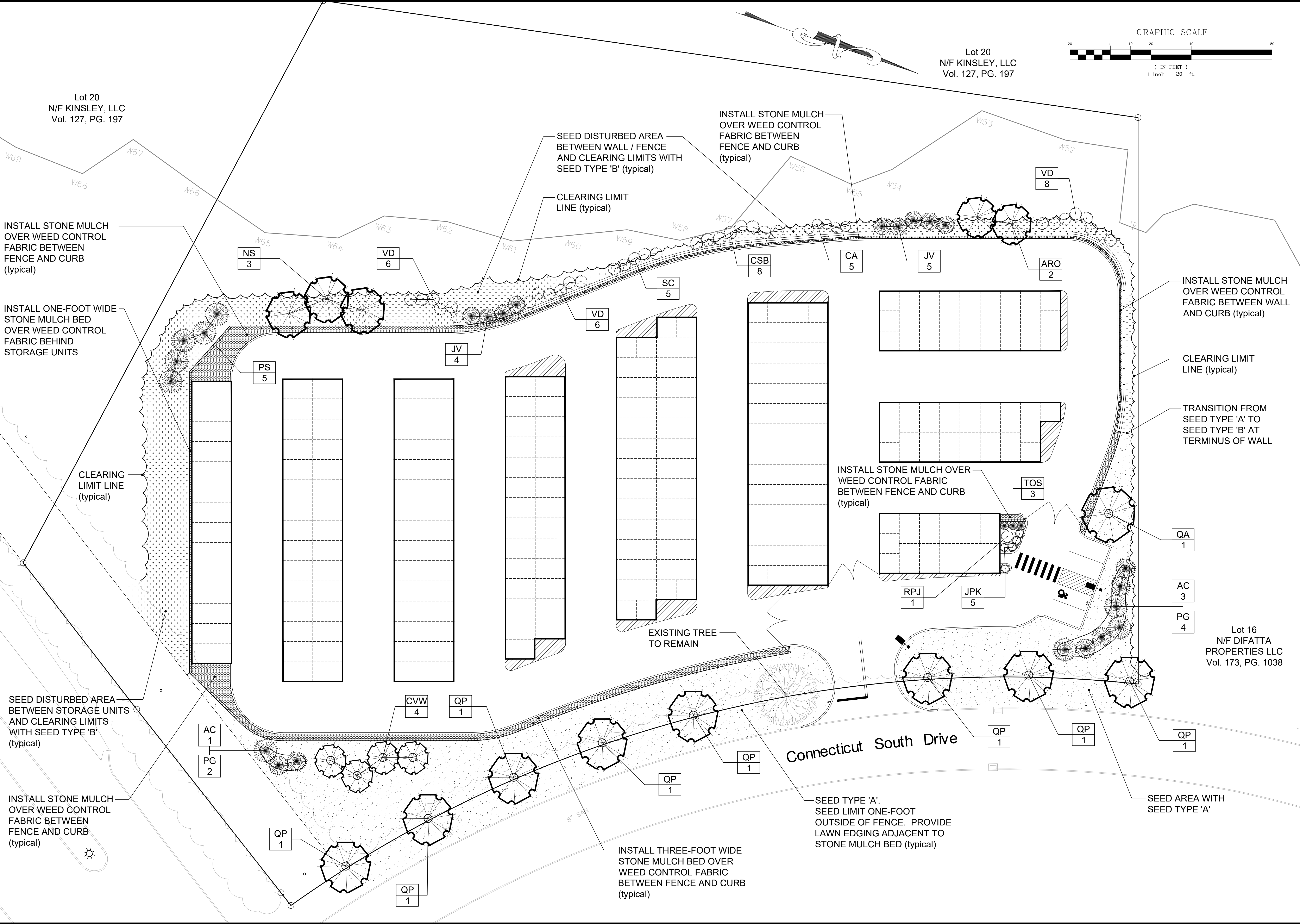
LA-1

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Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com . maffishesketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

Lot 20
N/F KINSLEY, LLC
Vol. 127, PG. 197



Lot 20
N/F KINSLEY, LLC
Vol. 127, PG. 197



INSTALL STONE MULCH OVER WEED CONTROL FABRIC BETWEEN FENCE AND CURB (typical)

INSTALL ONE-FOOT WIDE STONE MULCH BED OVER WEED CONTROL FABRIC BEHIND STORAGE UNITS

CLEARING LIMIT LINE (typical)

SEED DISTURBED AREA BETWEEN STORAGE UNITS AND CLEARING LIMITS WITH SEED TYPE 'B' (typical)

INSTALL STONE MULCH OVER WEED CONTROL FABRIC BETWEEN FENCE AND CURB (typical)

SEED DISTURBED AREA BETWEEN WALL / FENCE AND CLEARING LIMITS WITH SEED TYPE 'B' (typical)

CLEARING LIMIT LINE (typical)

INSTALL STONE MULCH OVER WEED CONTROL FABRIC BETWEEN FENCE AND CURB (typical)

INSTALL STONE MULCH OVER WEED CONTROL FABRIC BETWEEN FENCE AND CURB (typical)

EXISTING TREE TO REMAIN

INSTALL THREE-FOOT WIDE STONE MULCH BED OVER WEED CONTROL FABRIC BETWEEN FENCE AND CURB (typical)

SEED TYPE 'A'. SEED LIMIT ONE-FOOT OUTSIDE OF FENCE. PROVIDE LAWN EDGING ADJACENT TO STONE MULCH BED (typical)

INSTALL STONE MULCH OVER WEED CONTROL FABRIC BETWEEN WALL AND CURB (typical)

CLEARING LIMIT LINE (typical)

TRANSITION FROM SEED TYPE 'A' TO SEED TYPE 'B' AT TERMINUS OF WALL

Lot 16
N/F DIFATTA
PROPERTIES LLC
Vol. 173, PG. 1038

Connecticut South Drive

SEED AREA WITH SEED TYPE 'A'

No.	Date	Description

LANDSCAPE PLAN
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT
Date: 10-21-2022 Drawn by: KLL Job no.: 22085
Checked by: DSZ Sheet no.: 1 OF 2
Scale: 1" = 20'
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LS-1

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Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

LANDSCAPE SCHEDULE

Deciduous Shade Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
ARO	<i>Acer rubrum</i> 'October Glory'	October Glory Red Maple	2	3 to 3 1/2 inch caliper	Balled and Burlapped	40 to 50 Feet
NS	<i>Nyssa sylvatica</i>	Black Gum	3	3 to 3 1/2 inch caliper	Balled and Burlapped	35 to 40 Feet
QA	<i>Quercus alba</i>	White Oak	1	3 to 3 1/2 inch caliper	Balled and Burlapped	50 to 70 Feet
QP	<i>Quercus palustris</i>	Pin Oak	8	3 to 3 1/2 inch caliper	Balled and Burlapped	60 to 70 Feet

Deciduous Ornamental Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CVW	<i>Crataegus viridis</i> 'Winter King'	Winter King Hawthorn	4	2 1/2 to 3 inch caliper	Balled and Burlapped	20 to 25 Feet

Evergreen Trees

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
AC	<i>Abies concolor</i>	White Fir	4	6 to 7 foot height	Balled and Burlapped	50 to 70 Feet
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	9	6 to 7 foot height	Balled and Burlapped	30 to 40 Feet
PG	<i>Picea glauca</i>	White Spruce	6	6 to 7 foot height	Balled and Burlapped	40 to 60 Feet
PS	<i>Pinus strobus</i>	Eastern White Pine	5	6 to 7 foot height	Balled and Burlapped	50 -80 Feet
TOS	<i>Thuja occidentalis</i> 'Smaragd'	Emerald Green Arborvitae	3	5 to 6 foot height	Balled and Burlapped	12 to 15 Feet

Deciduous Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
CA	<i>Clethra alnifolia</i>	Summersweet Shrub	5	18 to 21 inch height	#3 Container	5 to 7 Feet
CSB	<i>Cornus sericea</i> 'Bailey'	Red Twig Dogwood	8	18 to 24 inch height	#3 Container	6 to 9 Feet
SC	<i>Sambucus canadensis</i>	Elderberry	5	18 to 24 inch height	#3 Container	10 to 12 Feet
VD	<i>Viburnum dentatum</i>	Arrowwood Viburnum	20	18 to 24 inch height	#3 Container	10 to 15 Feet

Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
JPK	<i>Juniperus x pfitzeriana</i> 'Kallay's Compact'	Kallay's Compact	5	18 to 24 inch spread	#3 Container	3 to 4 Feet

Broadleaf Evergreen Shrubs

Symbol	Botanical Name	Common Name	Quantity	Size	Root	Mature Height
RPJ	<i>Rhododendron</i> x 'P.J.M.'	P.J.M Rhododendron	1	24 to 30 inch height	#3 Container	4 to 5 Feet

SEED TYPES

Seed Type A

Sun & Shade Mixture

By: Jonathan Green or approved equal

Seed rate: 25 pounds per 9,375 square feet

- 20% Darkstar II Perennial Ryegrass
- 20% Carmen Chewings Fescue
- 15% Deepblue Kentucky Bluegrass
- 15% Eugene Creeping Red Fescue
- 15% Yorkshire Dales Perennial Ryegrass
- 15% Salisbury Chewings Fescue

Seed Type B

New England Erosion Control / Restoration Mix for Moist Sites

By: New England Wetland Plants, Inc. or approved equal

Seed rate: 35 pounds per Acre or 1,250 sq. ft. per pound

- Riverbank Wild Rye (*Elymus riparius*), Creeping Red Fescue (*Festuca rubra*), Little Bluestem (*Schizachyrium scoparium*), Big Bluestem (*Andropogon gerardii*), Switch Grass (*Panicum virgatum*), Upland Bentgrass (*Agrostis perennans*), Nodding Bur Marigold (*Bidens cernua*), Hollow-Stem Joe Pye Weed (*Eupatorium fistulosum* / *Eutrochium fistulosum*), New England Aster (*Aster novae-angliae*), Boneset (*Eupatorium perfoliatum*), Blue Vervain (*Verbena hastata*), Soft Rush (*Juncus effusus*), Wool Grass (*Scirpus cyperinus*)

GENERAL LANDSCAPE NOTES

- All plants shall meet or exceed the specifications of Federal, State and County laws requiring inspection for plant disease and insect control.
- Plant material shall conform with the "American Standard for Nursery Stock" by the American Association of Nurserymen, Inc. (ANSI Z60.1-2014).
- All plants shall be certified true to name by the nursery source. Plant names shall be in accordance with "Hortis Third" (1976) by the staff of the Liberty Hyde Bailey Herbarium, Cornell University. One plant from each species shall be tagged with name and size of the plant in accordance with the standards of practice of the American Association of Nurserymen. Botanical names shall take precedence over common names.
- Plant material shall be typical of their species and/or variety, with a normal habit of growth, sound, healthy and vigorous. They shall be well branched and densely foliated when in leaf, free of disease, insect pest, eggs or larvae. They shall have healthy well-developed root systems. All trees shall have straight single trunks with their main leader intact unless otherwise noted or approved.
- All landscaped areas to have 2" shredded bark mulch (color: black) over weed control fabric. No weed control fabric in areas of groundcover or perennial plantings.
- Provide protective covering of plant material during delivery and storage. Root balls shall not be cracked or broken. Do not prune plants prior to delivery. Remove unacceptable plant material immediately from the job site.
- Plant locations on the Drawings are approximate and are to be used only as a guide. Contractor shall provide all field engineering services to accurately stake out locations for all plants prior to installation. Do not begin excavation until Project Landscape Architect has approved specific layout.
- If requested by Project Landscape Architect, stake and guy each tree as shown on the applicable Drawings immediately after planting. Keep trees plumb and taut.
- If requested by Project Landscape Architect, wrap the trunks of all trees spirally from the ground line to above the lowest main branch.
- Perform all cultural care necessary to properly maintain plant viability and keep planted areas in a neat and orderly condition, including but not limited to:
 - Watering
 - Weed removal
 - Apply lime or sulphur to adjust soil pH to specific plant requirements
 - Restore or reshape earth saucers
 - Pruning
 - Adjust and tighten tree supports to maintain plants at their proper grades and vertical position
 - Replace mulch to maintain proper depth
- If there is a difference between the quantity of plant material specified on the Plan and the amount depicted on the Landscape Schedule, the amount on the Plan shall take precedence.
- All disturbed areas not covered by buildings, pavement or plantings shall be seeded or sodded lawn (see plan for specific treatment). New lawn areas shall receive a minimum of 6" topsoil of the proper pH and organic content suitable for the healthy growth of lawns. Contractor shall be responsible for mowing and watering during the guarantee period. Lawn areas shall be guaranteed for 60 days or second mowing, whichever is later.
- Spade edge all planting beds within lawn areas. Provide clean spaded edge at perimeter of all planting beds and tree pits adjacent to lawn areas. Spade edge of newly planted lawn areas following second mowing.
- All planting beds and tree pits to receive approved mulch to depths indicated in the planting details.
- Landscape Contractor shall guarantee all plant material for one (1) full year from date of acceptance. Proper landscape maintenance shall be the responsibility of the owner.
- Deciduous Shade Trees shall have a minimum branching height of five (5) feet.
- Plants shall be handled at all times in accordance with the best horticultural practices. Plants in-leaf shall be sprayed with anti-desiccant before digging. Plants shall be dug with firm natural balls and shall conform to the ratios and sizes as specified in ANSI Z60.1-2014. Balled and Burlapped plants shall be wrapped in burlap and tied firmly. Plant materials shall be delivered immediately prior to placement, shall be kept moist, and shall be protected from sun and wind. Plants having broken or cracked root balls prior to or during planting shall not be accepted.
- All single trunk, deciduous trees shall be wrapped immediately after planting with tree wrap. Wrap shall be wound spirally, from the bottom of the trunk to the second branches. All trees in windy areas shall be staked or guyed immediately after planting.
- The period of planting shall be from March 15th to May 15th and from September 15th to November 15th, weather permitting.
- All locations of existing and proposed utilities may not be shown on this plan. See other plan sheets for existing and proposed utility locations. Contractor shall be solely responsible for determining actual locations of utilities. Utility conflicts may require adjustments to proposed landscape installation. Contractor shall be responsible for repair on any utilities damaged during construction. Contractor shall contact "Call Before You Dig" 1-800-922-4455 (www.cbud.com) two (2) working days prior to starting landscape installation to locate utilities.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

WRAP TREE TRUNKS ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT.

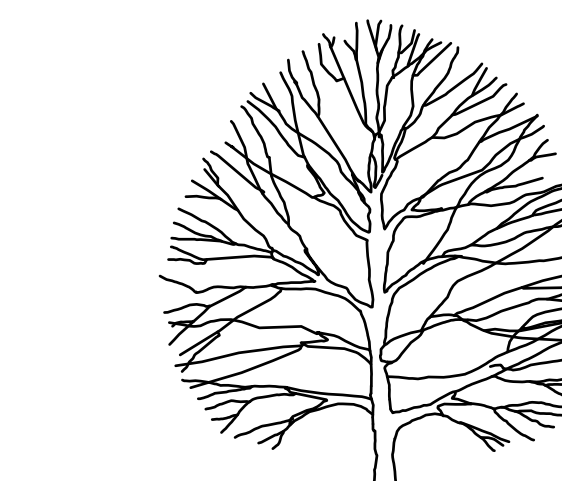
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

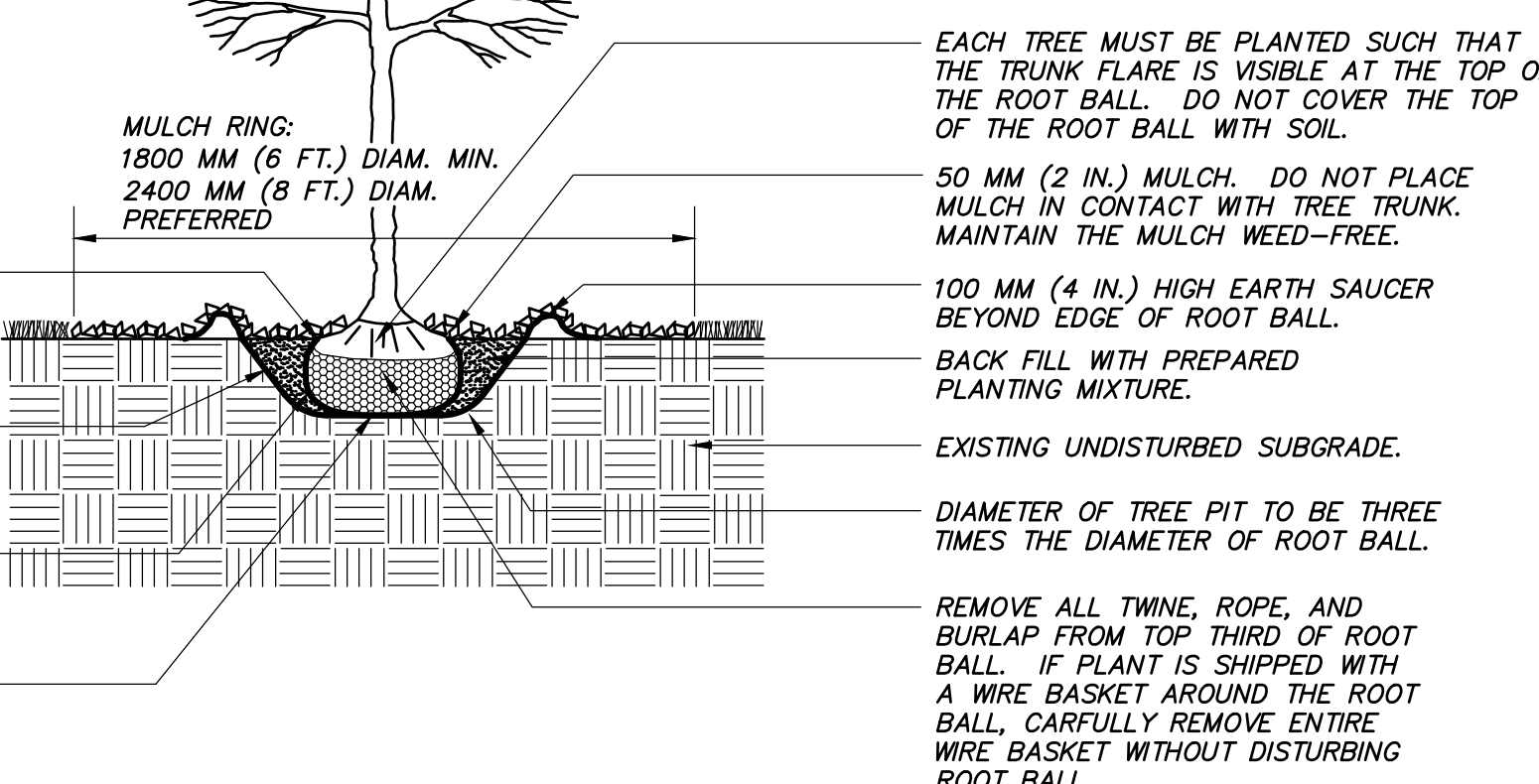
VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



B&B TREE PLANTING DETAIL
N.T.S.

STAKE TREES ONLY UPON THE APPROVAL OF THE PROJECT LANDSCAPE ARCHITECT. SEE STAKING DETAIL(S) IF REQUIRED.

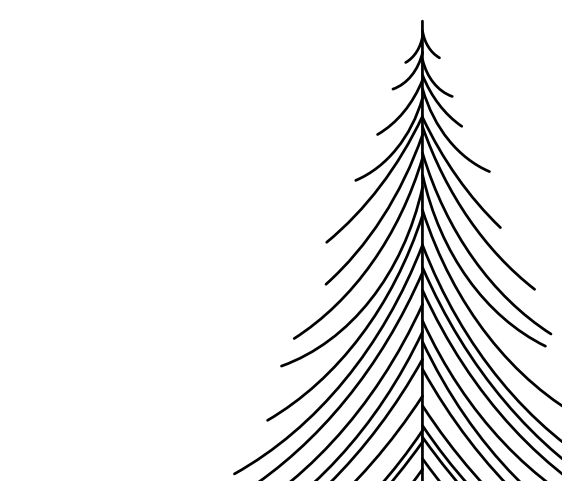
MULCH RING: 1800 MM (6 FT.) DIAM. MIN. 2400 MM (8 FT.) DIAM. PREFERRED

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

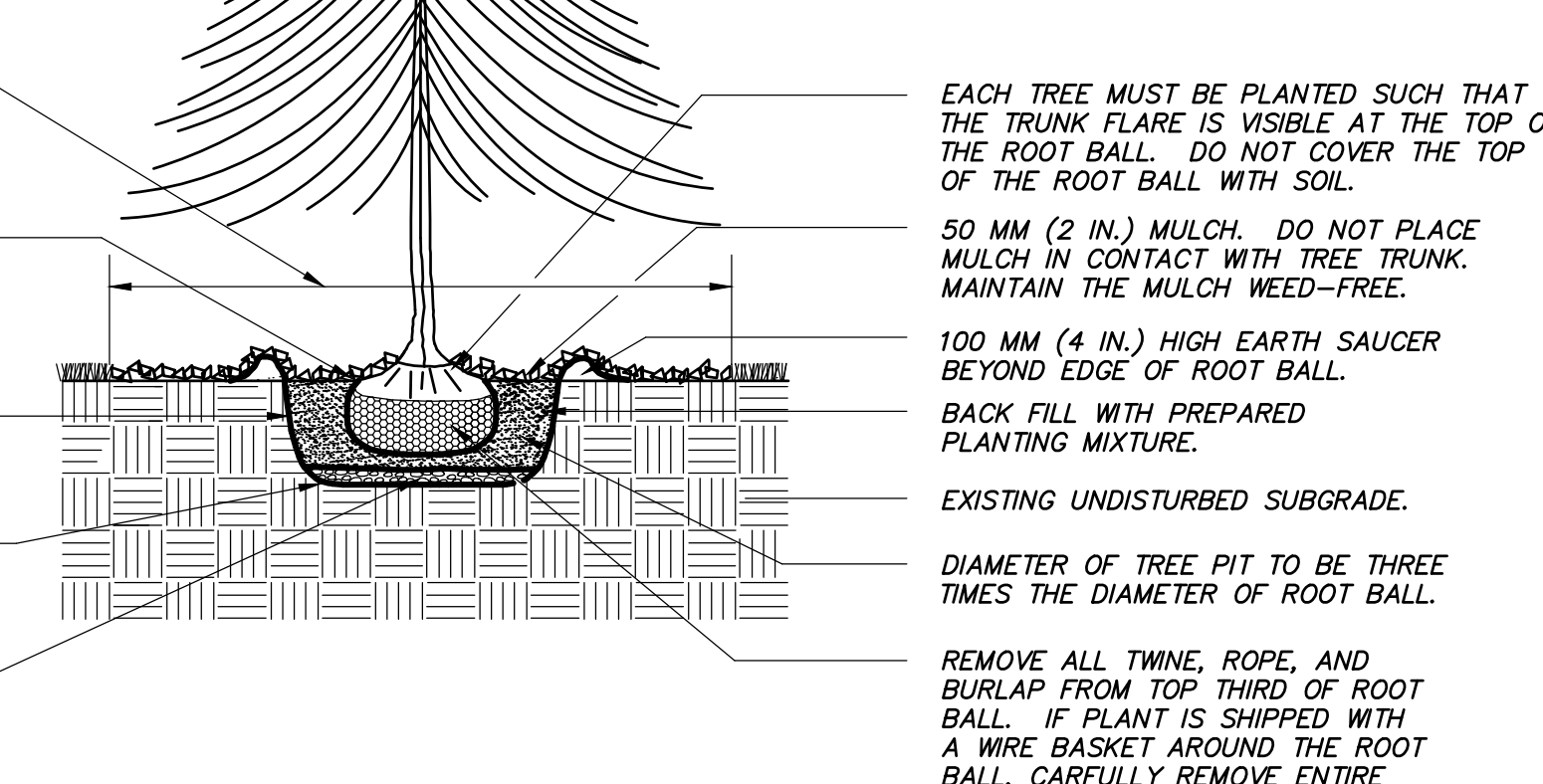
TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

FACE TREE TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.



EVERGREEN B&B TREE PLANTING DETAIL
N.T.S.

DO NOT HEAVILY PRUNE THE SHRUB AT PLANTING. PRUNE ONLY BROKEN OR DEAD BRANCHES.

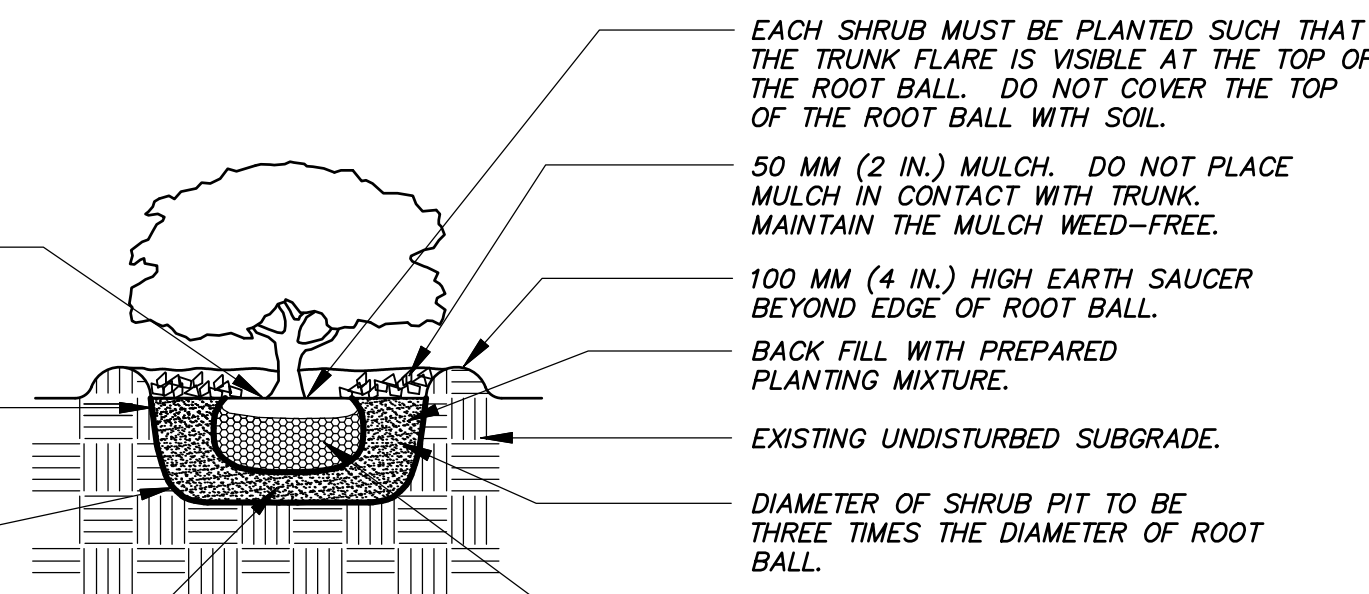
FACE SHRUB TO GIVE ITS BEST APPEARANCE AS ACCEPTED BY THE PROJECT LANDSCAPE ARCHITECT.

SET TOP OF ROOT BALL FLUSH TO GRADE OR 25-50 MM (1-2 IN.) HIGHER IN SLOWLY DRAINING SOILS.

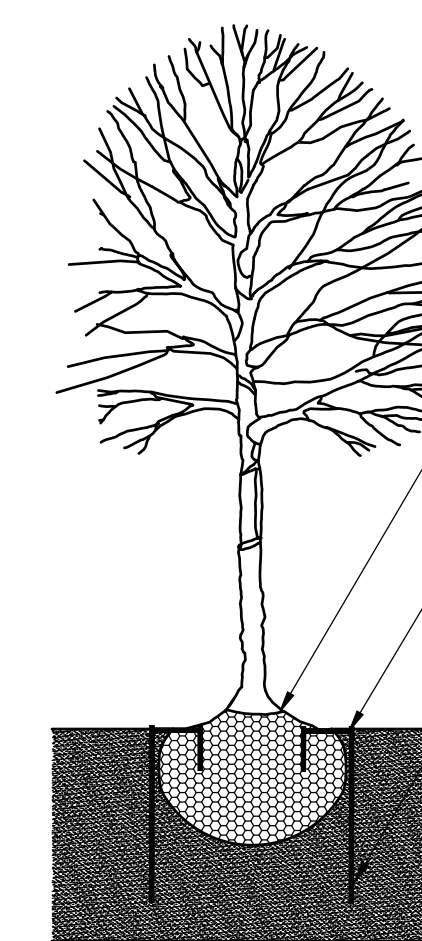
VERTICAL TO 1:1 SLOPE ON SIDES OF PLANTING HOLE.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY SO THAT ROOT BALL DOES NOT SHIFT.

25 MM (1 INCH) PREPARED PLANTING MIXTURE. TAMP TO ACHIEVE EVEN, FIRM BASE FOR ROOT BALL.



SHRUB PLANTING DETAIL
N.T.S.



AT INITIAL INSTALLATION, LEAVE BURLAP AND ANY TWINE INTACT. AFTER INSTALLATION, CUT BACK BURLAP, LEAVING MATERIAL UNDER CROSSBARS.

RECESS TREE STAPLE DEVICE 1" TO 2" INTO ROOT BALL

"TREE STAPLE" BELOW-GRADE STABILIZING SYSTEM (BY "TREE STAPLE" OR EQUAL):

- 1" TO 2" CALIPER TREES - MODEL #TS24
2 STAPLES WITH UP TO A 16" ROOT BALL
- 2" TO 4" CALIPER TREES - MODEL #TS36
2 STAPLES WITH A 24" ROOT BALL
- 4" TO 6" CALIPER TREES - MODEL #TS42
2-3 STAPLES WITH A 30"+ ROOT BALL
- 6" TO 8" CALIPER TREES - MODEL #TS48
2-3 STAPLES WITH A 36"+ ROOT BALL

TREE STAKING DETAIL

Revisions:

Description

No.

Date

LANDSCAPE SCHEDULE, DETAILS AND NOTES
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT









Date: 10-21-2022 Drawn by: KLL Job no: 22085
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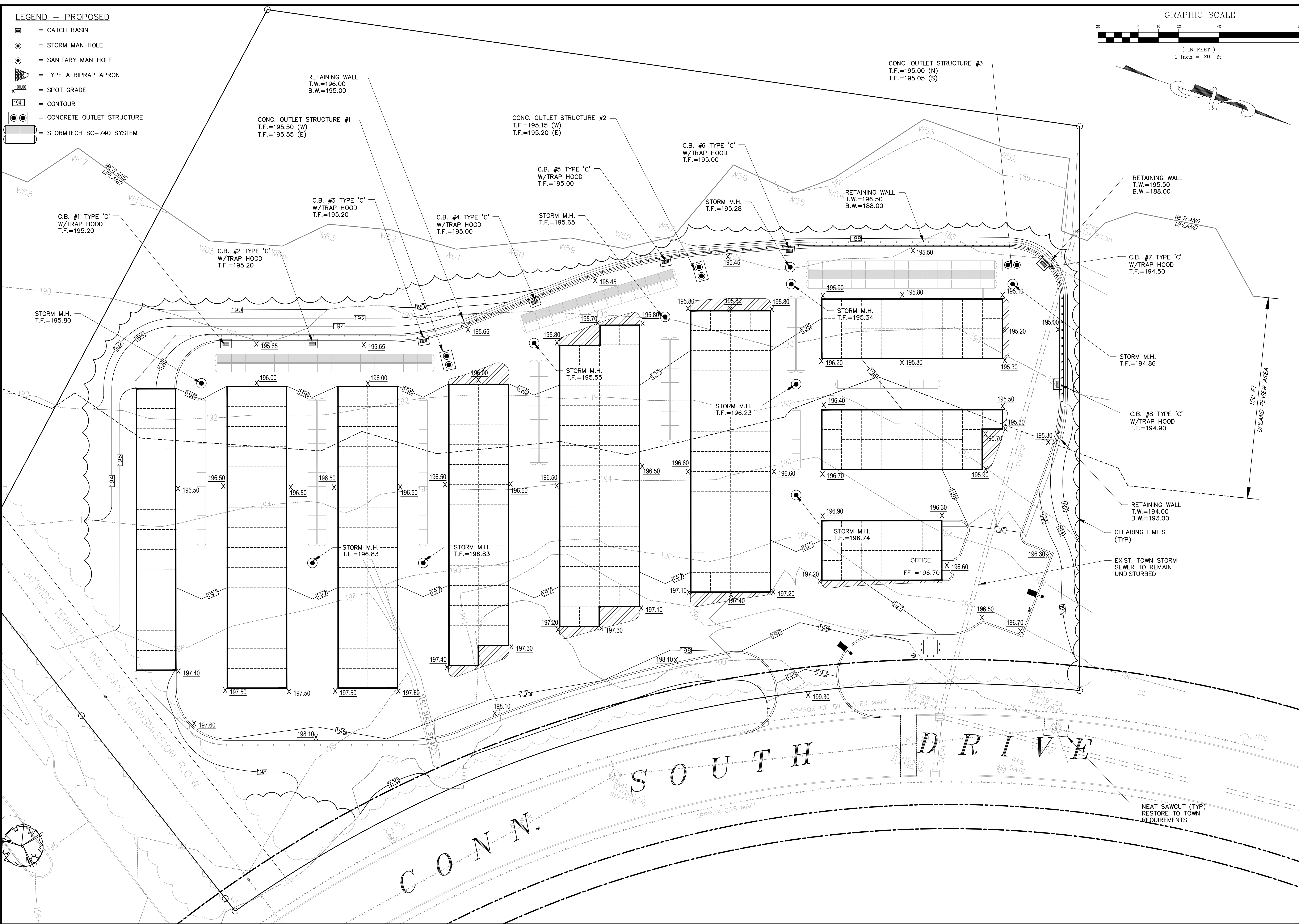
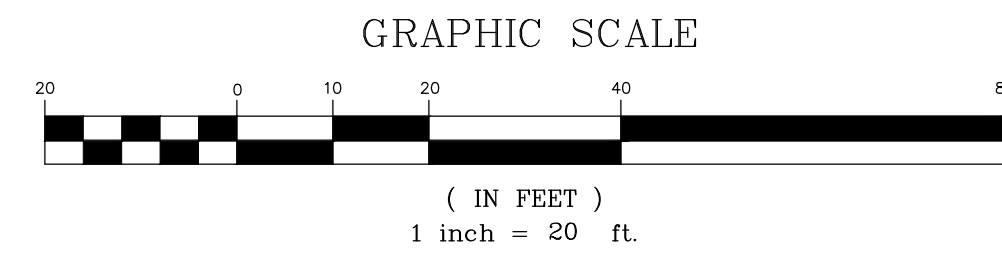
LS-2

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www.fahsketh.com • malfahsketh.com



LEGEND -- PROPOSED

-  = CATCH BASIN
-  = STORM MAN HOLE
-  = SANITARY MAN HOLE
-  = TYPE A RIPRAP APRON
-  = SPOT GRADE
-  = CONTOUR
-  = CONCRETE OUTLET STRUCTURE
-  = STORMTECH SC-740 SYSTEM



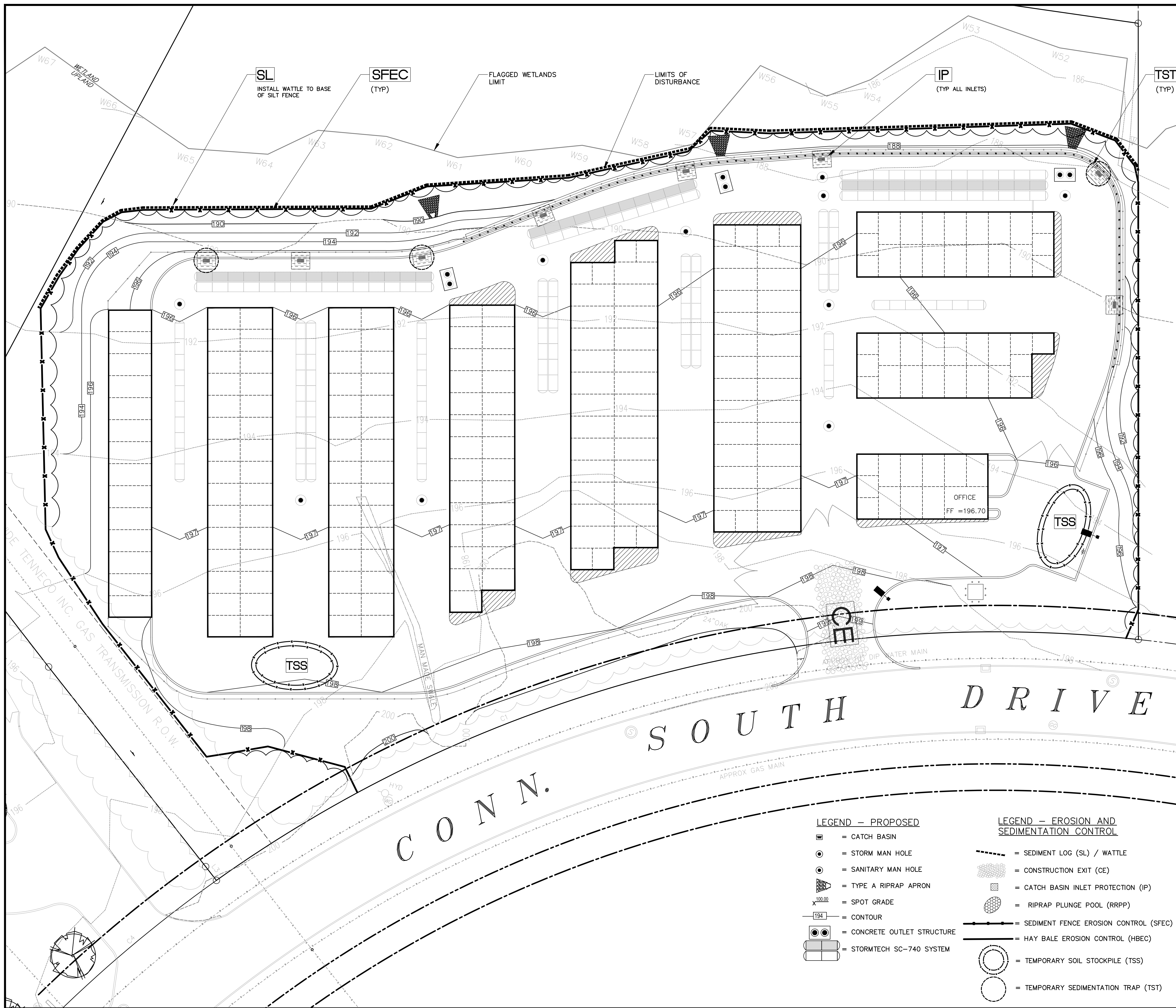
GR-1

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 Civil & Traffic Engineers . Planners . Landscape Architects

No.	Date	Description

GRADING PLAN
 PREPARED FOR
SWEAT EQUITY, LLC
 10 CONNECTICUT SOUTH DRIVE
 EAST GRANBY, CONNECTICUT

Date: 10-21-2022 Drawn by: ERN Job no: 22085
 Scale: 1" = 20' Checked by: DSZ Sheet no: 1 OF 1
 © 2022 22085 - Connecticut South Drive\Summitta\2022-10-21\CTSD GR-1 2022-10-21.dwg, GR-1, Oct. 25, 2022 = 12:06:27 PM



GENERAL EROSION AND SEDIMENT CONTROL NOTES

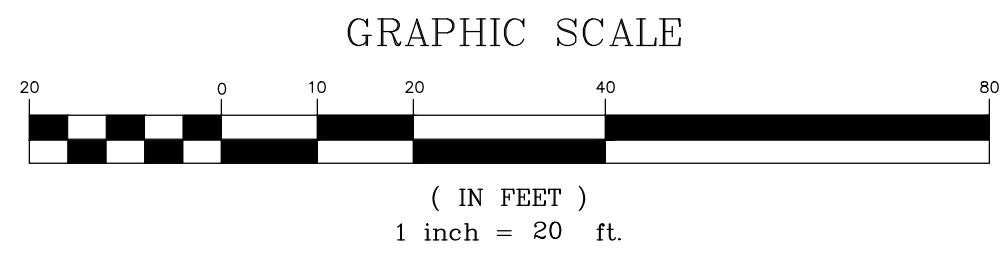
- DISTURBANCE OF SOIL SURFACES IS REGULATED BY STATE LAW. ALL WORK SHALL COMPLY WITH AN APPROVED "EROSION AND SEDIMENT CONTROL PLAN" TO PREVENT OR MINIMIZE SOIL EROSION.
- THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES IS THE RESPONSIBILITY OF THE CONTRACTOR. TOWN OFFICIALS SHALL BE NOTIFIED IN WRITING OF THE NAME, ADDRESS AND TELEPHONE NUMBER OF THE INDIVIDUAL RESPONSIBLE FOR THIS WORK (INCLUDING ANY CHANGES) AT THE REQUIRED PRE-CONSTRUCTION CONFERENCE.
- THE CONTRACTOR SHALL USE THE "CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL" (2002), AS AMENDED AS A GUIDE IN CONSTRUCTING THE EROSION AND SEDIMENT CONTROLS INDICATED ON THESE PLANS. THE GUIDELINES MAY BE OBTAINED FROM THE CONNECTICUT DEPARTMENT OF ENVIRONMENTAL PROTECTION STORE, 79 ELM STREET, HARTFORD, CT 06106.
- THE CONTRACTOR SHALL SCHEDULE ALL OPERATIONS TO LIMIT DISTURBANCE TO THE SMALLEST PRACTICAL AREA FOR THE SHORTEST POSSIBLE TIME. OVERALL SITE DISTURBANCE SHALL BE CONFINED TO THOSE LIMITS DELINEATED ON THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY INSTALLATION, INSPECTION, REPAIR OR REPLACEMENT OF EROSION CONTROL DEVICES TO INSURE PROPER OPERATION.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER OF UNSATISFACTORY EROSION CONDITIONS NOT CONTROLLED BY THE EROSION AND SEDIMENT CONTROL PLAN AND SHALL INSTALL ADDITIONAL MEASURES AS REQUIRED.
- ALL DISTURBED AREAS NOT COVERED BY BUILDINGS, PAVEMENT, MULCH, PERMANENT RIP RAP EROSION CONTROL OR GROUND COVER PLANTINGS SHALL BE PLANTED WITH GRASS.
- ACCUMULATED SEDIMENT REMOVED FROM EROSION CONTROL DEVICES IS TO BE SPREAD AND STABILIZED IN LEVEL, EROSION RESISTANT LOCATIONS AS GENERAL FILL.
- SPECIAL ATTENTION SHALL BE GIVEN TO THE CONSTRUCTION SEQUENCE AND PHASING OUTLINED ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING ANY CONSTRUCTION DEBRIS OR SEDIMENT FROM EXISTING ROADS AS ORDERED BY THE TOWN AND/OR STATE, IF ANY DEBRIS OR SEDIMENT FROM CONSTRUCTION ACTIVITIES ENTER ONTO THESE ROADWAYS.
- ANY ADDITIONAL SEDIMENT/EROSION CONTROL MEASURES DEEMED NECESSARY BY THE TOWN OR STATE STAFF DURING CONSTRUCTION SHALL BE IMPLEMENTED BY THE CONTRACTOR. IN ADDITION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE, REPAIR AND/OR REPLACEMENT OF ALL REQUIRED CONTROL MEASURES UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED TO THE SATISFACTION OF THE TOWN OR STATE.
- SEE DETAIL SHEETS FOR ADDITIONAL DETAILS AND NOTES AND FOR CONSTRUCTION PHASING PLANS.
- IN AREAS WHERE LIMITS OF DISTURBANCE ARE NOT DELINEATED BY SILT FENCE, INSTALL CONSTRUCTION FENCE FOR TREE PROTECTION AND DELINEATION OF LIMIT OF DISTURBANCE.
- WHERE SILT FENCE RUNS DOWNHILL, INSTALL SILT FENCE WINGS, HAY BALE CHECK DAMS OR STONE CHECK DAMS TO SLOW DOWN WATER FLOW AND TO TRAP SEDIMENT.
- LIMITS OF DISTURBANCE TO BE CONSIDERED LIMITS OF SILT FENCING ALONG PROPERTY.
- E&S INSPECTION REPORTS PERFORMED EVERY 2 WEEKS AND FOR ANY STORMS OVER 1/2 INCH. ANY REPAIRS ARE TO BE DONE WITHIN 24 HOURS. ALL REPORTS SHALL BE SUBMITTED TO TOWN WITHIN 48 HOURS OF INSPECTION.

LEGEND - PROPOSED

- [Symbol] = CATCH BASIN
- [Symbol] = STORM MAN HOLE
- [Symbol] = SANITARY MAN HOLE
- [Symbol] = TYPE A RIPRAP APRON
- [Symbol] = SPOT GRADE
- [Symbol] = CONTOUR
- [Symbol] = CONCRETE OUTLET STRUCTURE
- [Symbol] = STORMTECH SC-740 SYSTEM

LEGEND - EROSION AND SEDIMENTATION CONTROL

- [Symbol] = SEDIMENT LOG (SL) / WATTLE
- [Symbol] = CONSTRUCTION EXIT (CE)
- [Symbol] = CATCH BASIN INLET PROTECTION (IP)
- [Symbol] = RIPRAP PLUNGE POOL (RRPP)
- [Symbol] = SEDIMENT FENCE EROSION CONTROL (SFEC)
- [Symbol] = HAY BALE EROSION CONTROL (HBEC)
- [Symbol] = TEMPORARY SOIL STOCKPILE (TSS)
- [Symbol] = TEMPORARY SEDIMENTATION TRAP (TST)











No.	Date	Description

EROSION & SEDIMENTATION CONTROL PLAN
 PREPARED FOR
SWEAT EQUITY, LLC
 10 CONNECTICUT SOUTH DRIVE
 EAST GRANBY, CONNECTICUT
 Date: 10-21-2022 Drawn by: ERN Job no: 22085
 Scale: 1" = 20' Checked by: DSZ Sheet no: 7 OF 7
 © 2022 22085 - Connecticut South Drive\Summitta\2022-10-21\GISD 06-1 2022-10-21.dwg, EC-1, Oct. 25, 2022 - 12:06:40 PM

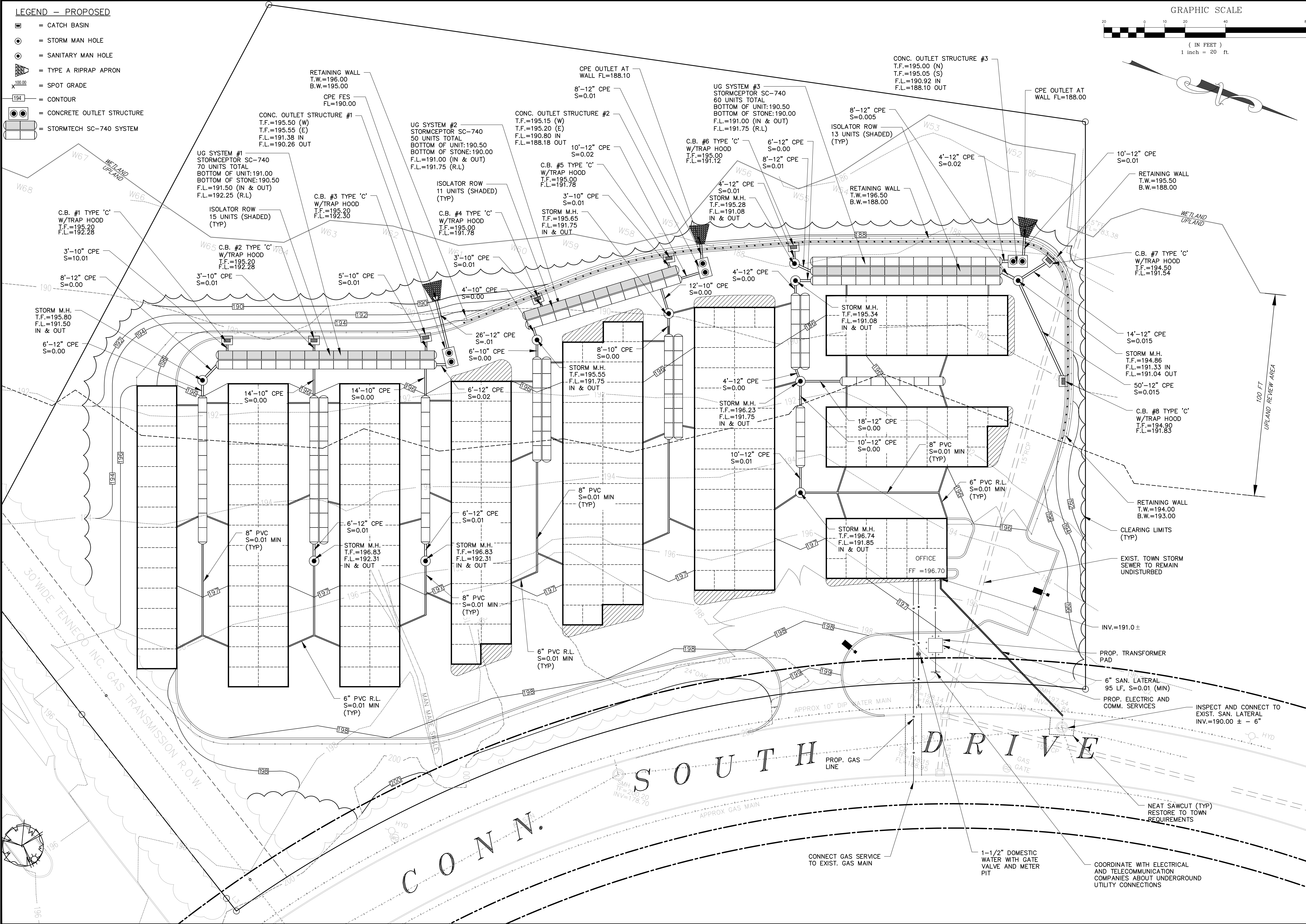
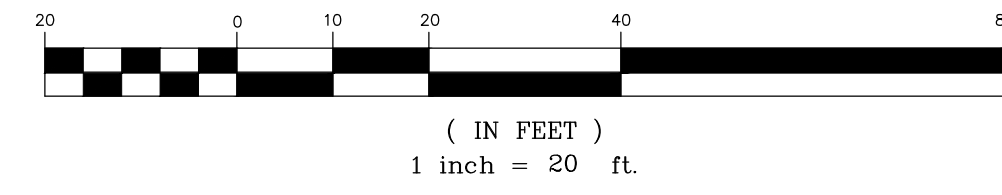
EC-1

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 Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

LEGEND -- PROPOSED

-  = CATCH BASIN
-  = STORM MAN HOLE
-  = SANITARY MAN HOLE
-  = TYPE A RIPRAP APRON
-  = SPOT GRADE
-  = CONTOUR
-  = CONCRETE OUTLET STRUCTURE
-  = STORMTECH SC-740 SYSTEM

GRAPHIC SCALE



Revisions:

No.	Date	Description

UTILITIES AND DRAINAGE PLAN
 PREPARED FOR
SWEAT EQUITY, LLC
 10 CONNECTICUT SOUTH DRIVE
 EAST GRANBY, CONNECTICUT

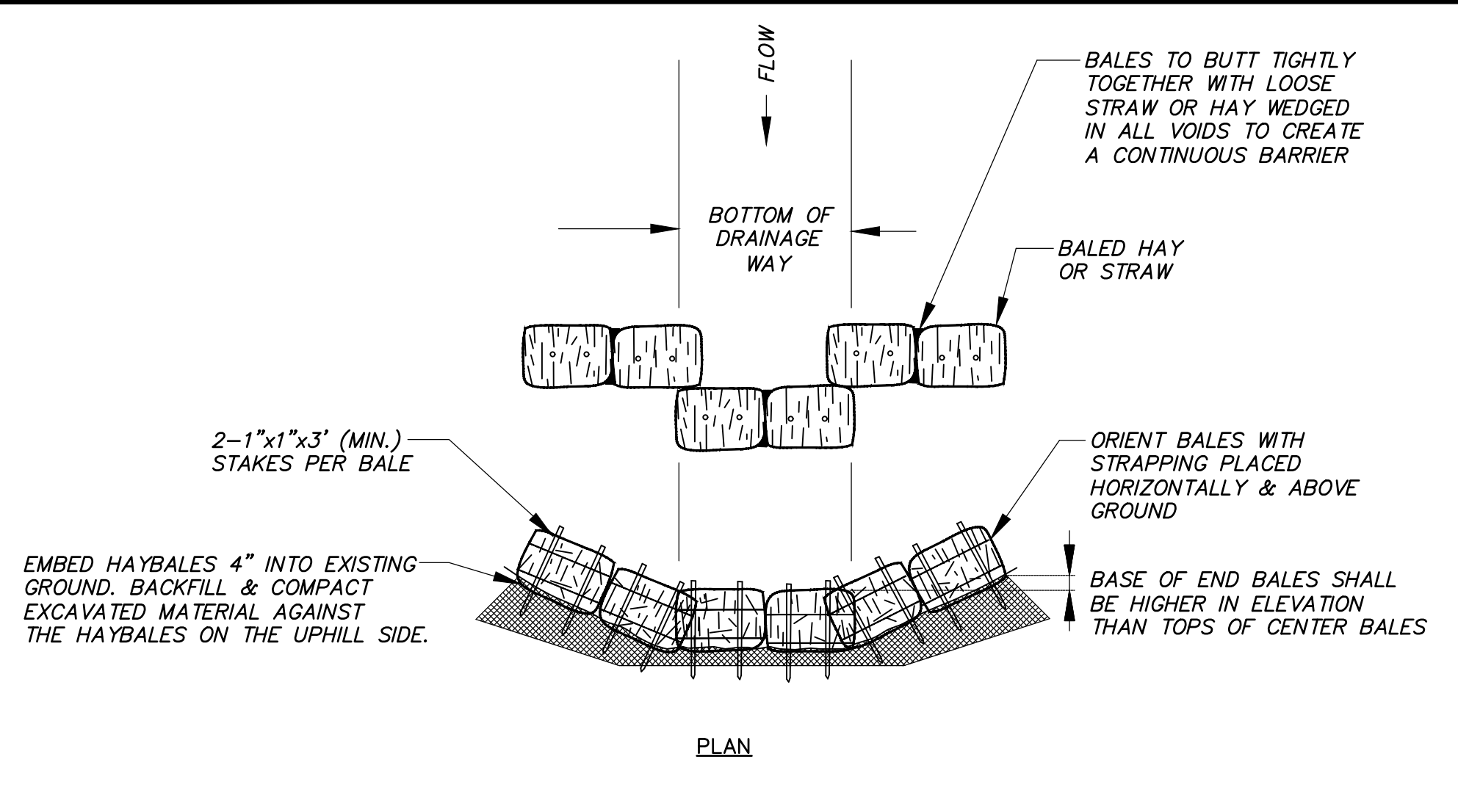
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 Scale: 1" = 20' Checked by: DSZ Sheet no: 1 OF 1
 © 2022 22085 - Connecticut South Drive\Summitta\2022-10-21\CTSD 06-1 2022-10-21.dwg, UT-1, oct. 25, 2022 12:08:43 PM

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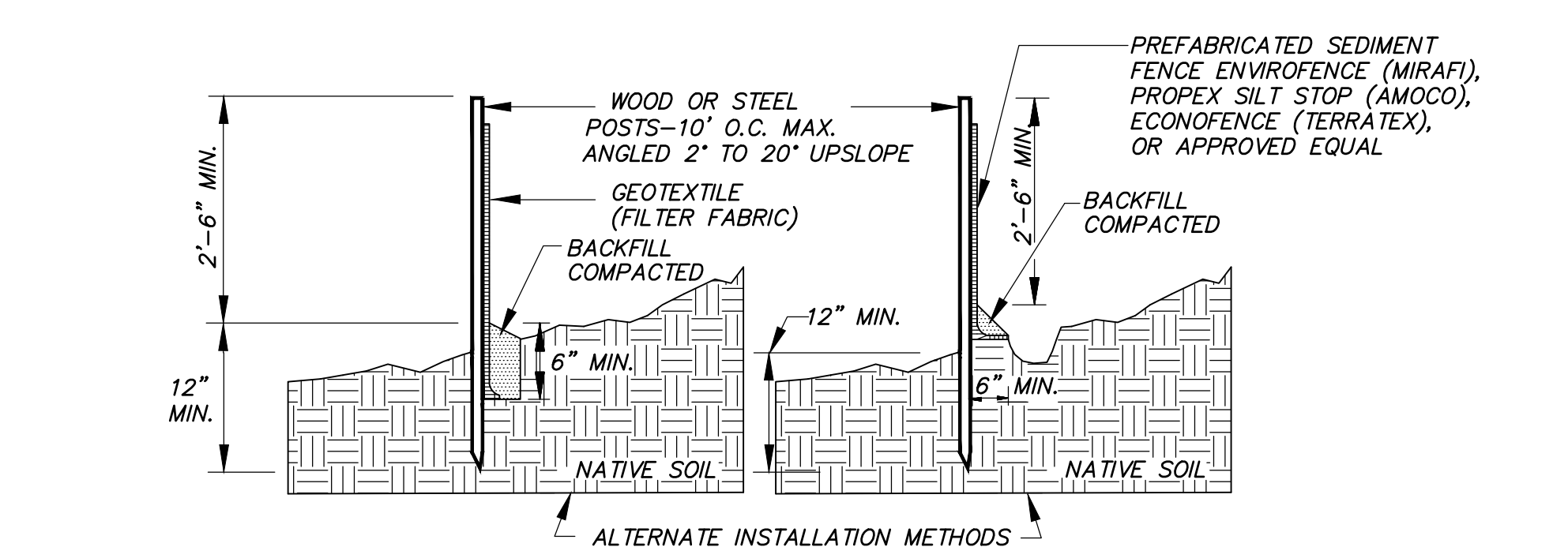
FAH

UT-1

UTILITIES AND DRAINAGE PLAN
 PREPARED FOR
SWEAT EQUITY, LLC
 10 CONNECTICUT SOUTH DRIVE
 EAST GRANBY, CONNECTICUT
 Date: 10-21-2022 Drawn by: ERN Job no: 22085
 Scale: 1" = 20' Checked by: DSZ Sheet no: 1 OF 1
 © 2022 22085 - Connecticut South Drive\Summitta\2022-10-21\CTSD 06-1 2022-10-21.dwg, UT-1, oct. 25, 2022 12:08:43 PM

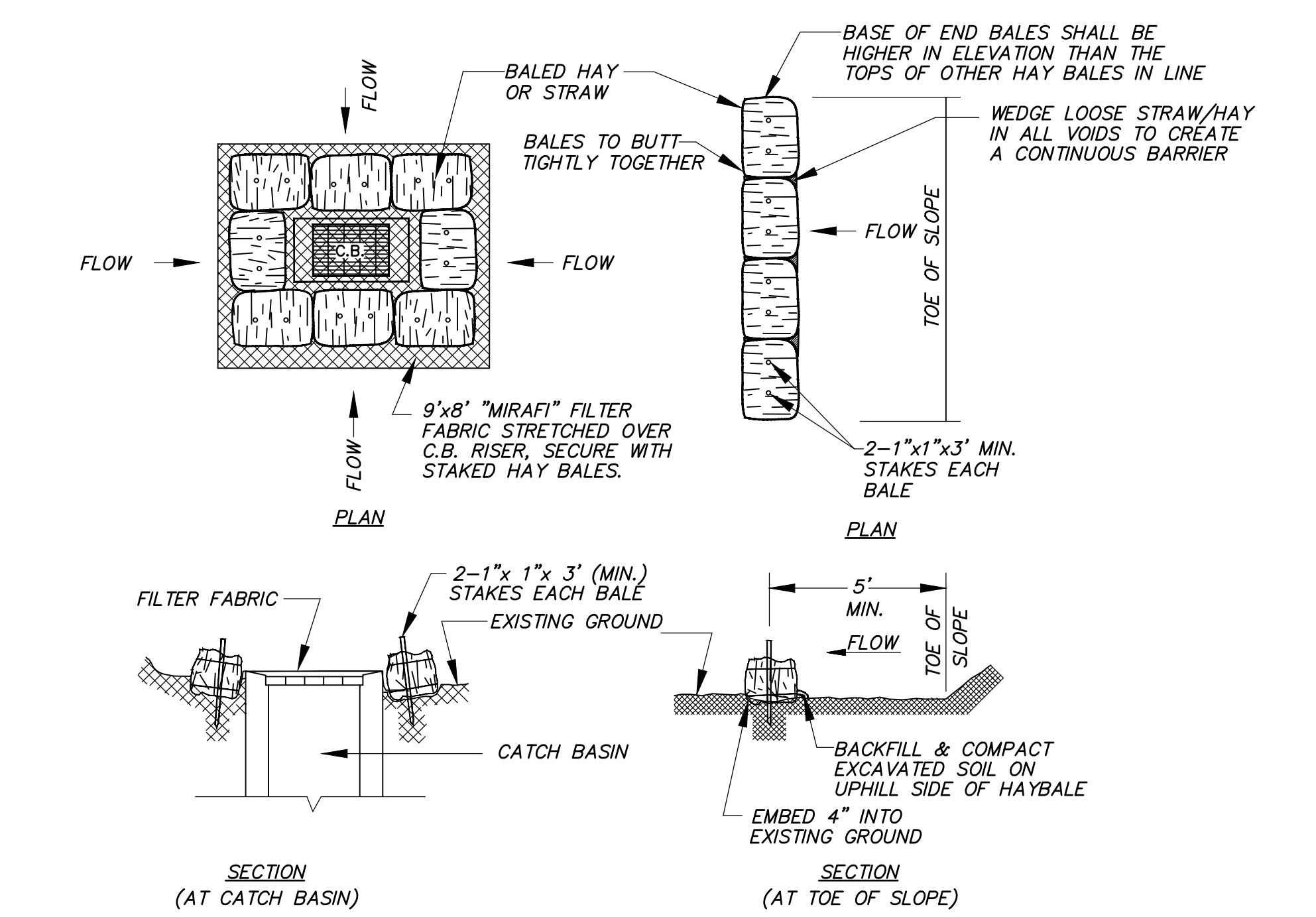


HAYBALE CHECK DAM (HBCD)
N.T.S.

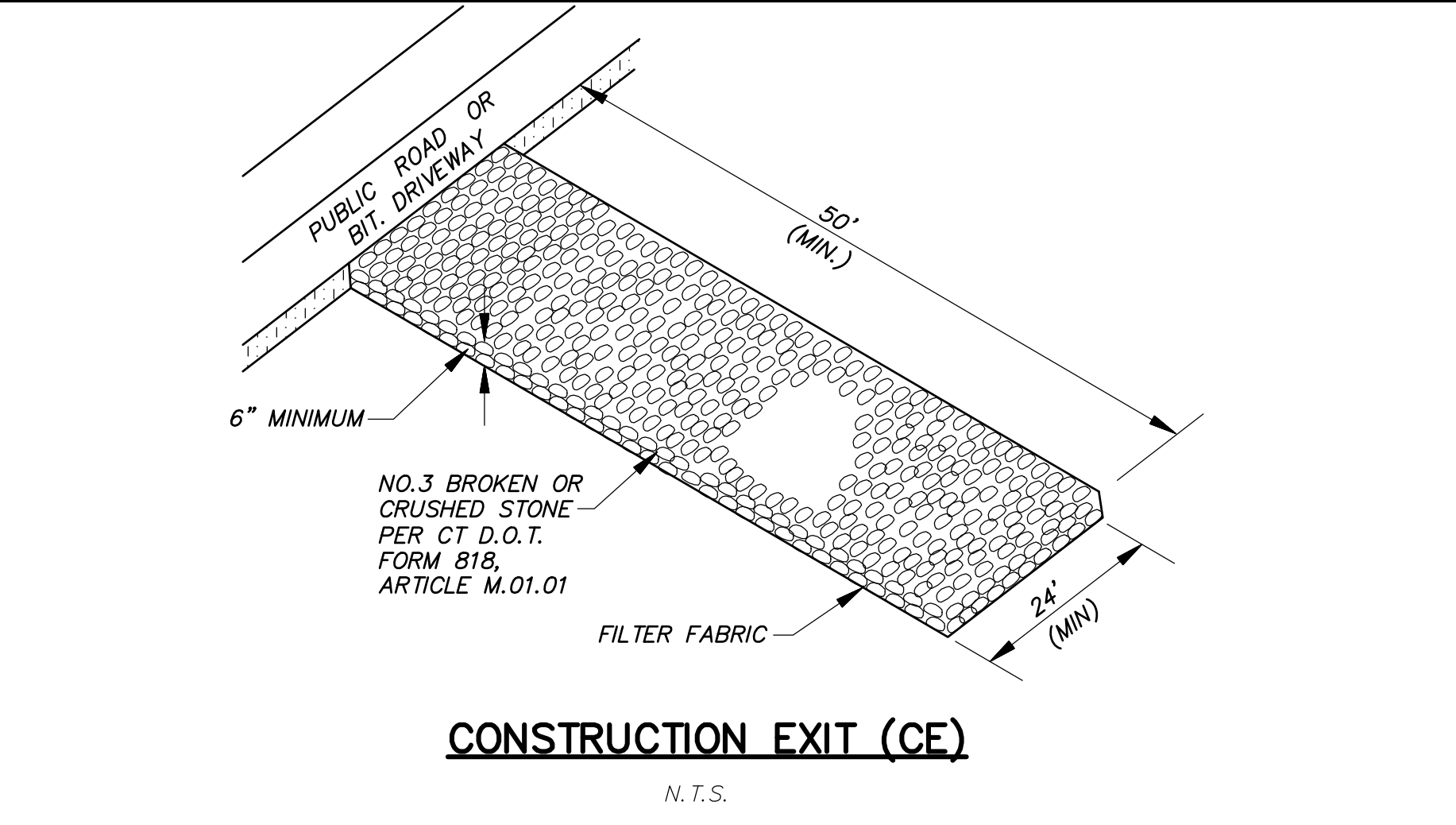


- NOTE:**
- WOOD POSTS SHALL BE HARDWOOD 1 1/2" x 1 1/2" x 48" MIN. STEEL POST SHALL BE A MINIMUM OF 0.5 POUNDS PER LINEAR FOOT X 48".
 - JOINTS, WHEN REQUIRED, SHALL BE SPLICED & SECURELY SEALED TOGETHER, AT POST LOCATIONS ONLY, WITH A MINIMUM 6" OVERLAP.

SEDIMENT FENCE EROSION CONTROL (SFEC)
N.T.S.



HAYBALE EROSION CONTROL (HBEC)
N.T.S.



CONSTRUCTION EXIT (CE)
N.T.S.

ANTI-WASH®/GEOJUTE®

6 Easy Steps to install

- Prepare the soil by grading or raking area free of clods and large stones. Do not compact. If using fertilizer, add it to soil before grading.
- Seeds and mulch (if required) should be distributed evenly over the prepared soil.
- ANTI-WASH®/GEOJUTE® should be applied by unrolling down the slope or in the direction of water flow. Always bring ANTI-WASH®/GEOJUTE® down to level area before termination, fold 6" under, and secure with staples.
- Secure ANTI-WASH®/GEOJUTE® at the top of the slope by tacking it in 6" deep berms with a row of at least five (5) staples, spacing each about a foot apart, and covering with soil.
- Place staples 18" to 24" apart throughout to secure matting to ground. All staples must be driven flush with soil surface.
- Always overlap the edges 2" to 6". At the end of each roll, fold back 4" to 8" of the matting. Overlap this 4" to 8" over the start of the next roll. Securely staple the two layers to the ground.

Always check with state or contracting agency for installation specifications or special requirements.

Waterway Installation

- Always lay jute in the direction of water flow.
- Extra staples are needed in waterways. Staples must be driven flush with soil surface.
- Check slots should be placed every 25' to 50' depending on the velocity of the water flow. A row of staples should be placed on either side of the check slot.
- Provide drains as needed.

Helpful Hints

- Keep dry in storage.
- Remember to lay ANTI-WASH®/GEOJUTE® loosely, do not stretch.
- Check slots may be needed on steep slopes to prevent subsurface movement of soil during prolonged or heavy rains.

TO ESTABLISH A CHECK SLOT:

- Dig 6" deep trench perpendicular to water flow.
- Roll ANTI-WASH®/GEOJUTE® in two or three folds (see diagram) and set into trench.
- Staple fabric securely in bottom of trench and continue rolling down hill.

*Because ANTI-WASH®/GEOJUTE® has 60 to 65% of open area, additional seed can be broadcast over the matting to cover bare spots that may appear due to improper seeding or poor germination.

*Recommended usage: Approximately 200 staples per 100 sq. yds.

Specifications

Property	Results	Staples Type	Weight per Carton	Staples per Carton
Fabric structure	Woven	11 gauge 6"	43 lbs.	1,000
Yarn	Jute undyed and unbleached	8 gauge 6"	39 lbs.	500
Fabric width	48"	8 gauge 6"	50 lbs.	500
Weight	52 lbs./yd²			
*Yarn count/warp	78 per width, minimum			
Warp	42 per linear yard, minimum			
Water Absorption	> 450% of fabric weight			
Open Area	60-65%			
Durability	1-2 years			
Coverage	approximately 50 rolls per acre (using 100 yd rolls)			

Roll Packaging

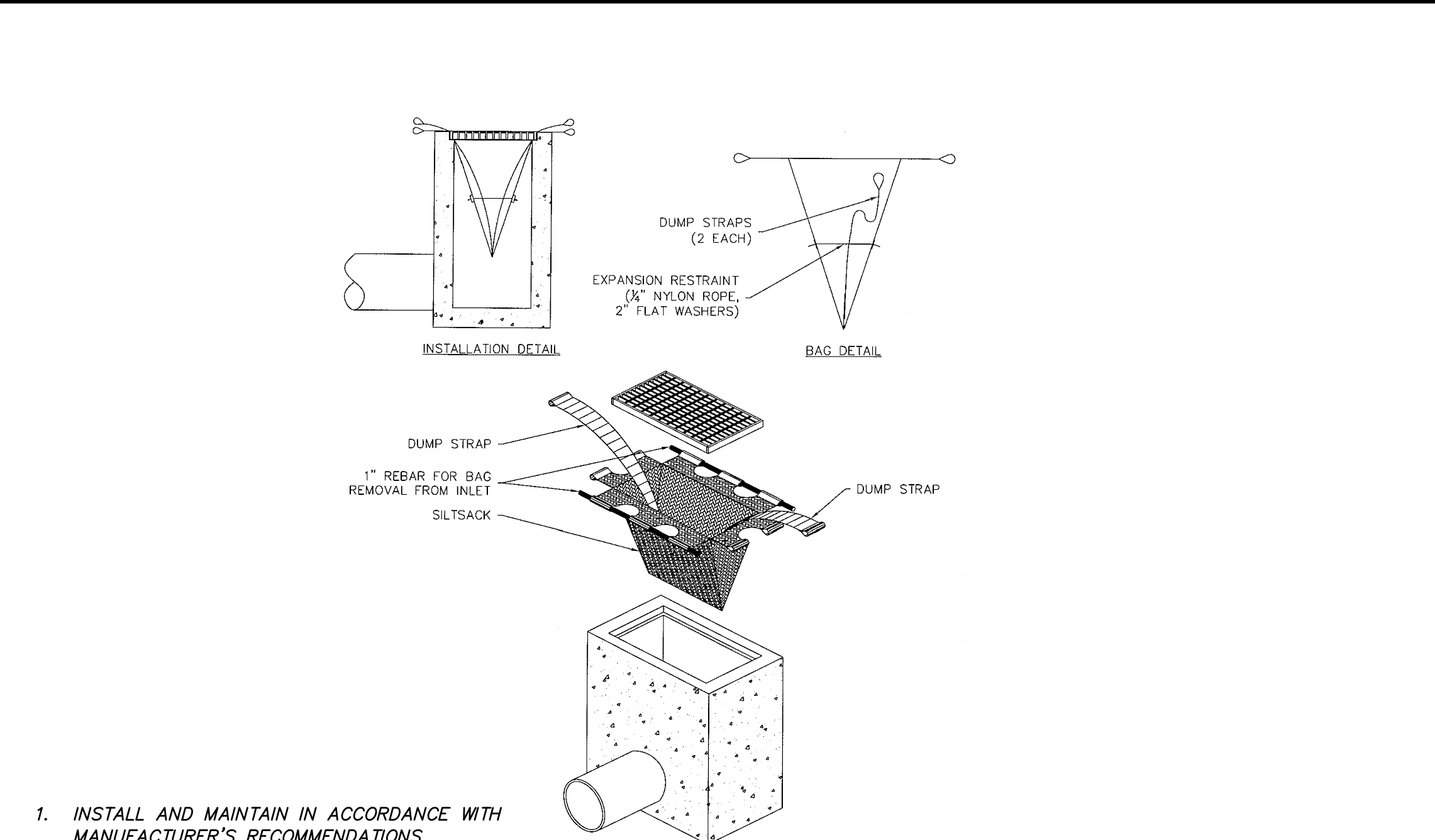
Width x length	Type	Sq. Yards	Weight
48" x 225'	Regular	100	92 lbs.
48" x 225'	Smolder-resistant	100	97 lbs.
48" x 147'	UPS size roll	65	60 lbs.

Distributed by:

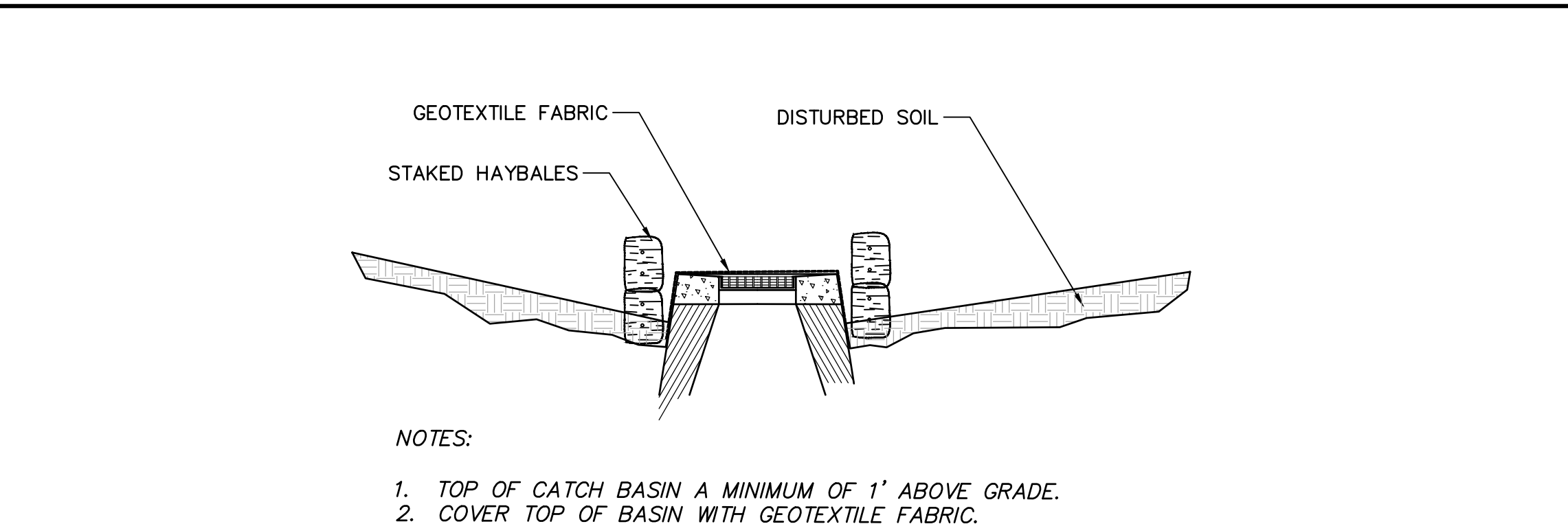
Belton Industries, Inc.
8613 Roswell Rd • Atlanta, GA 30356 • USA
Toll Free: 1-800-225-4099 • Local: 1-404-587-0257
FAX: 1-404-992-6361 • Telex: 493-1930 (BTD) US

NOTE: USE ANTI-WASH®/GEOJUTE PRODUCT OR APPROVED EQUAL

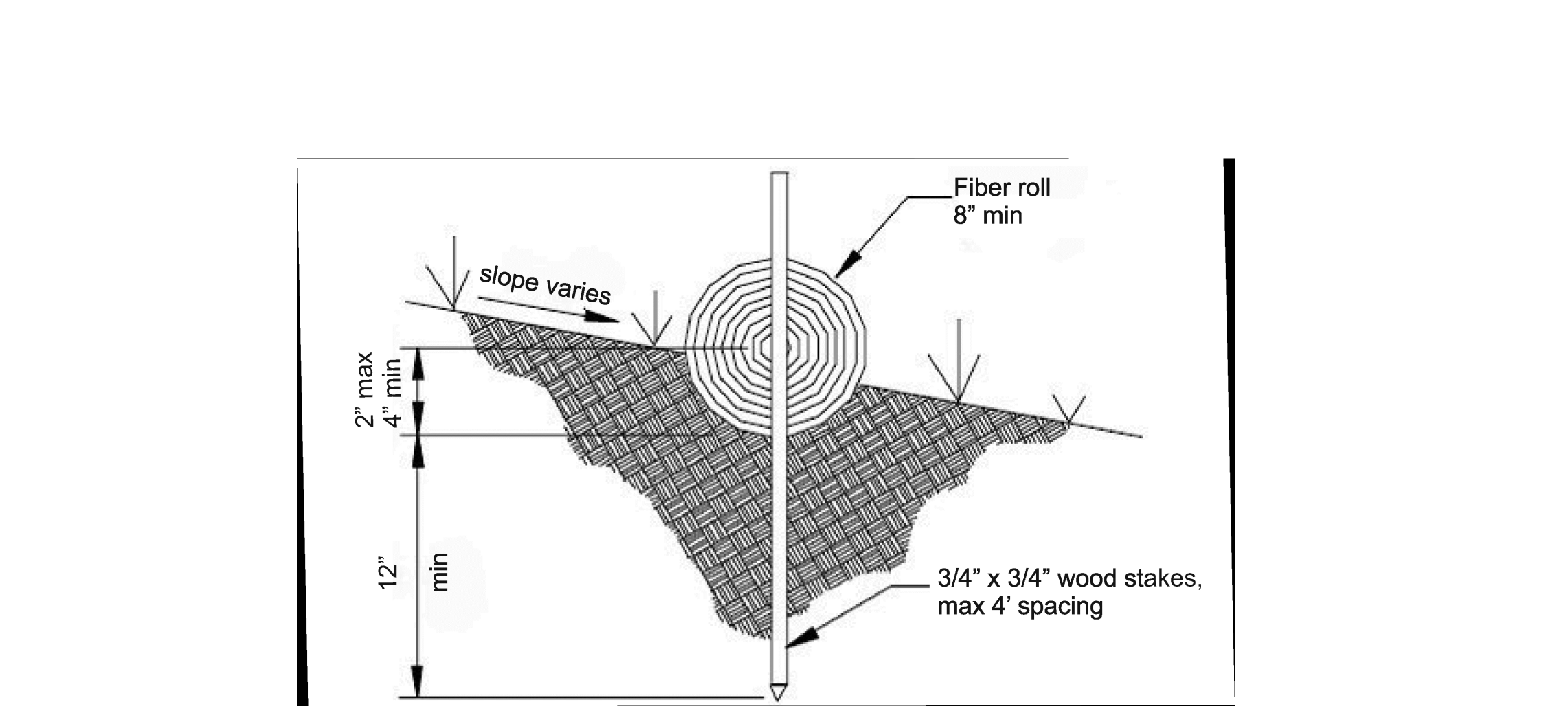
EROSION CONTROL BLANKET (ECB)
N.T.S.



INLET PROTECTION (IP) [SILT SACK INSERT]
N.T.S.



TEMP. SEDIMENT TRAP AT CATCH BASIN
N.T.S.



- NOTES:**
- USE SEDIMENT LOG / WATTLE BY AMERICAN EXCELSIOR, OR APPROVED EQUAL.
 - FOR USE IN SWALES, TURN ENDS SLIGHTLY UP-GRADE TO DIRECT RUNOFF TOWARD CENTER OF LOG.

SEDIMENT LOG / WATTLE SECTION
N.T.S.

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No.	Date	Description

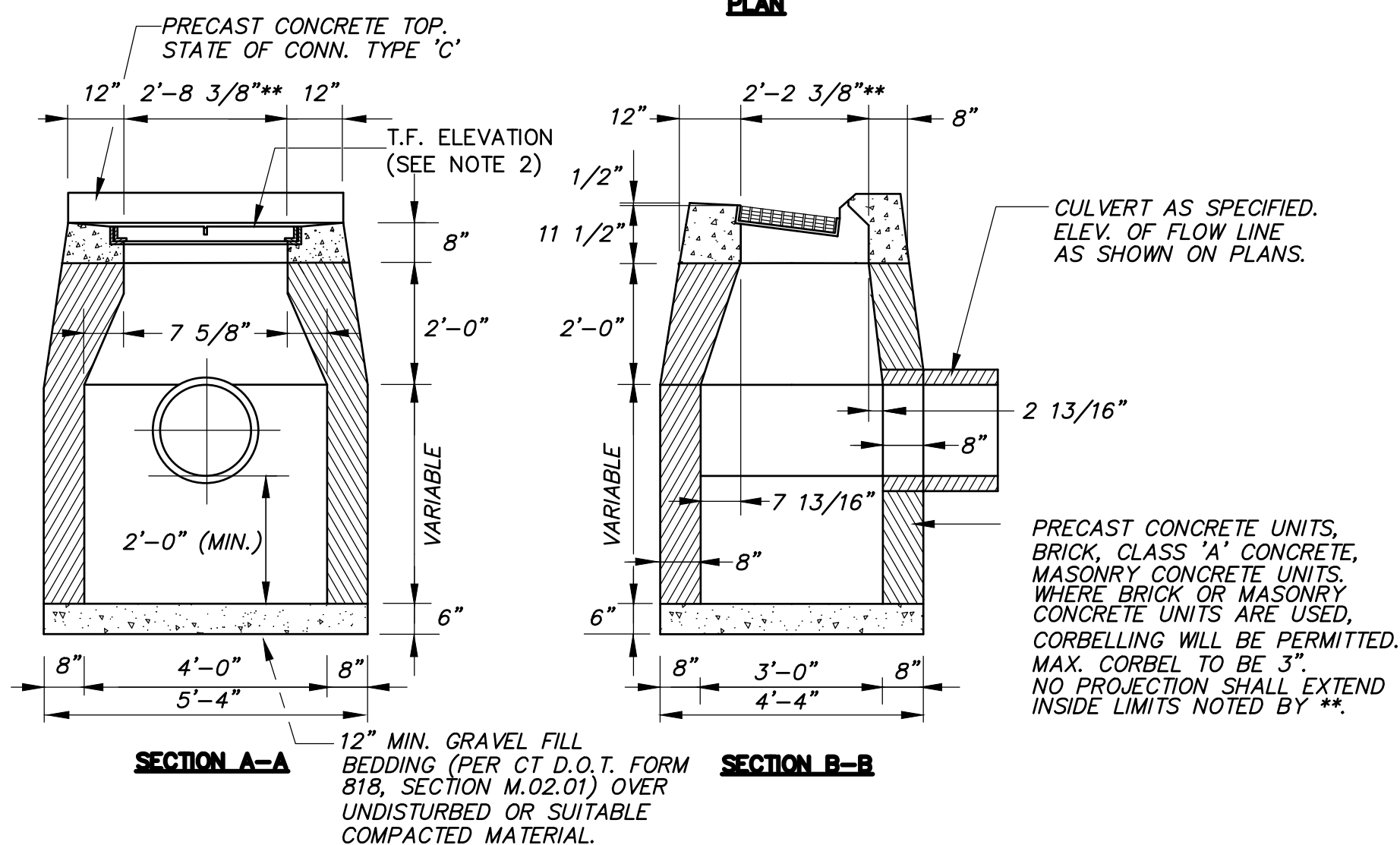
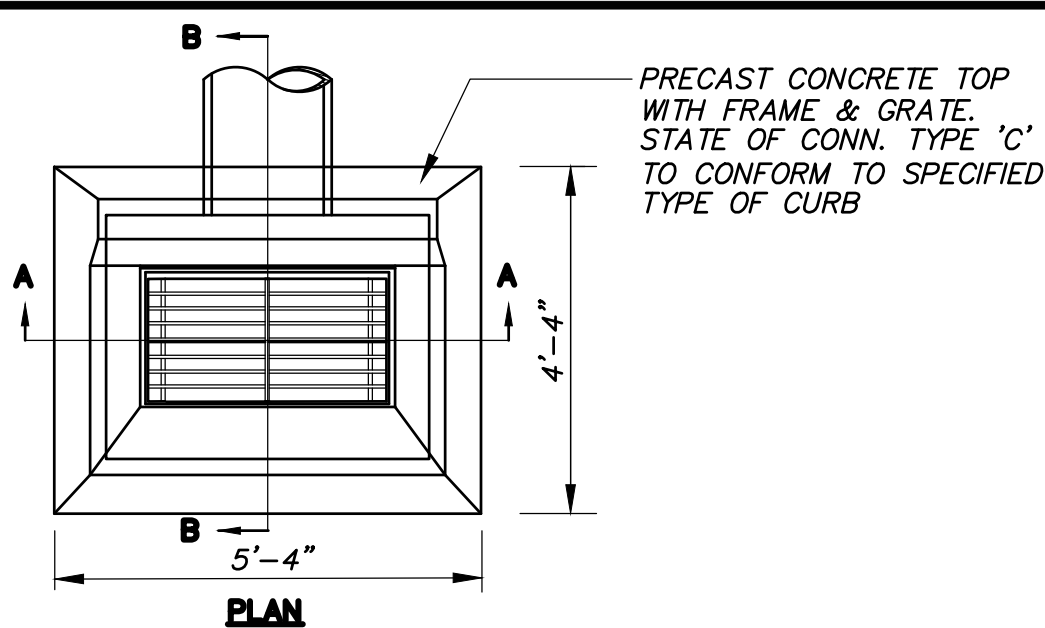
DETAILS
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT

Date: 10-21-2022 Drawn by: ERN Job no: 22085
Scale: N.T.S. Checked by: DSZ Sheet no: 1 OF 5
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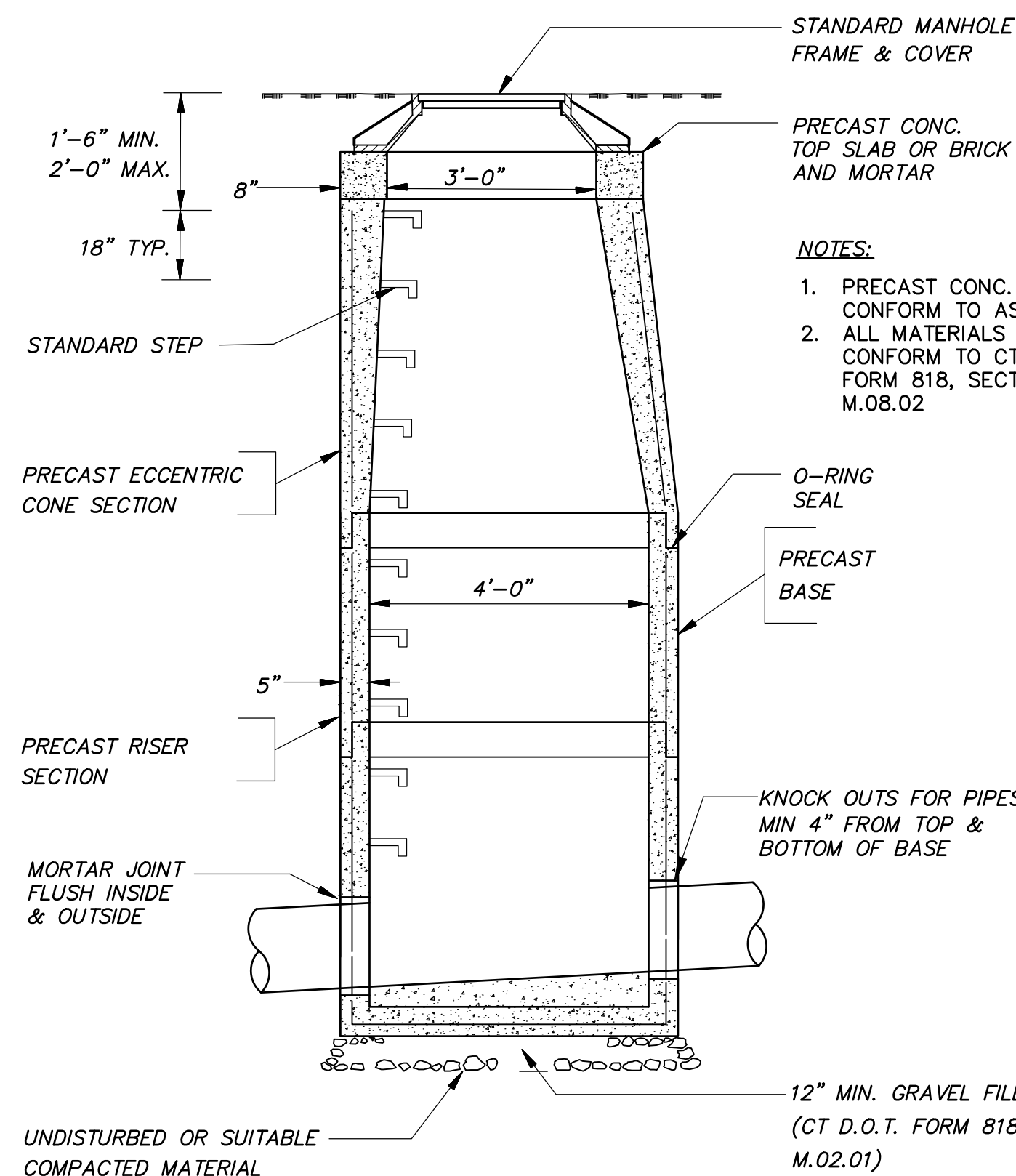
SD-1

NOTES:

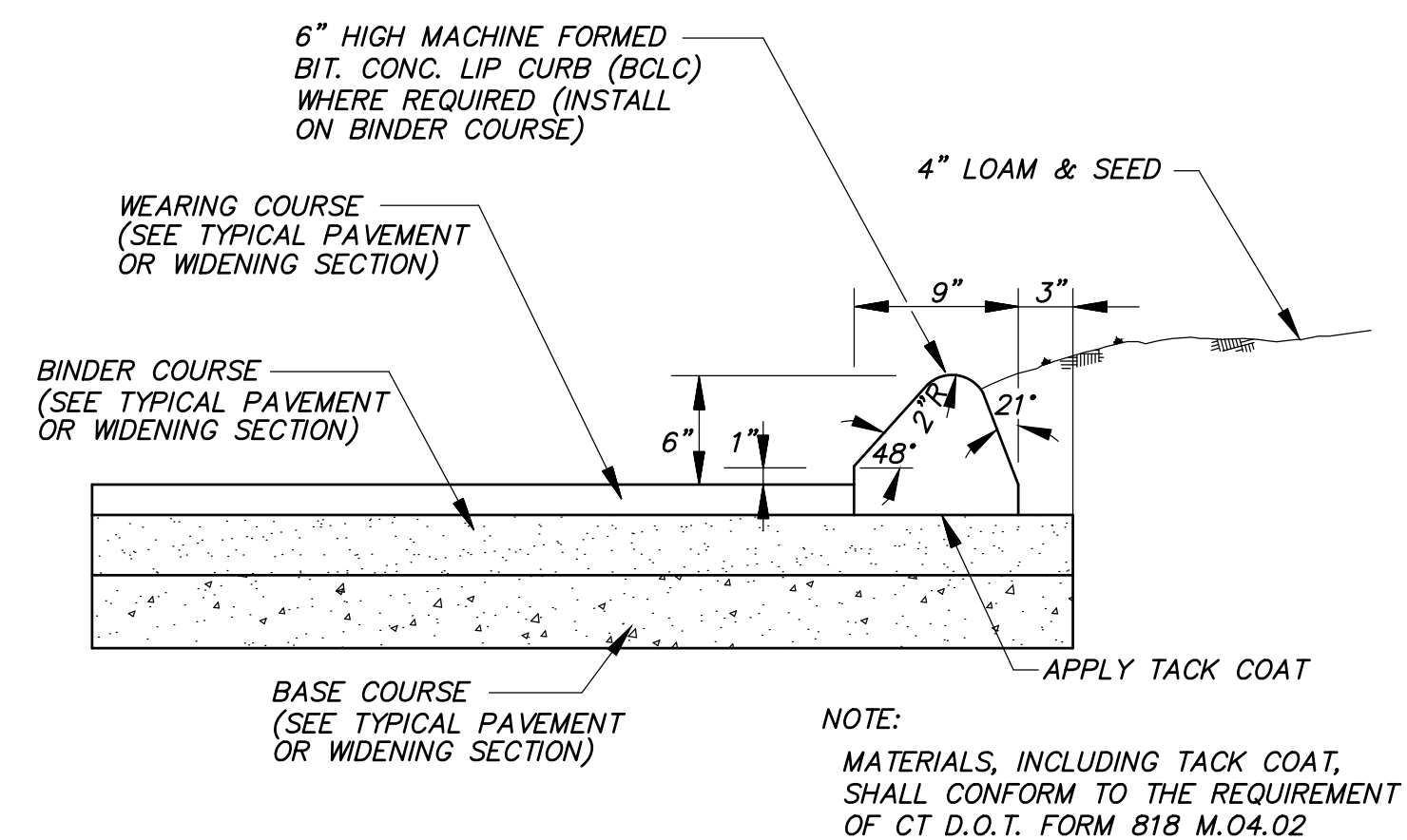
1. ALL MATERIALS SHALL CONFORM TO CT D.O.T. FORM 818, SECTION M.08.02
2. T.F. ELEV. SHOWN ON PLAN IS TOP-OF-FRAME ELEVATION OF THE CATCH BASIN GRATE AT THE GUTTERLINE. THIS T.F. ELEV. IS 2-INCHES BELOW GUTTERLINE ELEVATION AT CURB LINE.
3. UNLESS NOTED OTHERWISE, SUMPS SHALL BE 2.0' MINIMUM.



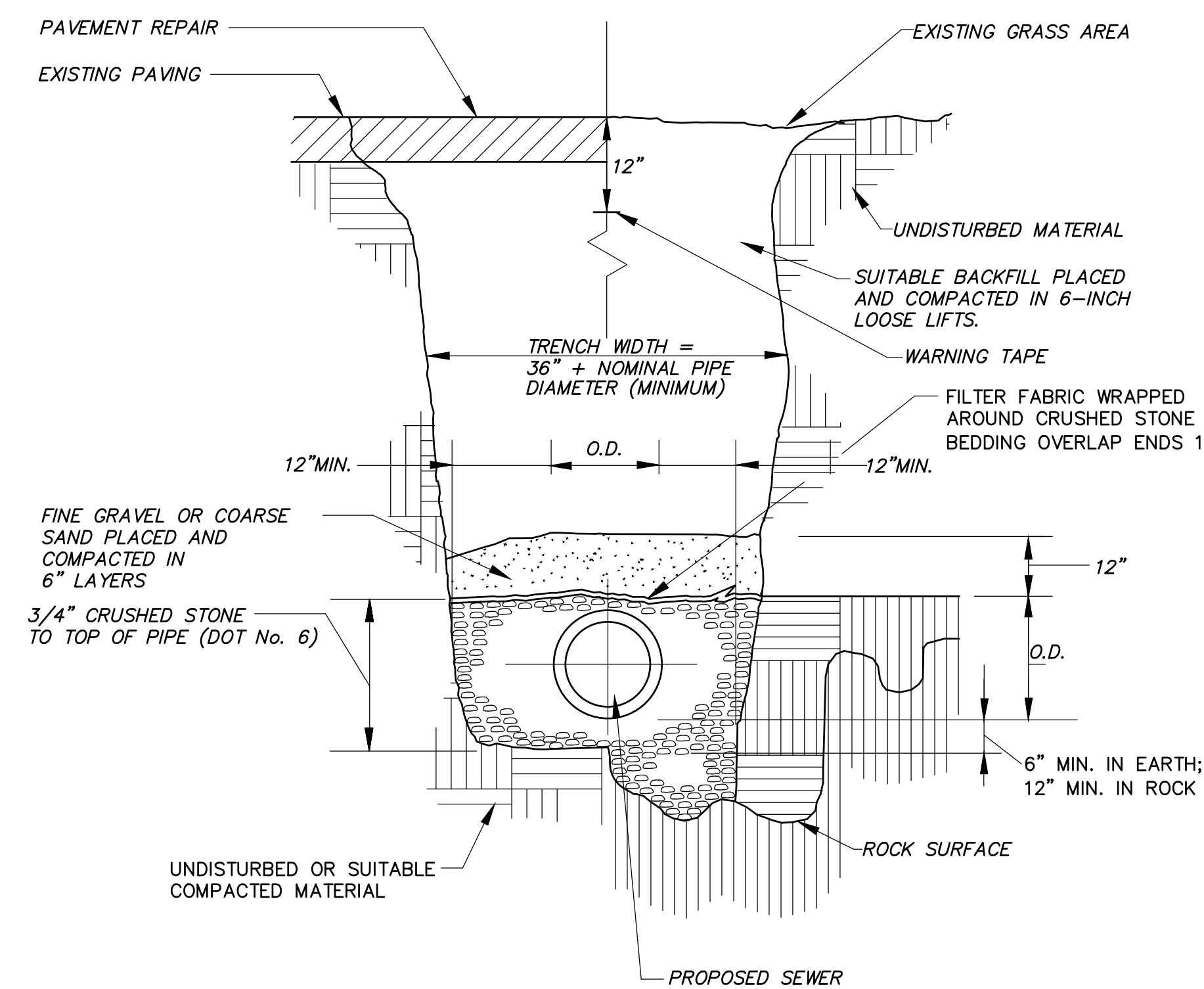
TYPE 'C' CATCH BASIN
N.T.S.



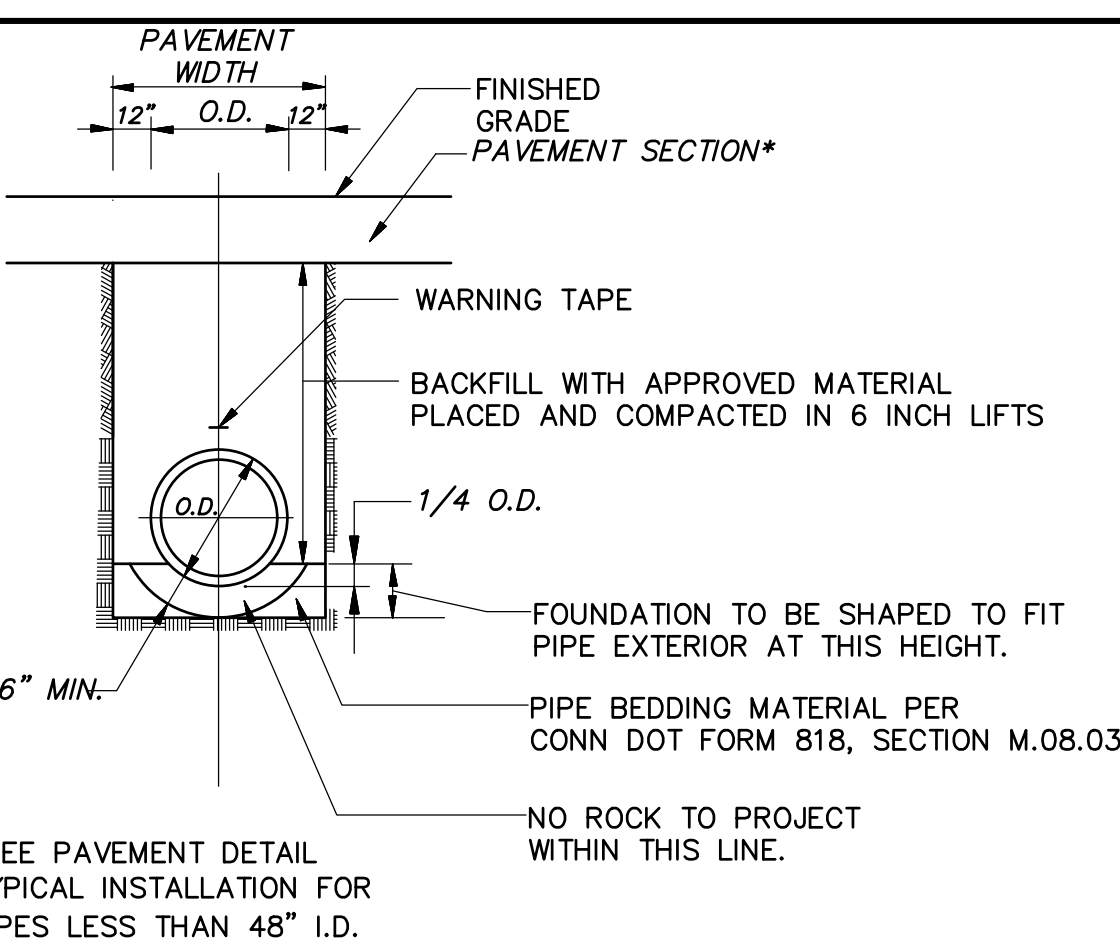
STORM SEWER MANHOLE
N.T.S.



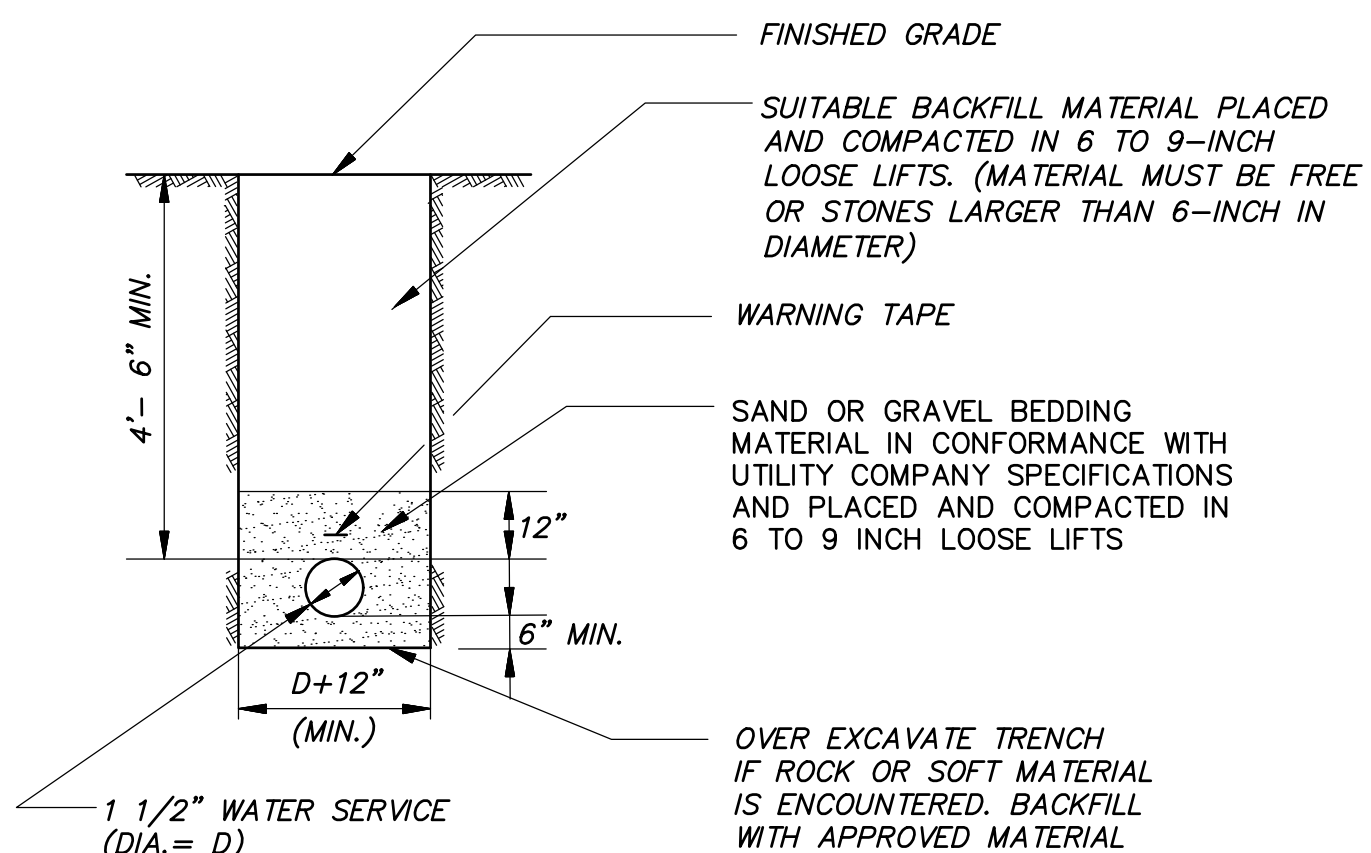
BITUMINOUS CONCRETE LIP CURBING (BCLC)
N.T.S.



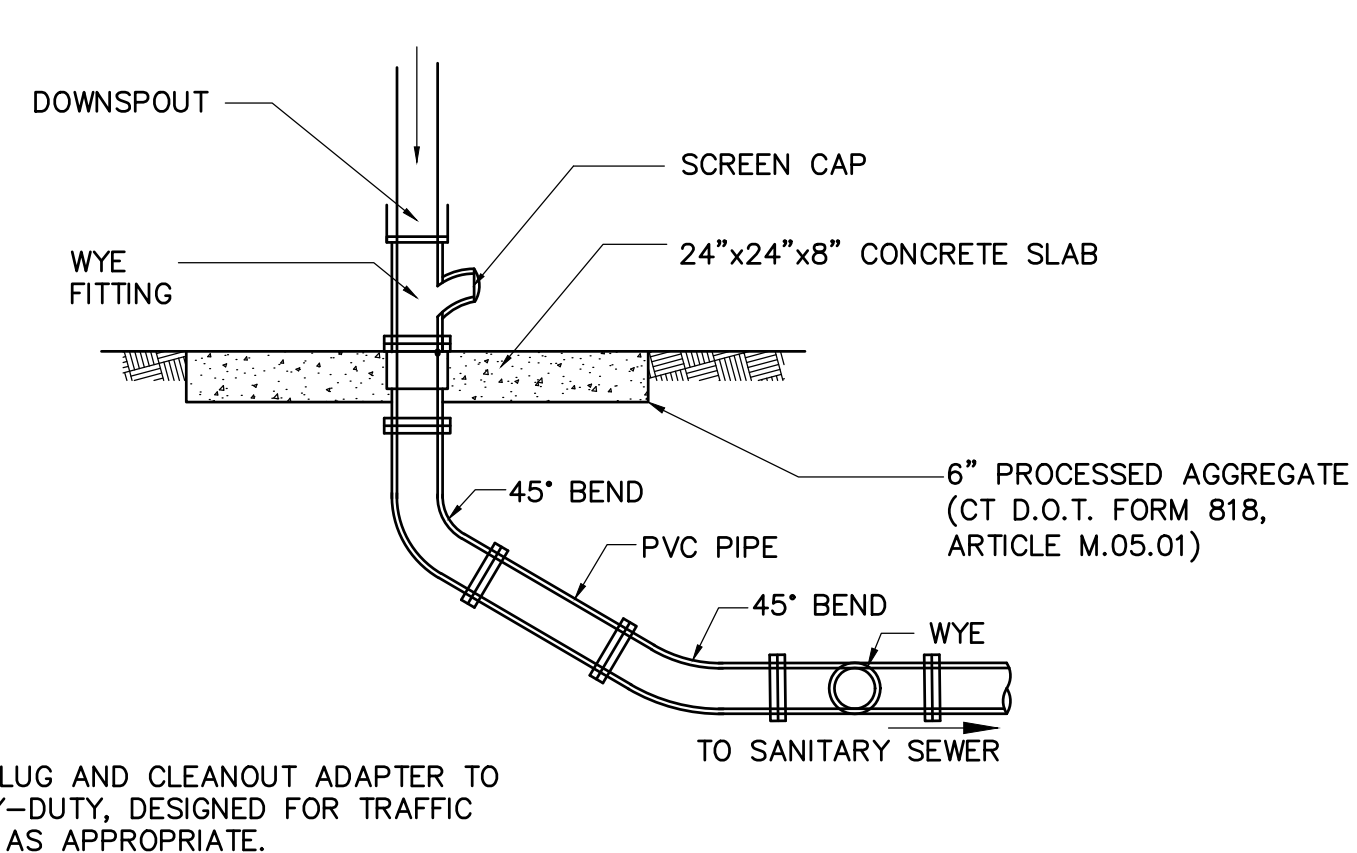
SANITARY SEWER TRENCH DETAIL
N.T.S.



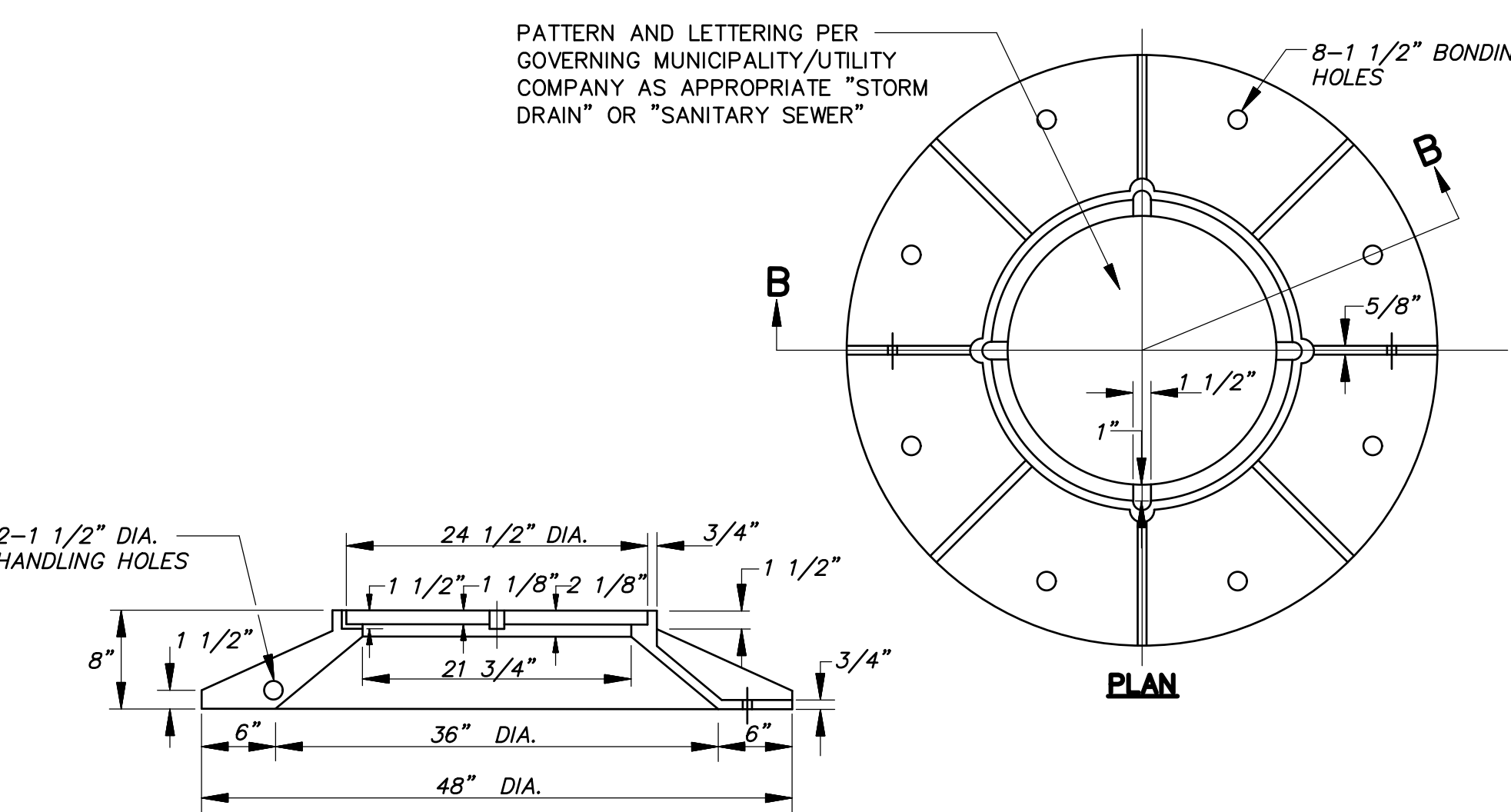
STORM SEWER TRENCH
N.T.S.



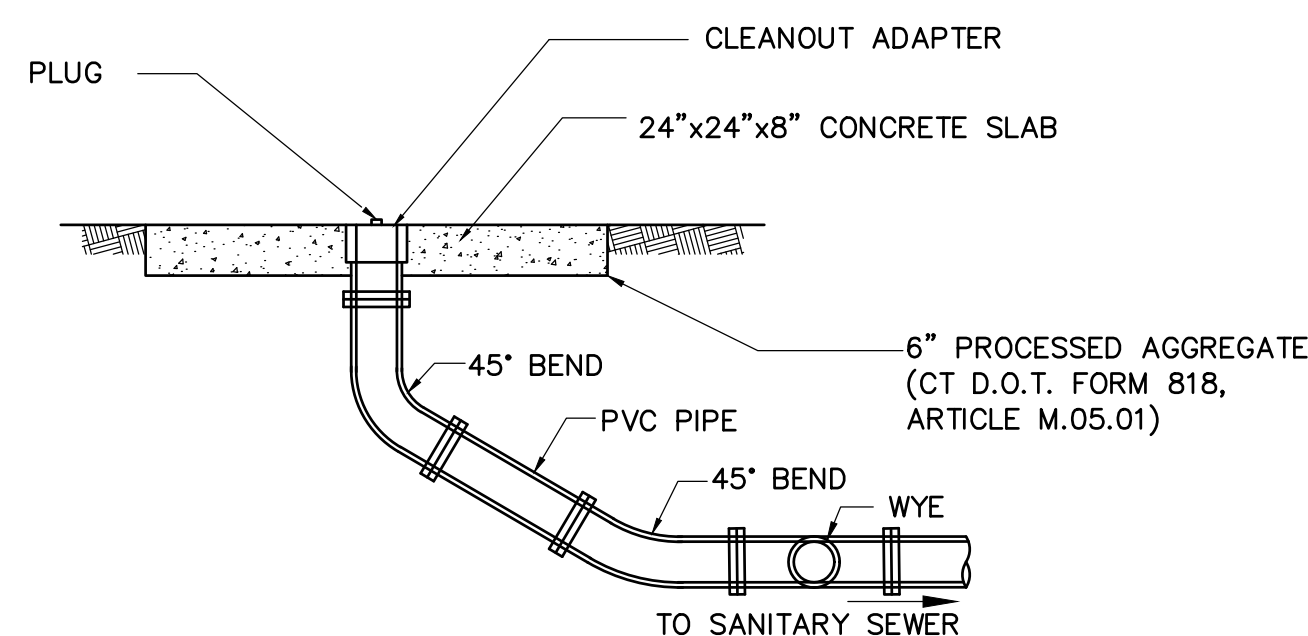
WATER SERVICE TRENCH
N.T.S.



STORM DRAIN/ROOFLEADER/DOWNSPOUT CLEANOUT DETAIL
N.T.S.

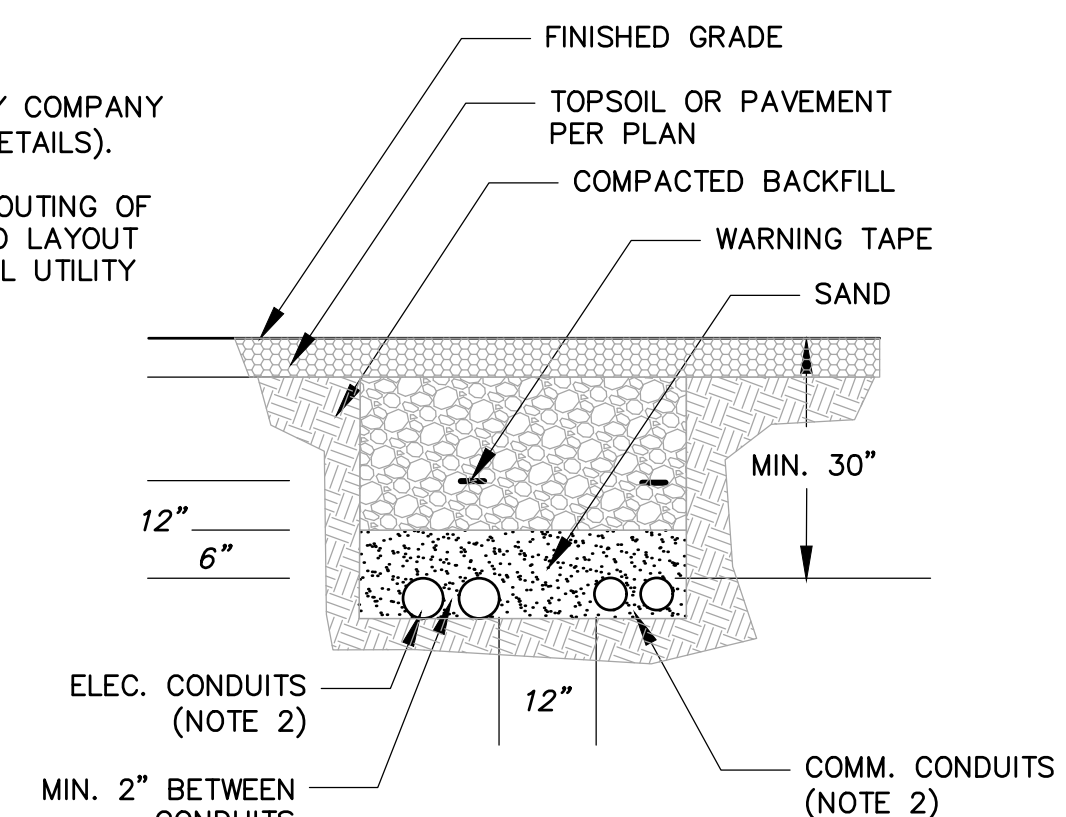


STANDARD FRAME & COVER
N.T.S.



SANITARY CLEANOUT DETAIL
N.T.S.

- NOTES:**
1. TYPICAL DETAIL (SEE UTILITY COMPANY STANDARDS FOR SPECIFIC DETAILS).
 2. SEE PLANS FOR GENERAL ROUTING OF UTILITIES. NUMBER, SIZE AND LAYOUT OF CONDUITS PER CUSTODIAL UTILITY COMPANY.



ELECTRIC/COMMUNICATION TRENCH
N.T.S.

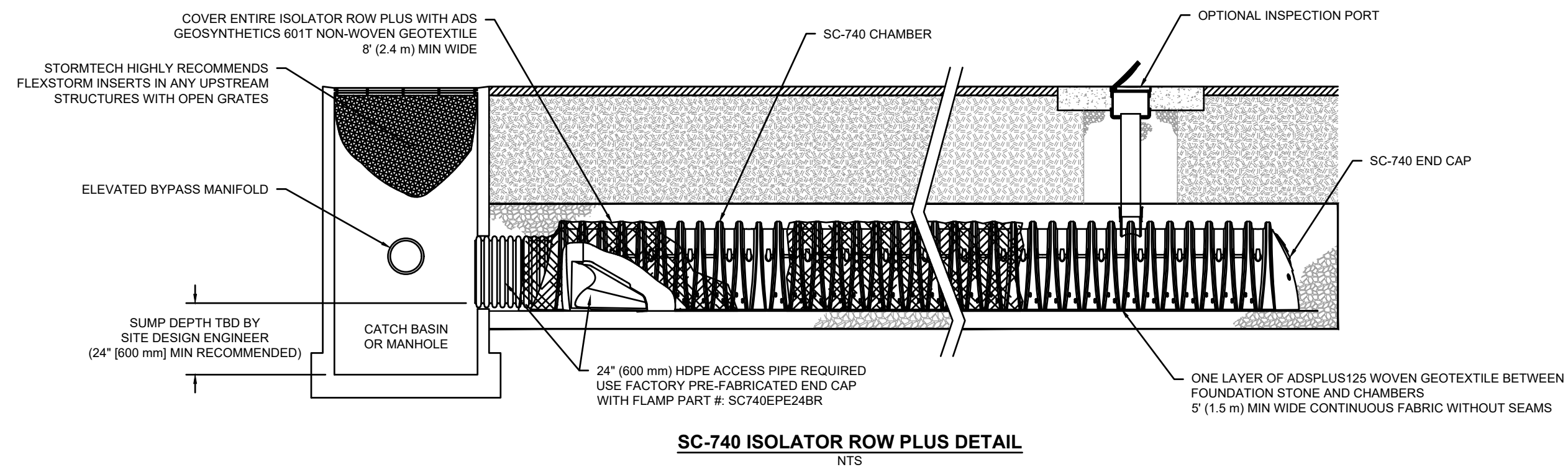
No.	Date	Description

DETAILS PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT

Date: 10-21-2022 Drawn by: ERN Job no: 22085
Checked by: DSZ Sheet no: 2 OF 5
Scale: N.T.S. Connecticut: South Drive\Summitta\2022-10-21\CTSD-SD-1-2022-10-21.dwg, SD-2, Oct. 25, 2022 = 7:57:56 AM

SD-2

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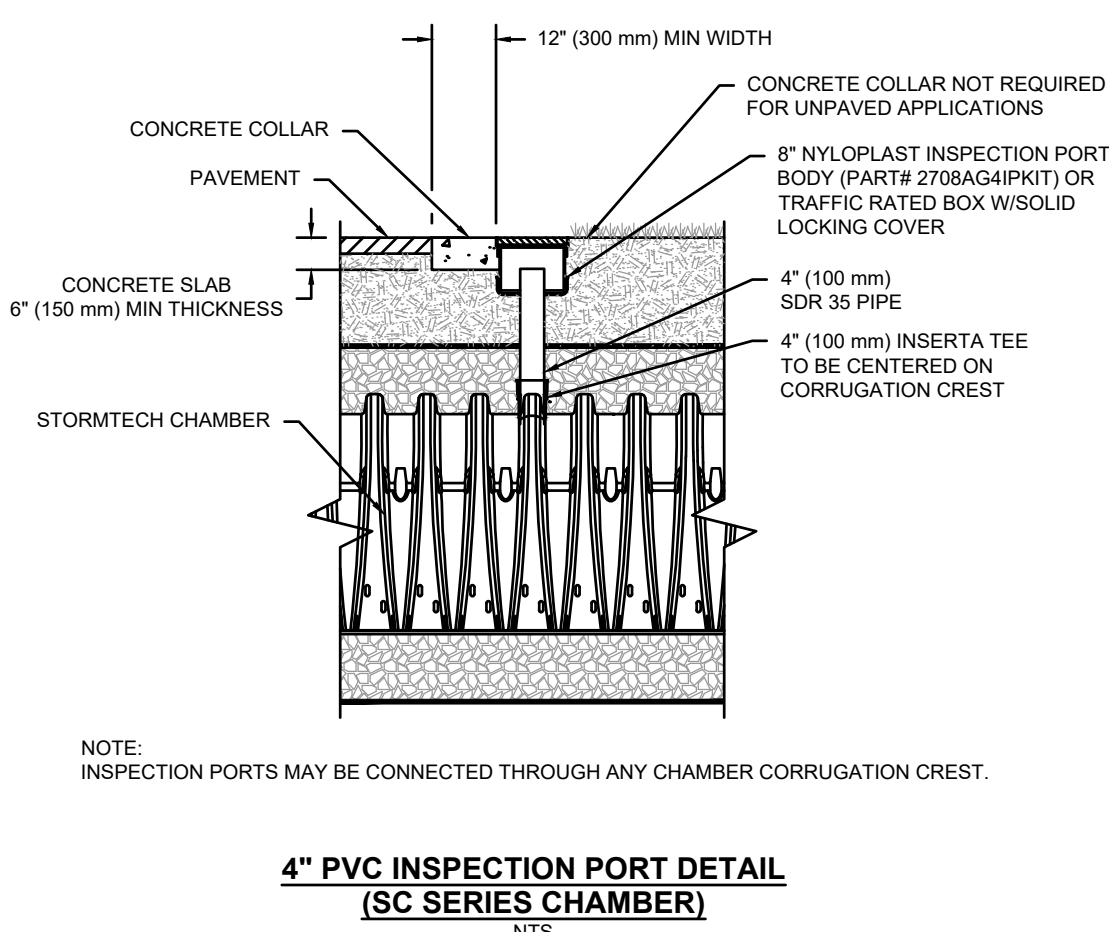


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW PLUS FOR SEDIMENT
- A. INSPECTION PORTS (IF PRESENT)
- REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW PLUS FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- B. ALL ISOLATOR PLUS ROWS
- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW PLUS
 - USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW PLUS THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW PLUS USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45° (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES

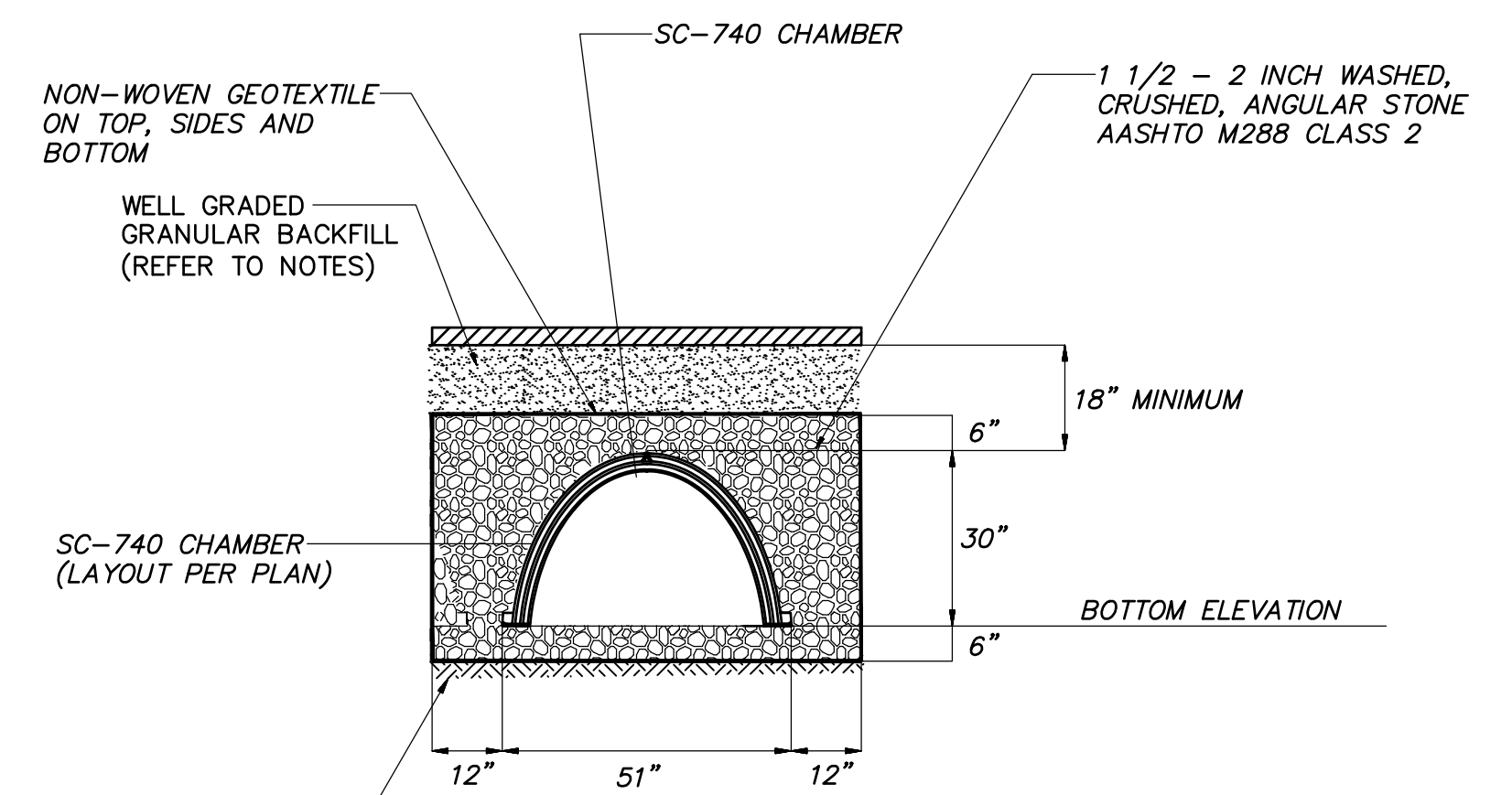
- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



NOTE: INSPECTION PORTS MAY BE CONNECTED THROUGH ANY CHAMBER CORRUGATION CREST.

STORMTECH SC-740 ISOLATOR ROW

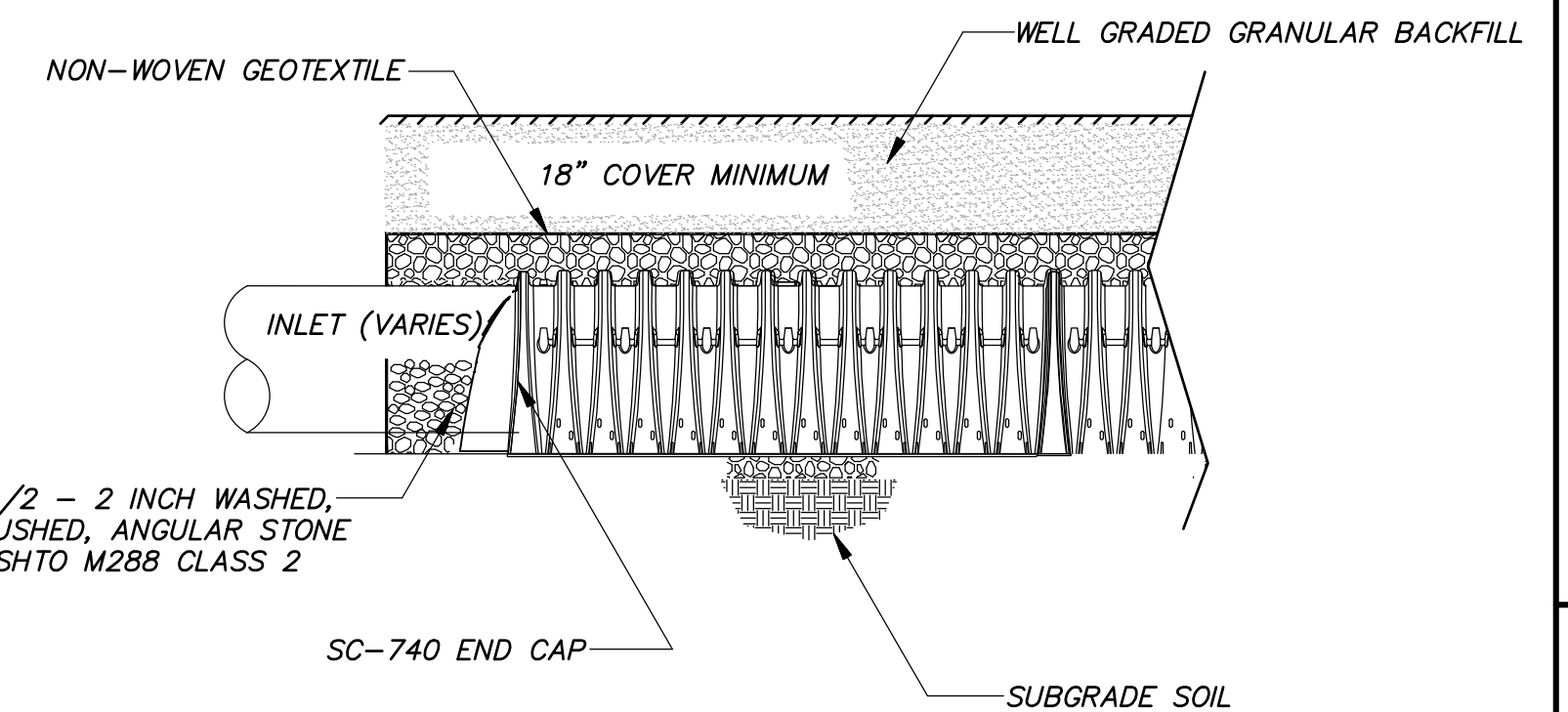
N.T.S.



CONTRACTOR IS RESPONSIBLE FOR ENSURING SUITABILITY OF SUBGRADE SOILS REFER TO STORMTECH'S DESIGN MANUAL.

NOTES:

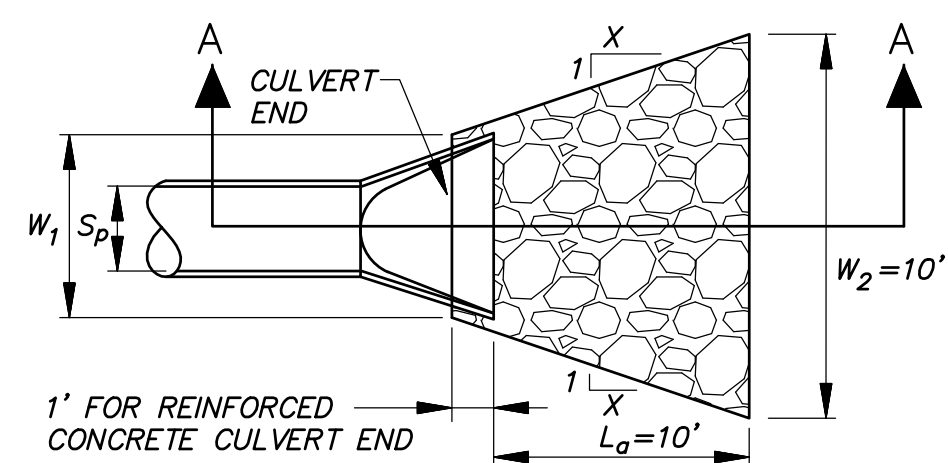
- WELL GRADED GRANULAR BACKFILL (3-INCH MINUS) CONTAINS AN EVEN DISTRIBUTION OF PARTICLE SIZES WITH NO MORE THAN 12% PASSING THE #200 SIEVE COMPACTED TO A MINIMUM OF 95% OF THE STANDARD PROCTOR DENSITY. REFER TO THE TABLE OF ACCEPTABLE FILL MATERIALS IN STORMTECH'S DESIGN MANUAL, INSTALLATION MANUAL, OR WWW.STORMTECH.COM.



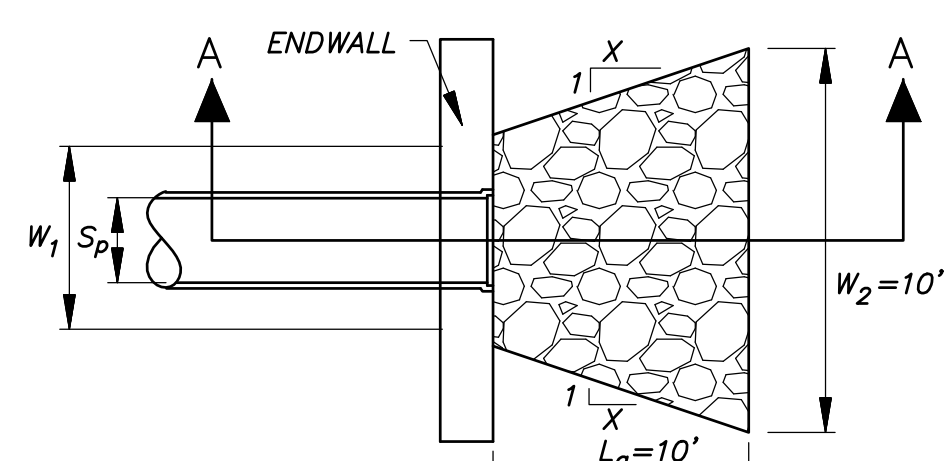
1 1/2 - 2 INCH WASHED, CRUSHED, ANGULAR STONE AASHTO M288 CLASS 2

TYPICAL PROFILE - INLET ROW

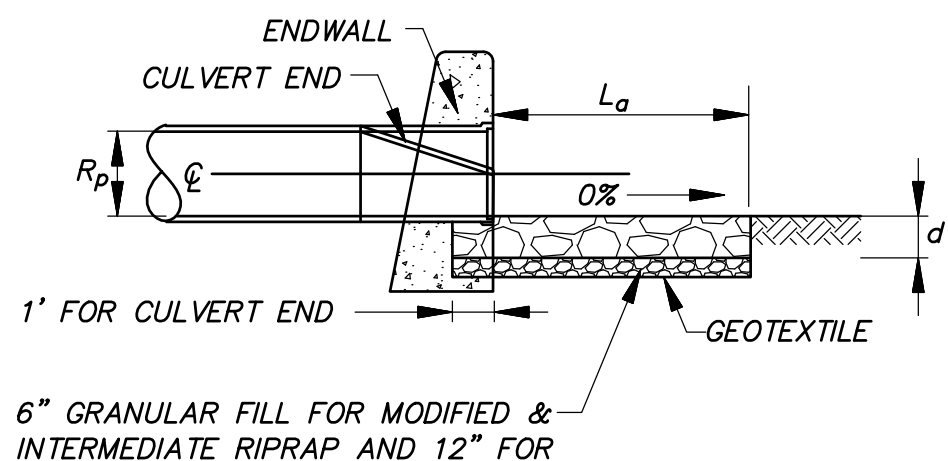
N.T.S.



CULVERT END PLAN VIEW



END WALL PLAN VIEW



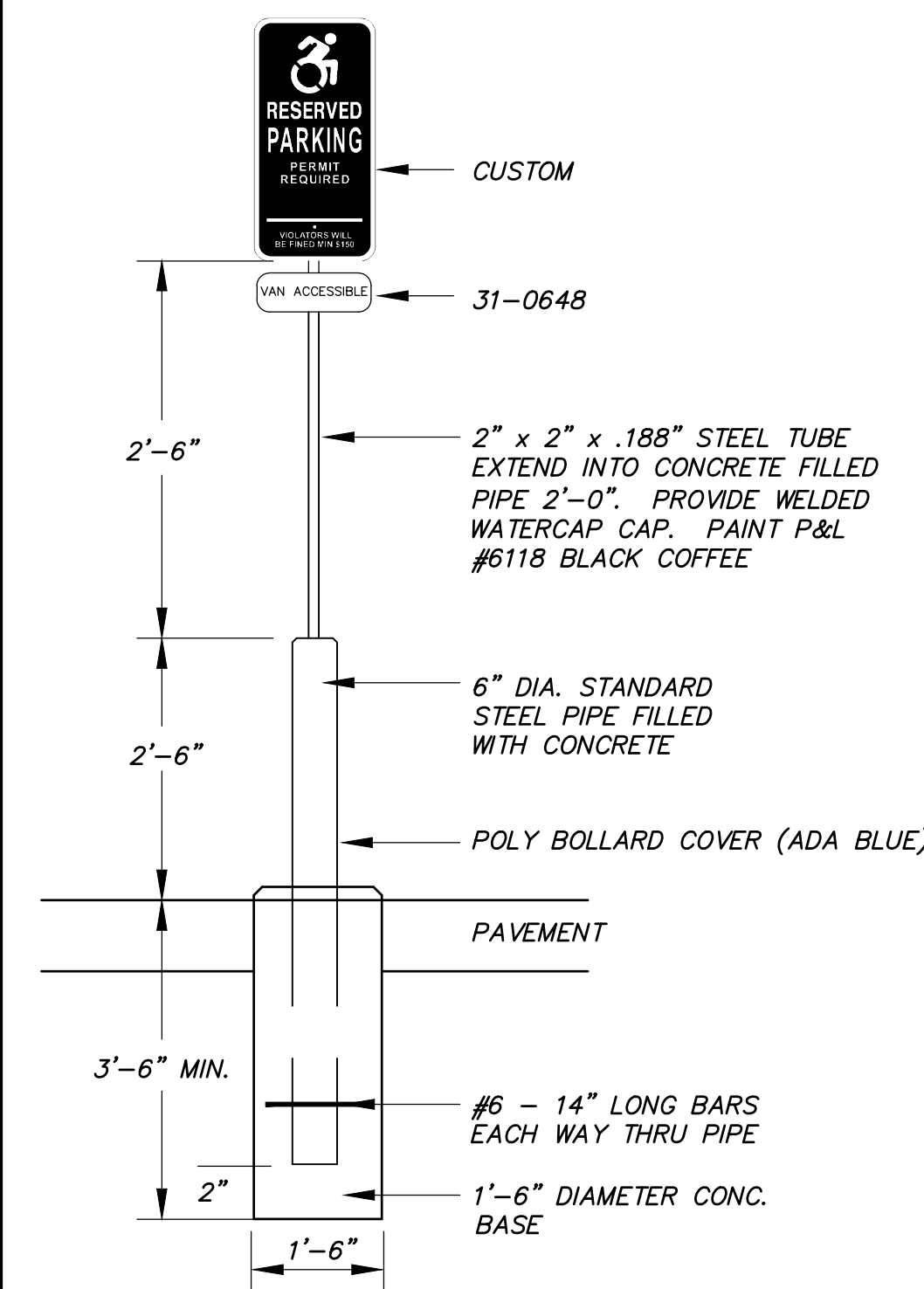
SECTION A-A CULVERT END AND END WALL

TYPE A RIPRAP APRON

N.T.S.

LEGEND

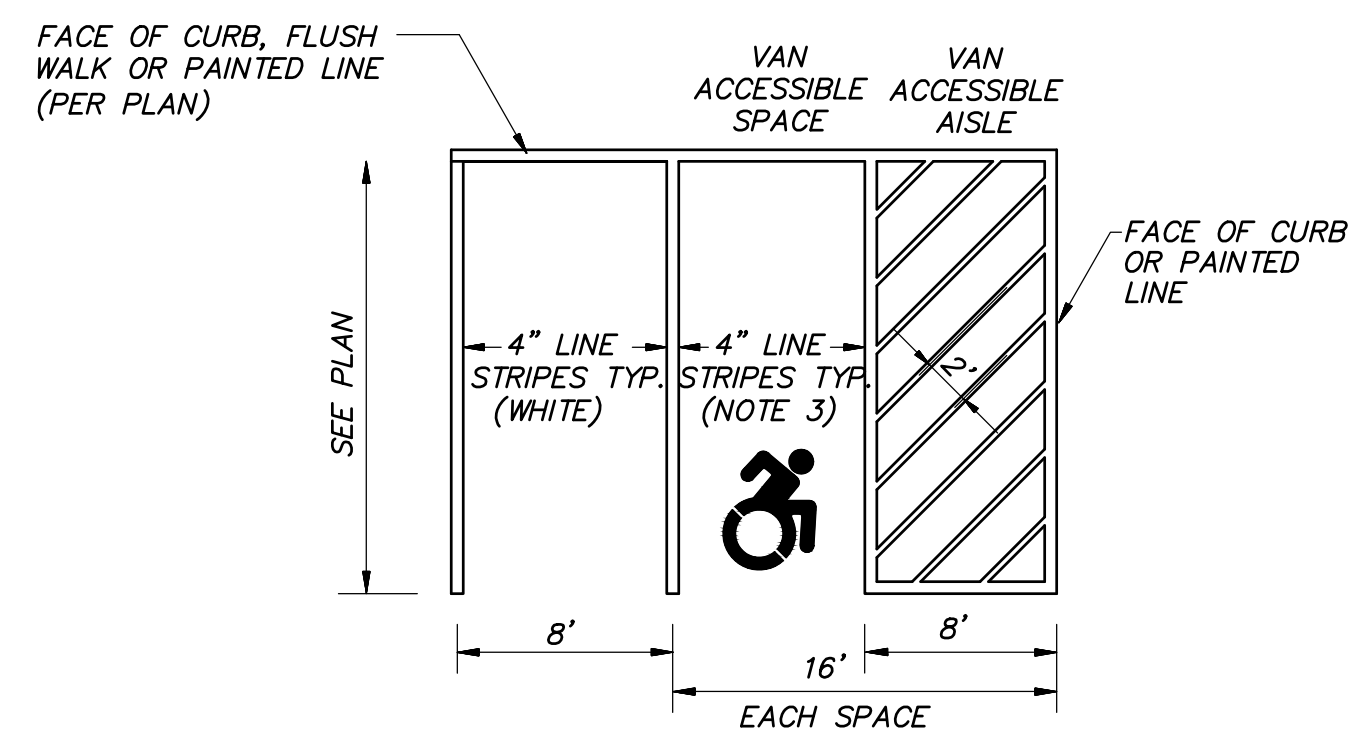
- S_p MAX. INSIDE PIPE SPAN (NON CIRCULAR SECTIONS)
INSIDE PIPE DIAMETER (CIRCULAR SECTION)
- R_p MAX. INSIDE PIPE RISE (NON CIRCULAR SECTIONS)
INSIDE PIPE DIAMETER (CIRCULAR SECTION)
- L_a LENGTH OF RIPRAP APRON MEASURED FROM THE END OF CULVERT END SECTION OR FACE OF ENDWALL
- d 12" FOR MODIFIED RIPRAP
18" FOR INTERMEDIATE RIPRAP
36" FOR STANDARD RIPRAP
- | TYPE A RIPRAP APRON | X | W ₁ | W ₂ |
|---------------------|---|----------------|------------------------|
| | 3 | 3Sp | 3Sp+0.7 L _a |



ACCESSIBLE SPACE SIGN POST/BASE

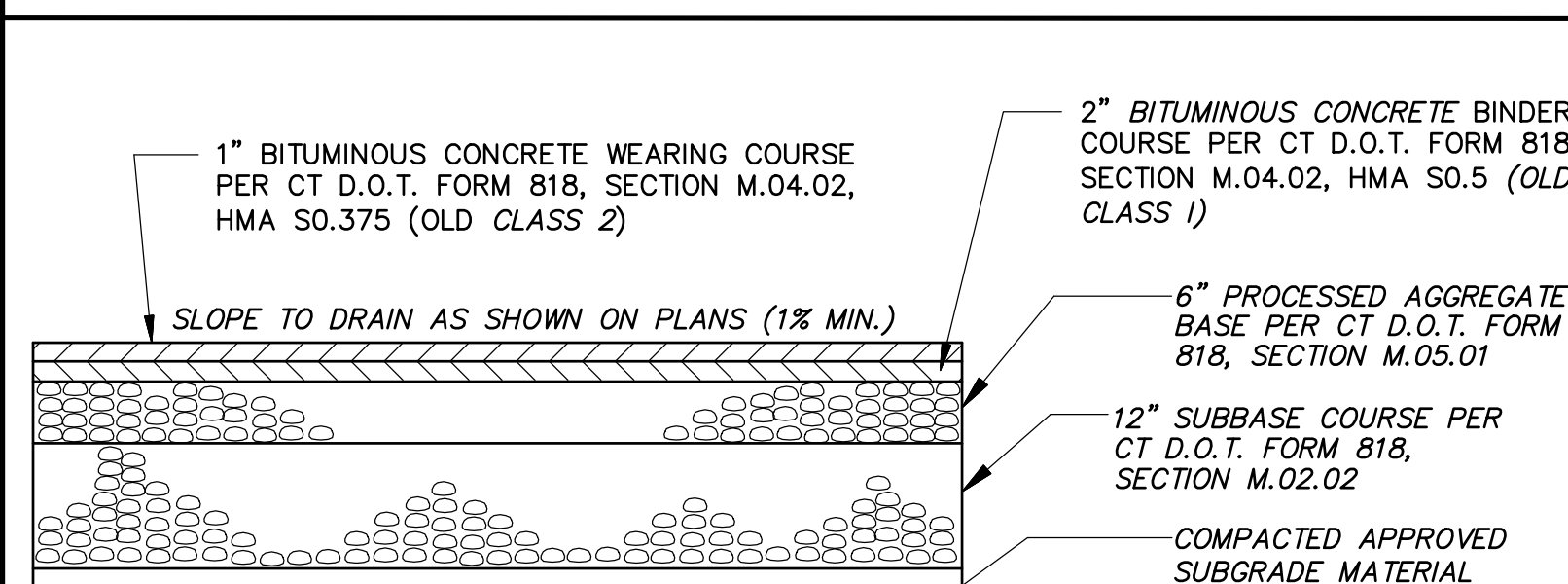
N.T.S.

- NOTES:**
- AISLE CONFIGURATION PER PLAN.
 - SIGN/BOLLARD LOCATION PER PLAN.
 - LINE STRIPING COLOR AND ADA SYMBOL SPECIFICS NEED TO COORDINATED WITH ELLINGTON BUILDING INSPECTOR BEFORE INSTALLATION



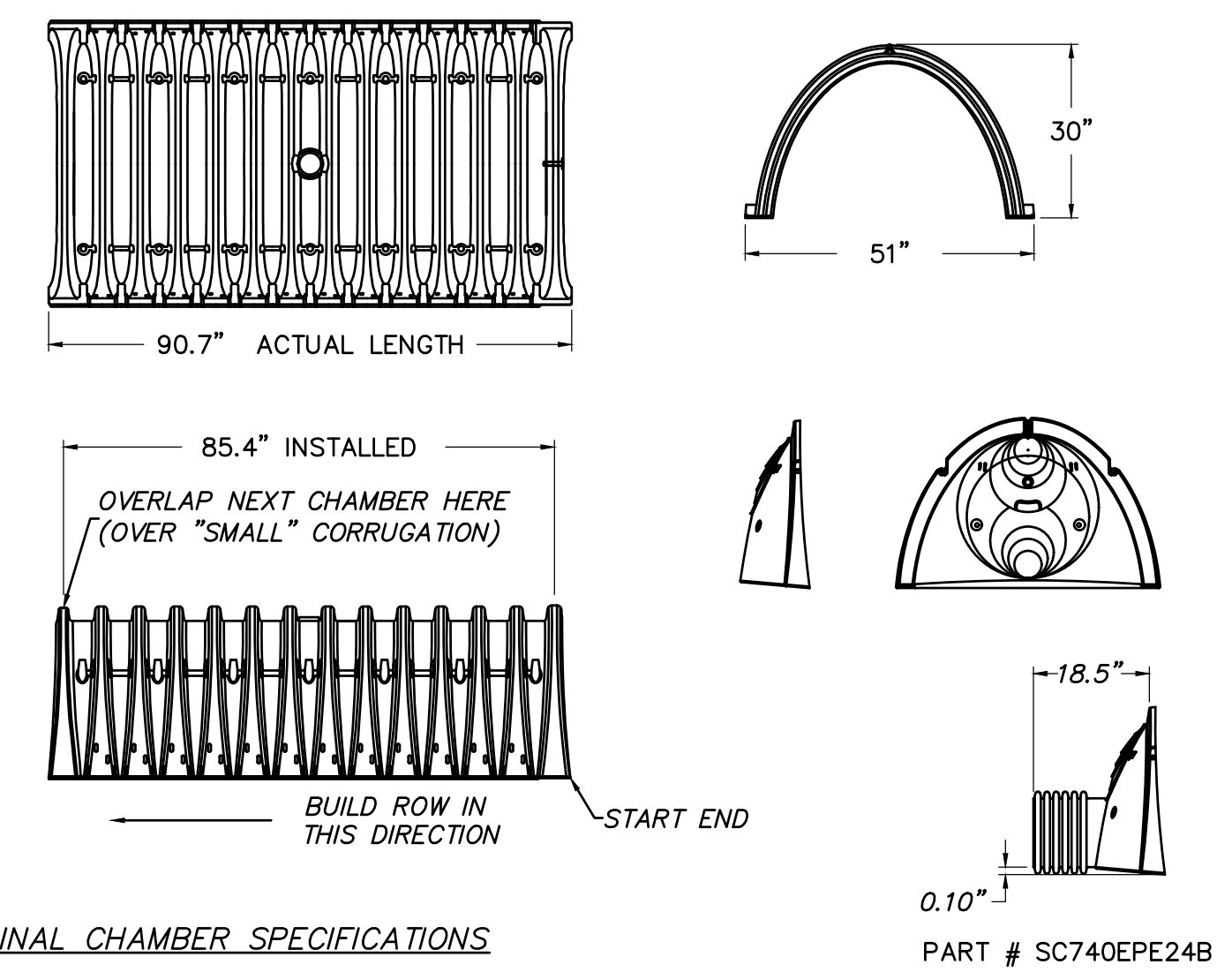
ACCESSIBLE PARKING SPACE LAYOUT

N.T.S.



PAVEMENT SECTION

N.T.S.



NOMINAL CHAMBER SPECIFICATIONS

- SIZE (W x H x INSTALLED LENGTH) - 51.0" x 30.0" x 85.4"
CHAMBER STORAGE - 45.9 CUBIC FEET (1.3 m³)
MINIMUM INSTALLED STORAGE - 74.9 CUBIC FEET (2.1 m³)
WEIGHT - 75 lbs. (33.6 kg)

No.	Date	Revisions:	Description

DETAILS PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT

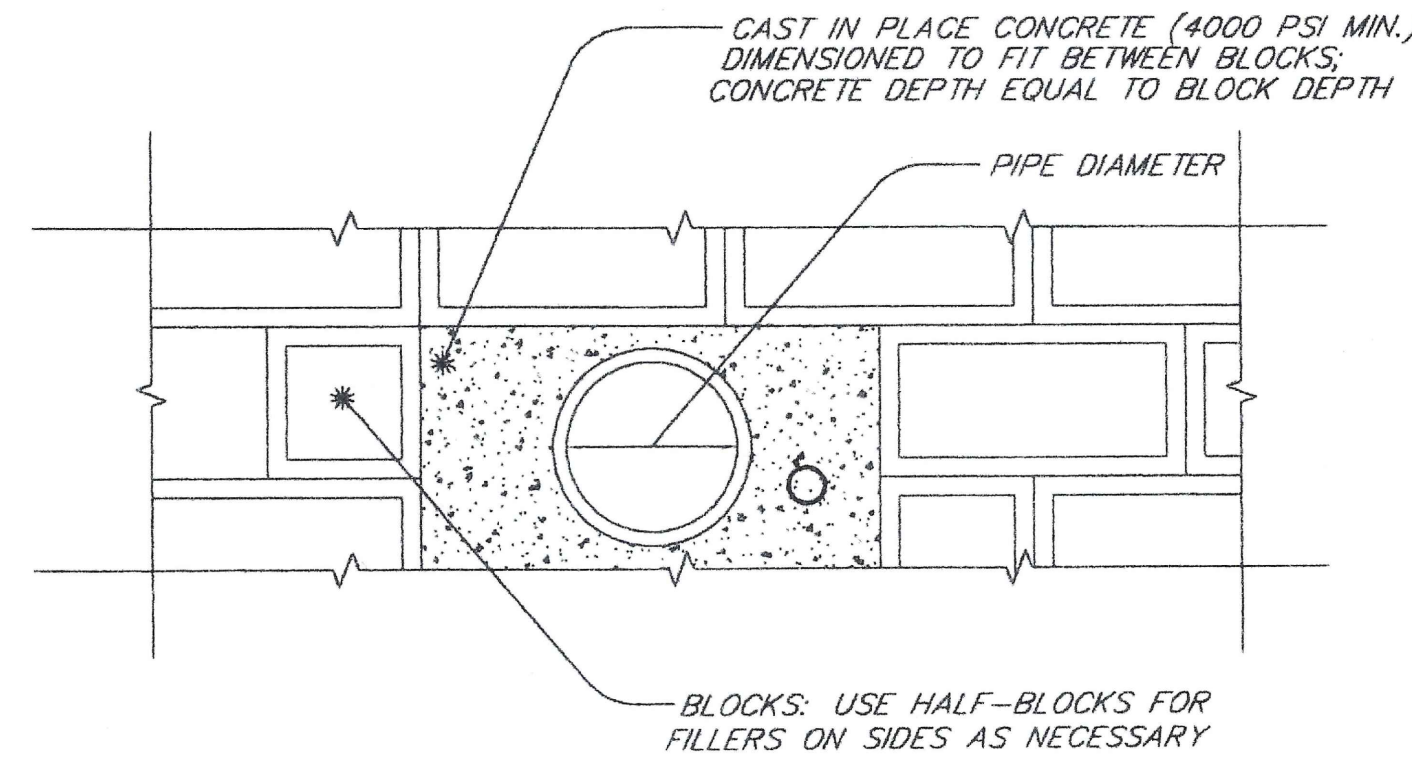
Date: 10-21-2022 Drawn by: ERN Job no: 22085
Checked by: DSZ Sheet no: 3 OF 5
Scale: N.T.S. South Drive\Summit\2022-10-21\CTSD SD-1 2022-10-21.dwg, SD-3, Oct. 25, 2022 = 7:58:21 AM

SD-3

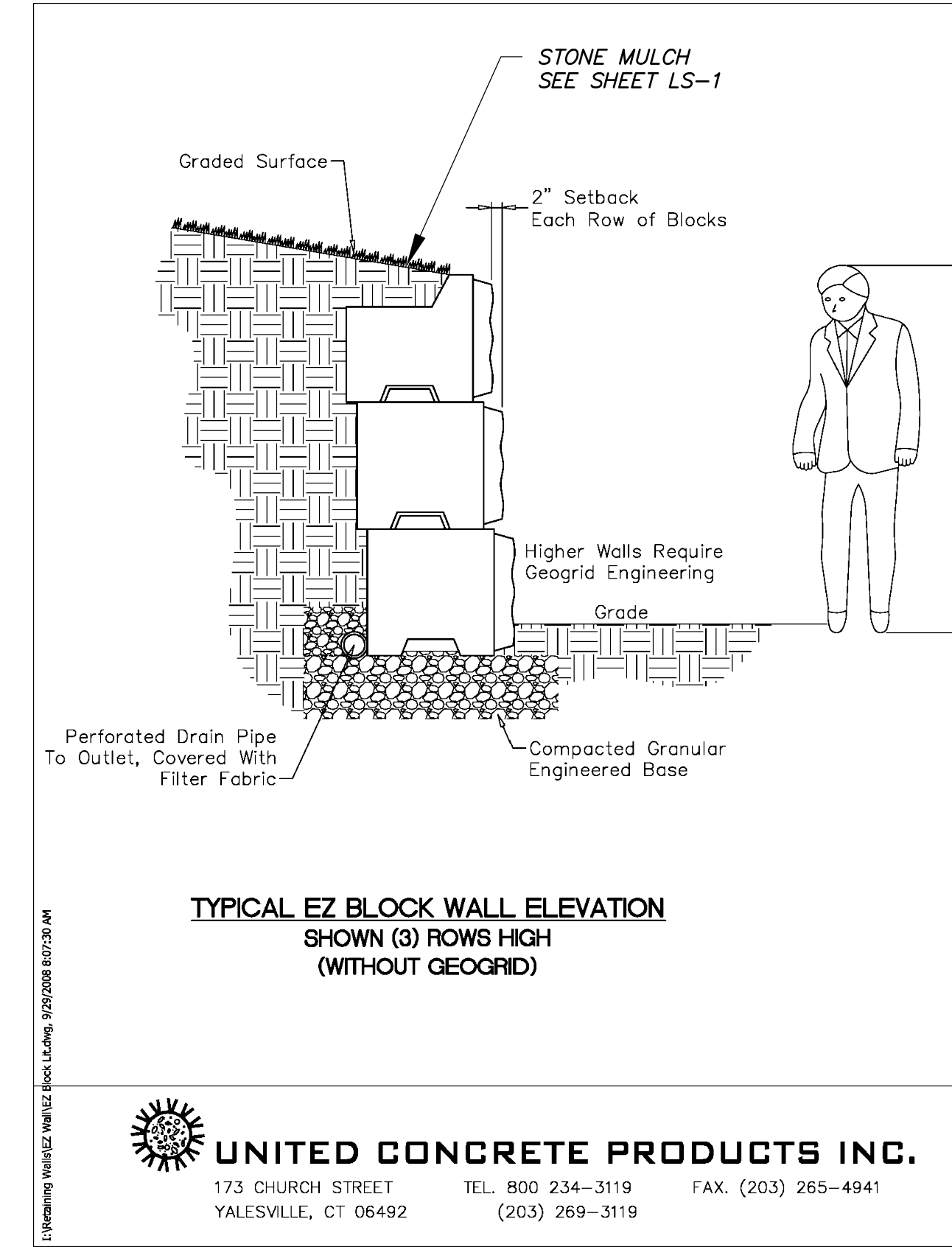
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NOTES:

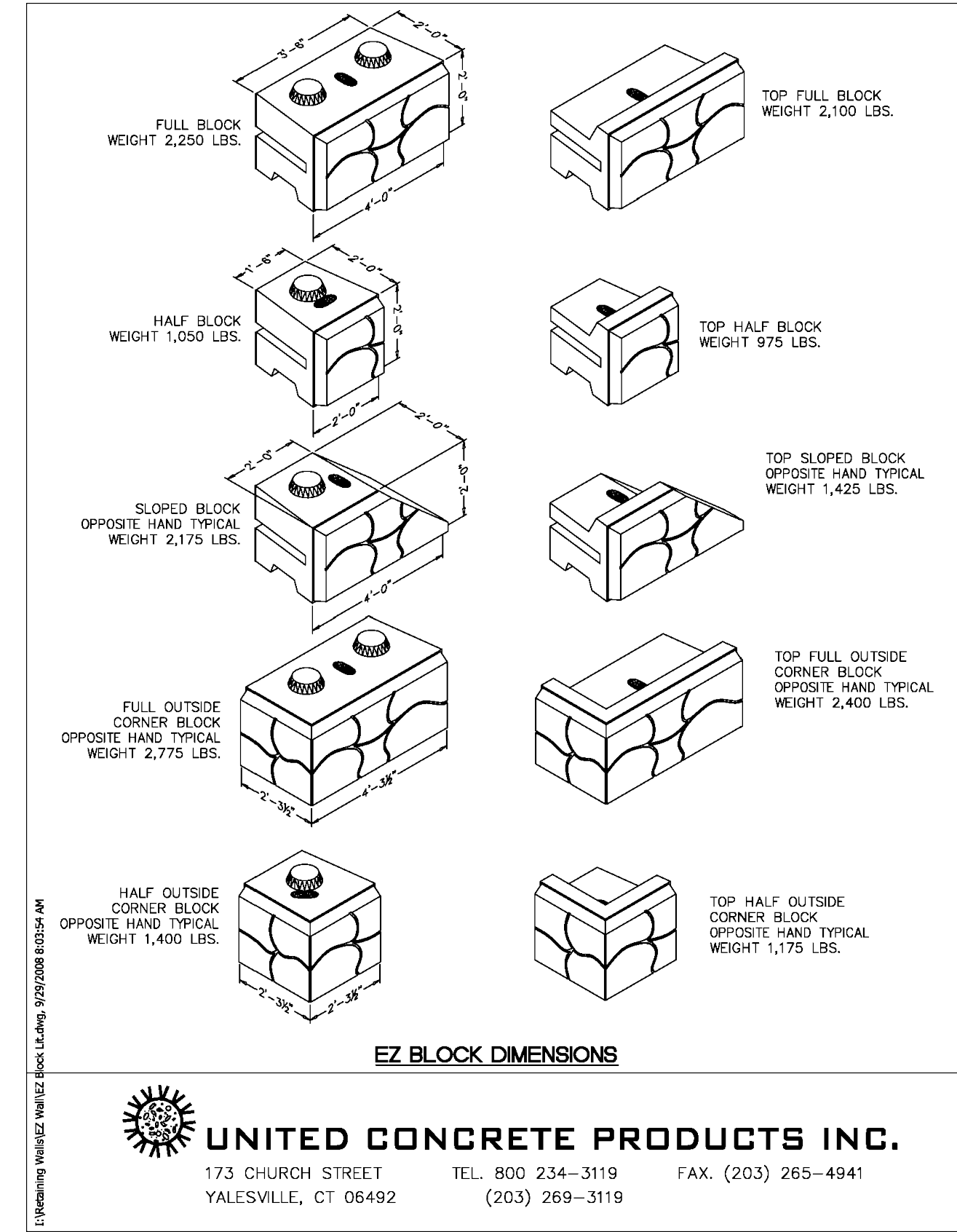
1. RETAINING WALL SHALL BE 'DESIGN BUILD' BY THE BLOCK SUPPLIER AND SIGNED AND SEALED BY A CONNECTICUT P.E.
2. GEOGRID WILL BE REQUIRED FOR ALL PORTIONS OF THE WALL HIGHER THAN THREE BLOCKS.
3. INSTALL 6' HIGH BLACK VINYL CHAIN LINK FENCE. SEE SHEET LA-1.



PIPE OUTLET THROUGH FACE OF WALL (TYPICAL DETAIL)



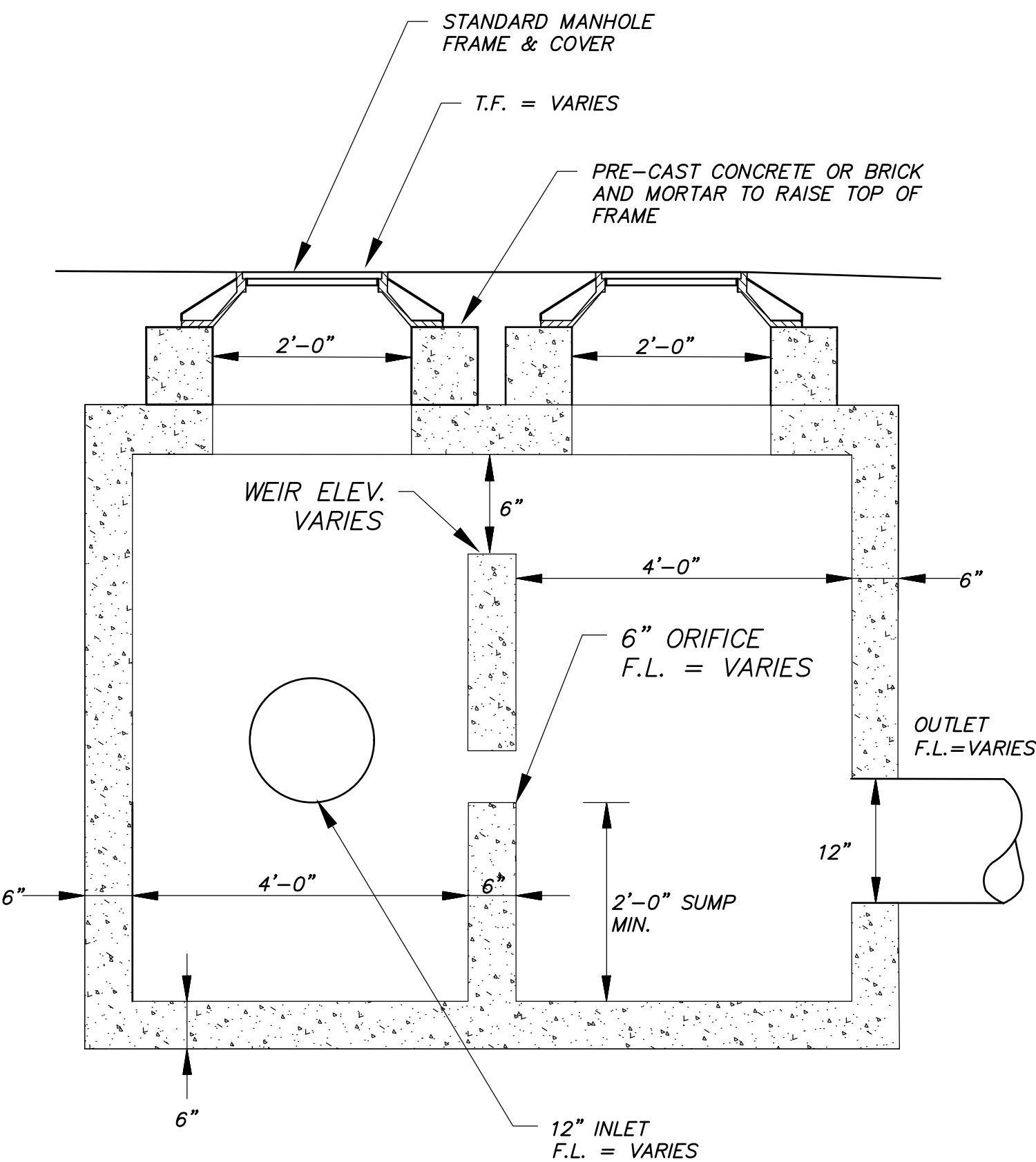
EZ BLOCK RETAINING WALL
N.T.S.



UNITED CONCRETE PRODUCTS INC.
173 CHURCH STREET TEL. 800 234-3119 FAX. (203) 265-4941
YALESVILLE, CT 06492 (203) 269-3119

NOTES:

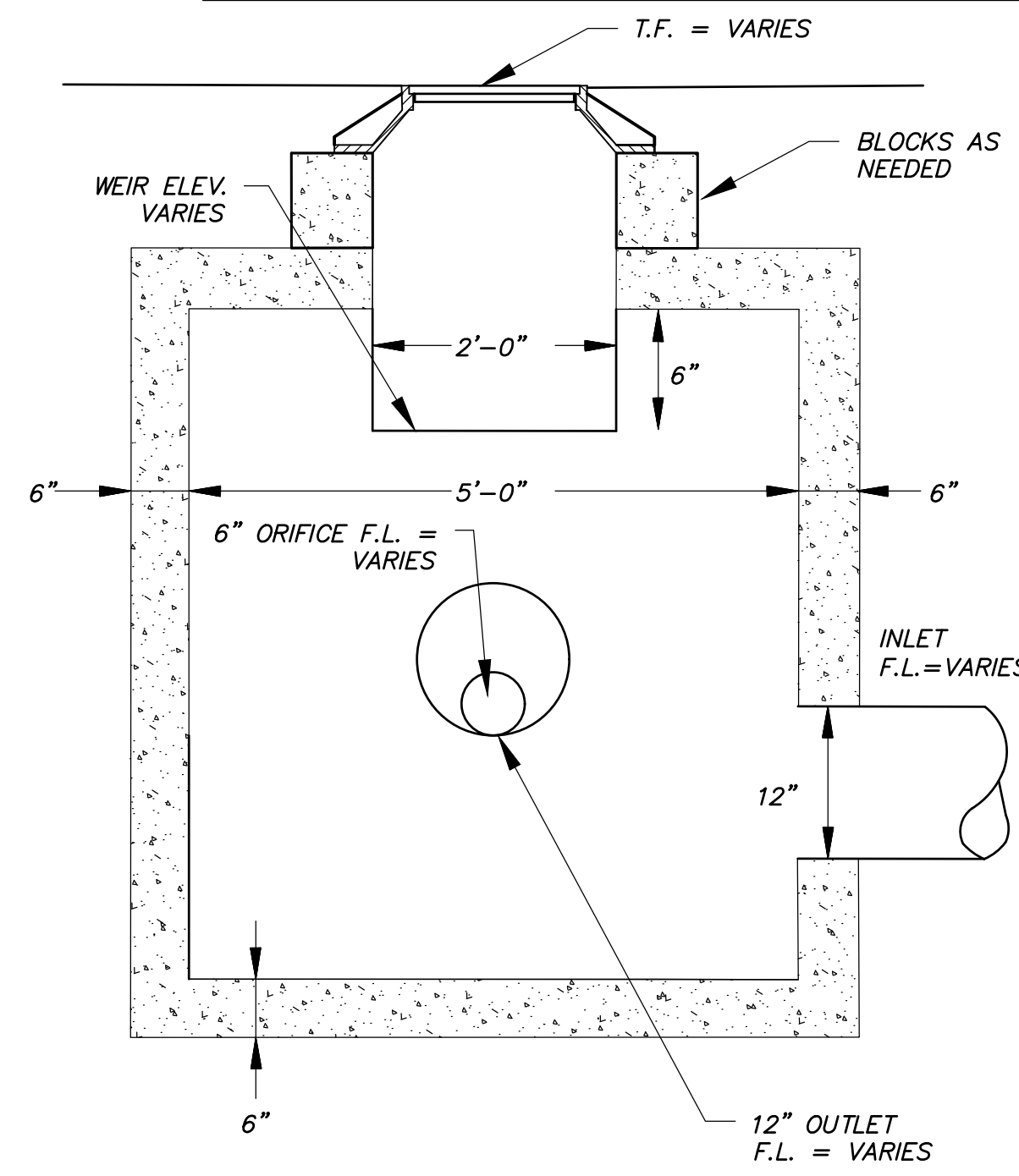
1. WALL THICKNESS ARE FOR ILLUSTRATIVE PURPOSES ONLY. STRUCTURES SHALL BE DESIGNED BY THE SUPPLIER TO CONFORM TO H-20 LOADING. SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO MANUFACTURE.



CONCRETE OUTLET STRUCTURES #1, #2, #3
N.T.S.

OUTLET STRUCTURE DIMENSIONS:

	STR. #1	STR. #2	STR. #3
T.F.	195.50 W	195.15 W	195.00 N
T.F.	195.55 E	195.20 E	195.05 S
12" F.L. IN	191.38	190.90	190.92
12" F.L. OUT	190.26	188.18	188.10
WEIR ELEV.	193.50	193.00	193.00
WEIR WIDTH.	2'	2'	2'
6" DIA. ORIFICE	191.20	191.00	191.00



EcoNight®3
Outdoor LED Full Cutoff Wall Pack



Key Features

- Full cutoff design for restrictive lighting zones to eliminate forward/upward light.
- Low wattage, highly efficient patented LED technology.
- Rugged yet decorative construction protects the internal components from the outdoor conditions.

Electrical

- 120-277VAC 0-10V dimming standard.
- System power factor >90% and THD <20%.
- Operating temperature: -40°C to 40°C (-40°F to 104°F).

Mounting

- Designed for wall mounting above four feet from the ground.
- Housing is configured for mounting directly over a standard 4" octagonal box (by others) or surface wiring via any of the convenient 1/2" threaded conduit entries.

Construction

- Robust die-cast aluminum housing protects integral components from harsh environments and optimizes thermal management.
- Housing is protected by a RoHS compliant, corrosion resistant powder coat finish.
- Standard architectural bronze finish.
- Clear tempered glass lens.

Optics

- Industry-leading LEDs with 3000K, 4000K, and 5000K CCT (minimum 70 CRI).
- Lumen Maintenance: 146,000 hours (L70).¹ (-40°F to 104°F).

Warranty

- Backed by US LED's industry-leading Ten-Year Warranty.

Ordering Information

Series	Variant	Input Voltage	CCT	Wattage	Finish
DSC01	3	UNVL 120-277V	30	3000K	75 750mA BZ
			40	4000K	96 960mA
			50	5000K	

1. US LED product L70 lifetime refers only to the LED light engine, not the power source, and is based on the Illuminating Engineering Society's TM21 Projected Lumen Maintenance methodology at a 25°C/77°F ambient temperature. The lifetimes are solely meant to be a guide for expected LED operation and not a warranty or prediction of their actual life, which can be affected by ambient temperature and other factors.
2. Custom colors available upon request. Additional lead time may apply.

Project	Date

Product Performance Summary
Lumen Output Up to 5,870 lumens
Efficacy Up to 154 LPW
CRI ≥ 70 CRI
Available CCT 3000K, 4000K & 5000K
Warranty Ten-Year Warranty

Product Overview

The EcoNight®3 LED full cutoff wall pack is an energy-efficient replacement for existing legacy lighting technology like metal halide. This highly efficient wall pack is Dark Sky compliant by reducing light pollution with its specialized optics. With traditional aesthetics and durability, the EcoNight®3 is perfect for new construction or retrofit projects that are designated with restrictive lighting zones by local ordinances.

Product Applications

- Perimeter Areas
- Building Exteriors
- Security Lighting
- Wall Washing
- Parking Lots
- Educational Facilities
- Business Campuses
- Industrial Facilities
- Mall/Retail Areas
- Recreational Areas

Product Certifications/Approvals

- ETL Listed for US & Canada
- Complies with UL 1598 and CSA C22.2
- DLC Premium Listed
- Suitable for Wet Locations
- RoHS Compliant



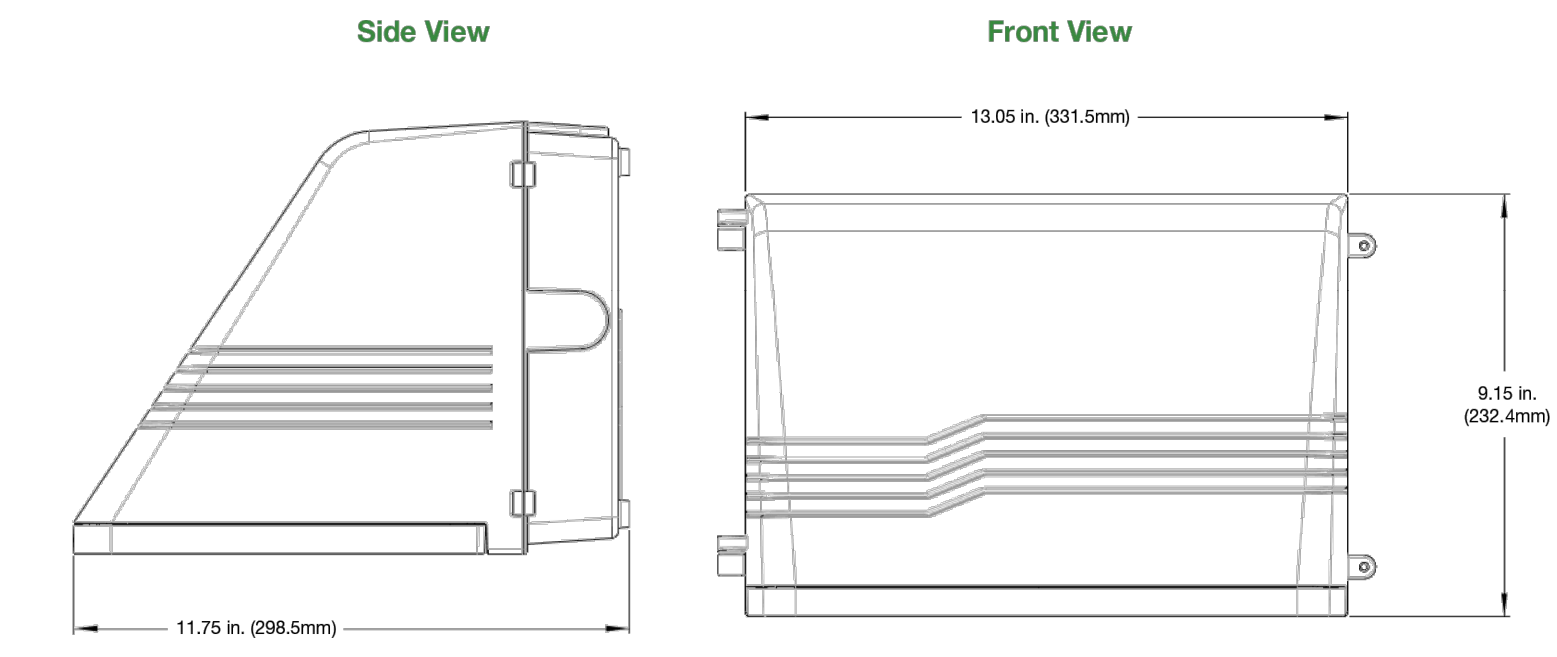
Example: DSC01-3-UNVL-50-96-BZ

EcoNight®3
Outdoor LED Full Cutoff Wall Pack



Dimensions

Net Weight
9.35 lbs. (4.24kg)



Performance Data

Luminaire Photometric Data

Model Number	DSC01-3-UNVL-50-96-BZ
Issue Date	07/12/2018
IESNA	LM-63-2002
Lamp	LED
Total Input Watts	40.0
Total Lumens	5,870
Efficacy	147 LPW
BUG Rating	B2-U0-G1

Model	CCT	System Level Power	Delivered Lumens	Efficacy	L70 Calculate Life	L85 Calculate Life
DSC01-3-UNVL-30-75-XX	3000K	29.9W	4,430	148 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-40-75-XX	4000K	30.1W	4,420	147 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-50-75-XX	5000K	29.9W	4,600	154 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-30-96-XX	3000K	40.0W	5,670	142 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-40-96-XX	4000K	40.0W	5,620	141 LPW	146,000 Hours	67,000 Hours
DSC01-3-UNVL-50-96-XX	5000K	40.0W	5,870	147 LPW	146,000 Hours	67,000 Hours

DSC01-3 08/01 Due to continued product improvements, product specifications are subject to change without notice. Please visit www.usled.com for the most updated product specifications.

WALL LUMINAIRE
N.T.S.

No.	Date	Description

DETAILS
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT

Date: 10-21-2022
Drawn by: ERN
Job no: 22085
Checked by: DSZ
Sheet no: 5 OF 5

SD-5

F.A.H.
F. A. Hesketh & Associates, Inc.
3 Creamery Brook, East Granby, CT 06026
Phone (860) 653-8000 Fax (860) 844-8600
www.fahsketh.com
Civil & Traffic Engineers - Surveyors - Planners - Landscape Architects

GENERAL NOTES:

- Survey information is taken from a plan entitled "Topographic Survey" Prepared for Harp Realty, LLC, 10 Connecticut South Drive East Granby, Connecticut, dated 02-16-2021, prepared by Dufour Surveying, LLC, 1"-30'.
- All work and materials to conform to Town of East Granby Public Works Department and Water Pollution Control Authority standard specifications, Connecticut D.O.T. Form 616, the MDC Standards and Specifications, custodial utility company standards and specifications, or the details shown on these plans, as applicable.
- All work on this project shall be completed in conformance with the requirements of the various federal, State, and local permits issued for this project.
- All work on this project shall be completed in conformance with the requirements of the various zoning and inland wetland permits issued for this project.
- A pre-construction meeting and authorization to proceed will be required prior to start of any construction, including removal of trees or stripping of land. Procedures for such pre-construction meeting and authorization to proceed shall be in accordance with Town and State requirements. The contractor is responsible for arranging this meeting with Town and State officials, as applicable.
- Prior to any excavation the contractor shall verify all underground utilities by calling 1-800-922-4455 at least 48 hours in advance.
- The location of all utilities shown is approximate and is based on available as-built information from utility company records, the property owner, and limited survey data. All existing utilities may not be shown. The contractor is responsible for determining the exact location of all utilities on the site prior to the start of any construction activity and notifying the design site engineer of any adjustments to the plans which are necessary. Test pits will be required at all proposed utility crossings and connection locations in order to determine underground utility locations and to identify potential conflicts with vertical and horizontal alignments shown on the plans. Test pits shall be completed by the contractor at his expense.
- All utilities to be installed in accordance with governing/custodial utility company applicable requirements. Final location of utility connections is subject to revision by individual utility companies prior to the installation. The contractor is responsible for coordinating the work with the custodial utility companies.
- Erosion and sedimentation control measures shall be installed and maintained in accordance with the plans, specifications, the Soil Erosion and Sedimentation Control Plan and notes, and in accordance with any Town and State requirements.
- Trees shall be flagged and approved, prior to removal.
- No stumps, logs, brush, construction debris, or deleterious materials are to be buried on site.
- The contractor shall maintain the site in a neat and orderly manner throughout the construction period. All debris shall be removed from the site by the contractor, and properly disposed, off site, in accordance with applicable laws.
- Utility service shall be maintained at all times.
- Drainage shall be maintained throughout the project so as not to cause flooding of roadways or damage to private property.
- All new site utilities are to be installed underground.
- Trees and vegetation identified to be saved shall be protected from construction equipment by suitable means approved by Town staff.
- All exterior lighting shall not be directed onto abutting properties or roadways.
- Removal of trees or other vegetation, or re-grading substantially different from that shown on the approved site plan, will not be permitted without prior authorization by the Town or State, as applicable.
- All construction vehicles, equipment and materials are to enter the site via the construction entrance/exit directly to Connecticut South Drive.
- All approvals, as required by the State of Connecticut DOT and/or OSTA, shall be part of the conditions of approval.
- Any additional revisions to the plans shall be submitted to the Town Engineer and the Director of Community Development for review and approval prior to the issuance of a building permit.

EROSION CONTROL DEVICES:

Refer to the "Connecticut Guidelines For Soil Erosion And Sediment Control - 2002" (see Erosion and Sediment Control Note 3) when constructing erosion control devices shown on this plan.

HBEK - HAYBALE EROSION CHECKS shall be staked a minimum of five (5) feet from the base of disturbed slopes exceeding eight (8) feet in height, or at locations shown on the plans. Place haybales before starting a fill slope and after digging a cut slope. Heel haybales 4" into the soil. Stake haybales around the perimeter of all catch basins. Remove all sediment when deposits reach 1/2 bale height. Haybales must be replaced periodically.

SPEC - SEDIMENT FENCE EROSION CHECK: a synthetic textile barrier designed to filter sediment from surface water runoff. Placement shall be similar to HBEK and installation requires anchoring the fence bottom to prevent bypass. All sediment shall be removed if deposits reach one (1) foot in depth. Additional support (such as snow fence or wire fence) on the downhill face may be required to strengthen sediment fence in high flow locations.

CE - CONSTRUCTION EXIT: a broken stone pad providing a hard surface points where vehicles will leave the site. The construction exits reduce tracking of sediment into adjacent pavement. Excess sediment should be periodically removed from the stone surface.

GRSW - GRASSED SWALE: a shaped shallow earth drainage way used to convey excess surface runoff. Grass vegetation should be well established before use. Stabilization with netting or mulch may be required.

IP - INLET PROTECTION: a sediment control device used during construction that mounts under the grate of a catch basin, residing inside the structure. It is made of permeable geotextile that allows water to pass, but traps silt and sediment. (Silt Sack or approved equal.) The silt sack must be removed when silt/sediment reaches one half the height of the device. Remove sediments and deposit on stable area of site and rinse device for reuse. Replace when damaged.

SL - SEDIMENT LOGS: A sediment control device consisting of an outside, open weave containment fabric filled with fibers. It is designed to provide a flexible, lightweight, porous, sediment control device with the ability to conform to the terrain upon which it is installed. It is designed to dissipate velocity of flow and filter and trap sediments upgradient and within the device.

RRPP - RIP RAP PLUNGE POOL: A riprap lined apron installed at a zero percent grade to absorb the initial impact of stormwater discharge from the storm drainage system and further reduce flow velocities to prevent erosion downstream. RRPP is designed per the "Connecticut Department of Transportation, Drainage Manual - 2000"

ECB - EROSION CONTROL BLANKET: A manufactured blanket composed of biodegradable/photodegradable natural or polymer fibers and/or filaments that have been mechanically, structurally or chemically bound together to form a continuous matrix.

PROJECT DESCRIPTION:

The project consists of constructing a new self storage facility in accordance with the Commerce Park A zoning regulations. The proposed facility consists of 9 one-story buildings totaling 34,000 square feet. The entire site will be fenced in aside from the main office location. All interior drive entrances will be fenced in. The development will be serviced by underground utilities, including gas, electric, telephone and CATV, water, sanitary sewers, and storm sewer systems. All site utilities will be underground.

Surface drainage will be collected in conventional storm sewer systems comprised of catch basins and manholes. Storm drainage systems and roof leaders will discharge to a series of underground infiltrators with overflow to the bottom of the retaining wall along the west side of the site, adjacent to the wetlands and will promote infiltration and mitigate peak rates of runoff attributed to impervious areas.

EROSION AND SEDIMENT CONTROL NOTES

- Disturbance of soil surfaces is regulated by State Law. All work shall comply with an approved "Soil Erosion and Sediment Control Plan" to prevent or minimize soil erosion.
- The installation and maintenance of erosion control devices is the responsibility of the land owner, developer, and the excavation contractor. Town officials shall be notified in writing of the name, address and telephone number of the individual responsible for this work (including any changes) at the required pre-construction conference.
- The contractor shall use the "Connecticut Guidelines For Soil Erosion And Sediment Control" (2002), as amended as a guide in construction the erosion and sediment controls indicated of the plans. The guidelines may be obtained from the Connecticut DEEP, 79 Elm Street, Hartford, CT, 06106-5127.
- The project will require registration for a General Permit for the Discharge of Stormwater and Dewatering Wastewaters from Construction Activities. The Contractor shall follow the requirements of the General Permit and those of a site-specific Stormwater Pollution Prevention Plan that will be generated prior to registration.
- The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
- The contractor shall schedule operations to limit disturbance to the smallest practical area for the shortest possible time. Overall site disturbance shall be confined to those limits delineated on the plans.
- The contractor is responsible for the timely installation, inspection, repair or replacement of erosion control devices to insure proper operation.
- The contractor shall notify the design engineer of unsatisfactory erosion conditions not controlled by the Soil Erosion and Sediment Control Plan and shall install additional measures as required.
- All disturbed areas not covered by buildings, pavement, mulch or ground cover plantings shall be planted with grass.
- Accumulated sediment removed from erosion control devices is to be spread and stabilized in level, erosion resistant locations as general fill.
- Special attention shall be given to the construction sequence outlined on Grading and Erosion Control Plan.
- The developer shall be responsible for cleaning any construction debris or sediment from existing roads as ordered by the Town and/or State, if any debris or sediment from construction activities enter onto these roadways.
- Limit work within wetland areas to the least disturbance necessary for construction. Restore disturbed areas as closely as possible to their original natural state.
- Additional dust control measures as specified in D.O.T. 818 Section 9.39, Section 9.42 and Section 9.43 shall be furnished by the contractor as site conditions warrant or as directed by Town or State officials.
- The contractor is responsible for cleaning and removal of sediment and/or debris from the storm drainage system throughout the duration of the project (i.e. silt sacks, sumps, etc.)
- A pre-construction meeting is recommended with the Town of East Granby Staff and/or Consultant(s) prior to the start of construction to inspect E & S control measures and to discuss construction sequencing/phasing.
- The Owner/Developer shall add erosion and sedimentation control measures as deemed necessary by the Town of East Granby staff and/or Consultant(s) throughout the construction process.
- An as-built site improvement and grading plan, prepared by a State of CT Registered Land Surveyor, shall be submitted after all of the site work is completed, and approved by Town of East Granby Staff prior to requesting a Certificate of Occupancy.

CONSTRUCTION SEQUENCE/PHASING:

In general, the overall project will follow the sequence below:

- Contact "call before you dig" at 1-800-922-4455 at least 48 hours prior to the start of construction to have existing utilities marked.
- Attend a pre-construction meeting with the Owner, Project Engineer, Town of East Granby staff and CT DOT representatives.
- Place sediment fence and sediment logs as shown on the Grading and Soil Erosion & Sediment Control Plan to establish perimeter controls, prior to the start of any excavation.
- Install construction entrance/exits to Connecticut South Drive.
- Stake clearing limits and complete site clearing. Coordinate activities with the Owner and Town's Wetlands Officer.
- Strip topsoil in area for construction of retaining wall. Stockpile and stabilize topsoil pile with perimeter silt fencing.
- Construct retaining wall. Install wall protrusion areas for infiltrator piping. Backfill area adjacent to wall.
- Strip topsoil in balance of site except in an area where natural vegetation is to remain. Stockpile and stabilize topsoil stockpiles with perimeter silt fencing and temporary seeding. Remove excess topsoil from site.
- Rough grade/fill balance of site. Finish grade all cut and fill slopes, topsoil, seed and install erosion control fabric.
- Install new on-site storm drainage systems. Install inlet protection in drainage inlet structures.
- Construct building foundations and start building construction.
- Install other underground utilities piping.
- Construct gravel subbase and processed aggregate base course for drives and parking areas.
- Install fencing.
- Install pavement binder course.
- Install curbing.
- Place topsoil and establish lawns and install landscaping for balance of project.
- Install pavement wearing course and apply pavement markings and install signs.
- Remove erosion controls after disturbed areas are landscaped and mulched or new lawn areas are stabilized. Complete final cleaning of storm sewer system.
- The approximate date for start of construction is spring 2023 and the estimated completion date is fall of 2023.

SCHEDULE AND DESCRIPTION OF RESPONSIBILITY FOR MAINTENANCE OF THE ON-SITE STORM WATER SYSTEM:

- Maintenance of the on-site storm water system is the responsibility of the property owner. This includes all catch basins, manholes, system piping, roof leaders and infiltrator chamber systems.
- In general, good housekeeping practices shall be incorporated into the routine site and facility maintenance plan to minimize deposition of sediment, litter and contaminants into the storm drainage system.
- Maintenance records documenting system inspection and cleaning operations shall be maintained by the property owner and shall be made available for inspection by the Town as requested.

The following schedule of maintenance shall be followed:

Annually (in late spring):

- Visually inspect all drainage structures. Structures consist of catch basins, manholes, infiltrator chamber systems, outlet structures, rip rap end sections, and endwalls. Note any deficiencies and make repairs.
- Clean the catch basins, infiltrator chamber systems, outlet structures, manholes and piping of any accumulation of sediment and/or debris.
 - All cleaning and removal of sediment and debris to be performed by a licensed contractor.
 - Cleaning to be done with a vacuum truck so that direct access into the drainage structures is not required.
 - All material removed shall be disposed according to the requirements of the State of Connecticut and local regulations. If any repair work is required for the stormwater management system, the work involved shall be conducted according to Federal, State and Local Regulations.
- Inspect final outlets for:
 - Deposition of sediments in rip rap plunge pools.
 - Erosion at outlets structures.
 - Condition of flared end sections, endwalls, and pipe penetrations through retaining walls.

Repair/correct condition, as warranted

Semi-annually: (late spring, after winter sanding operations and mid fall, after leaf litter):

- Sweep or vacuum all paved drives and parking areas to remove accumulated sediments and leaf litter. Dispose of materials at licensed facility.

Monthly:

- Remove litter and other debris from the site.

As needed:

- Maintain lawn areas by cutting with mulching blades or collecting trimmings and disposing off site.
- DO NOT dispose of lawn cuttings or landscape trimming on site. Dispose off site.
- Stabilize or repair any landscaped areas on the site.
- Clean up any spills or material deposits immediately as required according to the requirements of the State of Connecticut and local regulations.

SPECIAL INLAND WETLANDS PROVISIONS:

- Coordinate all work within 100-foot wetlands-regulated area with Town's Wetlands Officer prior to start of work
- Coordinate removal of any trees with Town's Wetlands Officer.
- Install all erosion control devices adjacent to wetlands prior to any earth disturbance.
- Rough grade areas within wetlands-regulated areas and construct retaining walls. Immediately stabilize all areas to not receive further work by topsoiling, seeding and mulching. Use erosion control blankets on all unstable, disturbed slopes 3:1 and steeper.
- Do NOT stockpile any construction materials, fuels, paints, topsoil, or other earthen materials within 100-foot regulated areas.

SPECIAL PERMIT APPROVAL

I hereby certify that at a meeting on _____, the East Granby Planning & Zoning Commission approved a special permit in accordance with Section _____ of the East Granby Zoning Regulations.

Chairman _____ Date signed _____

In accordance with Section X.A.1.f. of the zoning regulations, this special permit shall expire on _____ (12 months of the date of approval) unless the authorized Special Permit activity has begun or unless an extension of time has been granted by the Commission.

In accordance with CGS 8-3d, any Special Permit shall be recorded in the Land Records.

PERMIT - WETLANDS REGULATED ACTIVITY

I hereby certify that at a meeting on _____, the East Granby Conservation Commission gave final approval to this plan to conduct a regulated wetlands activity in accordance with the East Granby Inland Wetlands and Water Courses Regulations.

Chairman _____ Date Signed _____

In accordance with Section 11.5.1 of the Regulations, this permit shall expire unless the activity has been initiated by _____ (1 year from date of approval).

In accordance with Section 11.4.2 all work in connection with this permit shall be completed by _____ (five years of the date of approval). In accordance with Section 11.4.2 the time period within which the regulated activity shall be conducted is limited to _____.

Received for filing on _____ by _____
Town Clerk

No.	Date	Description

NOTES
PREPARED FOR
SWEAT EQUITY, LLC
10 CONNECTICUT SOUTH DRIVE
EAST GRANBY, CONNECTICUT
Job no: 22085
Drawn by: ERN
Checked by: DSZ
Date: 10-21-2022
Scale: NTS
Sheet no: 7 OF 7

NT-1

FAH
F. A. Hesketh & Associates, Inc.
6 Creamery Brook, East Granby, CT 06026
Civil & Traffic Engineers • Surveyors • Planners • Landscape Architects

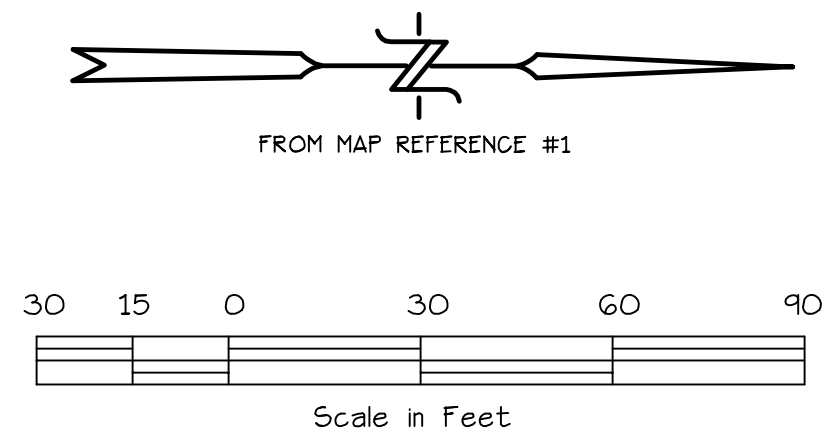
Phone (860) 653-8000
Fax (860) 644-8000
e-mail: fah@fahsketh.com

CURVE DATA

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	610.00'	299.93'	296.92'	N 38°56'40" W	28°10'13"
C2	610.00'	60.78'	60.75'	N 08°55'57" W	5°42'31"
C3	610.00'	194.75'	193.93'	S 03°24'06" W	18°11'34"
C4	610.00'	260.01'	258.04'	S 85°14'28" E	14°25'18"

LOT 20
N/F KINSLEY, LLC
VOL 127 PG 197

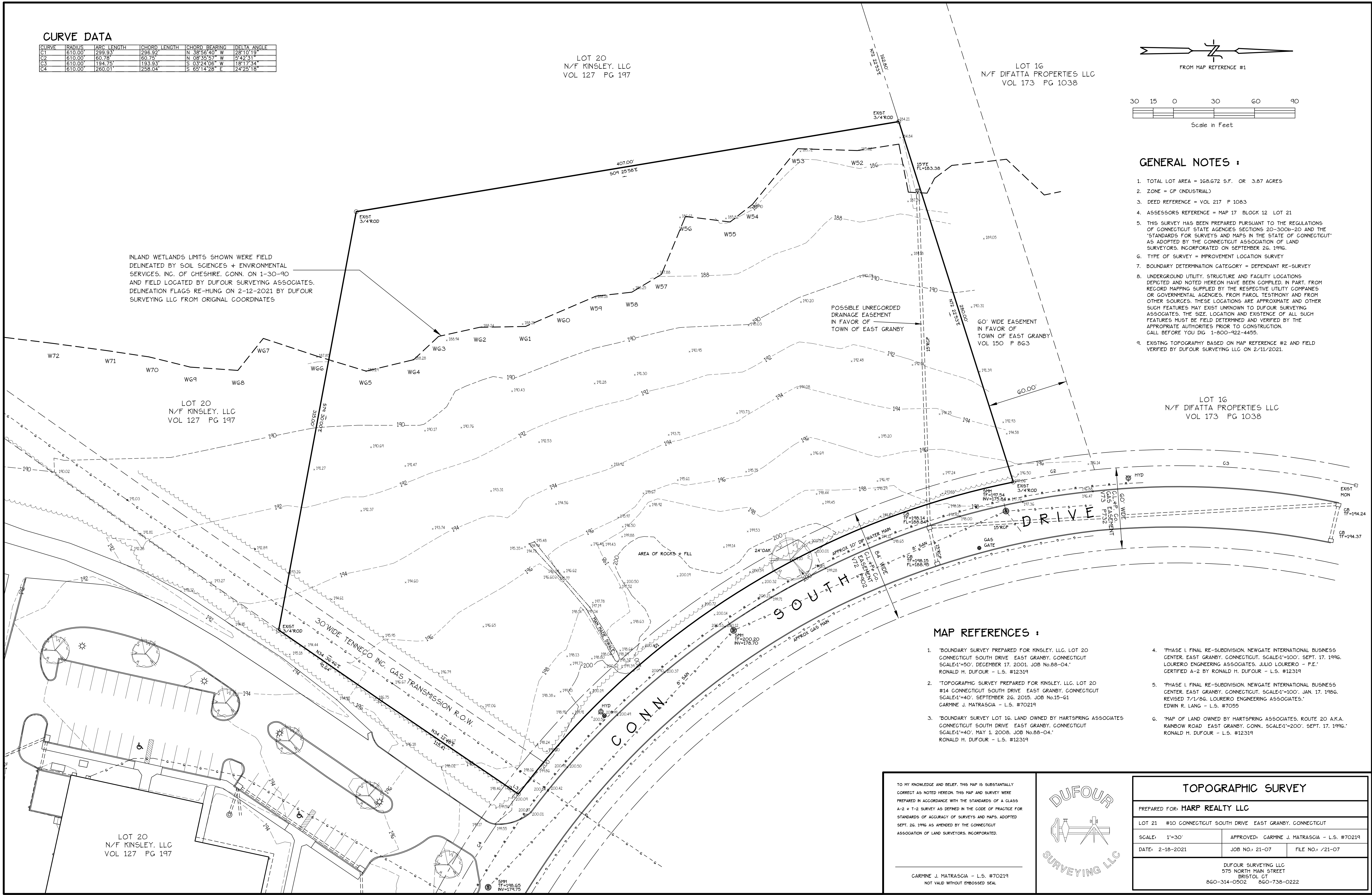
LOT 16
N/F DIFATTA PROPERTIES LLC
VOL 173 PG 1038



INLAND WETLANDS LIMITS SHOWN WERE FIELD DELINEATED BY SOIL SCIENCES + ENVIRONMENTAL SERVICES, INC. OF CHESHIRE, CONN. ON 1-30-90 AND FIELD LOCATED BY DUFOUR SURVEYING ASSOCIATES. DELINEATION FLAGS RE-HUNG ON 2-12-2021 BY DUFOUR SURVEYING LLC FROM ORIGINAL COORDINATES

GENERAL NOTES :

- TOTAL LOT AREA = 168,672 S.F. OR 3.87 ACRES
- ZONE = CP (INDUSTRIAL)
- DEED REFERENCE = VOL 217 P 1083
- ASSESSORS REFERENCE = MAP 17 BLOCK 12 LOT 21
- THIS SURVEY HAS BEEN PREPARED PURSUANT TO THE REGULATIONS OF CONNECTICUT STATE AGENCIES SECTIONS 20-300b-20 AND THE "STANDARDS FOR SURVEYS AND MAPS IN THE STATE OF CONNECTICUT" AS ADOPTED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED ON SEPTEMBER 26, 1996.
- TYPE OF SURVEY = IMPROVEMENT LOCATION SURVEY
- BOUNDARY DETERMINATION CATEGORY = DEPENDANT RE-SURVEY
- UNDERGROUND UTILITY, STRUCTURE AND FACILITY LOCATIONS DEPICTED AND NOTED HEREON HAVE BEEN COMPILED, IN PART, FROM RECORD MAPPING SUPPLIED BY THE RESPECTIVE UTILITY COMPANIES OR GOVERNMENTAL AGENCIES, FROM PAROL TESTIMONY AND FROM OTHER SOURCES. THESE LOCATIONS ARE APPROXIMATE AND OTHER SUCH FEATURES MAY EXIST UNKNOWN TO DUFOUR SURVEYING ASSOCIATES. THE SIZE, LOCATION AND EXISTENCE OF ALL SUCH FEATURES MUST BE FIELD DETERMINED AND VERIFIED BY THE APPROPRIATE AUTHORITIES PRIOR TO CONSTRUCTION. CALL BEFORE YOU DIG 1-800-922-4455.
- EXISTING TOPOGRAPHY BASED ON MAP REFERENCE #2 AND FIELD VERIFIED BY DUFOUR SURVEYING LLC ON 2/11/2021.

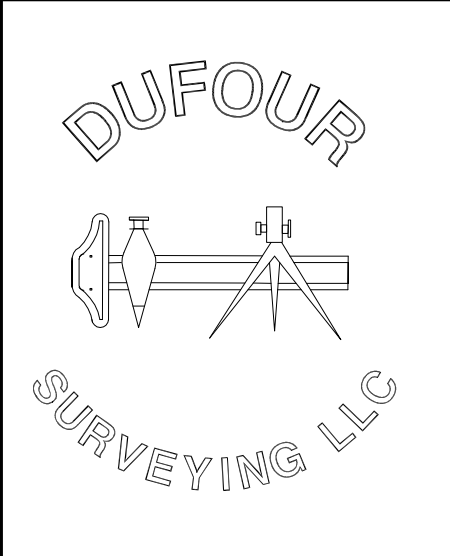


MAP REFERENCES :

- "BOUNDARY SURVEY PREPARED FOR KINSLEY, LLC, LOT 20 CONNECTICUT SOUTH DRIVE EAST GRANBY, CONNECTICUT SCALE:1"=50', DECEMBER 17, 2001. JOB No.88-04." RONALD H. DUFOUR - L.S. #12319
- "TOPOGRAPHIC SURVEY PREPARED FOR KINSLEY, LLC, LOT 20 #14 CONNECTICUT SOUTH DRIVE EAST GRANBY, CONNECTICUT SCALE:1"=40', SEPTEMBER 26, 2015. JOB No.15-61 CARMINE J. MATRASIA - L.S. #70219
- "BOUNDARY SURVEY LOT 16, LAND OWNED BY HARTSPRING ASSOCIATES CONNECTICUT SOUTH DRIVE EAST GRANBY, CONNECTICUT SCALE:1"=40', MAY 1, 2008. JOB No.88-04." RONALD H. DUFOUR - L.S. #12319
- "PHASE I FINAL RE-SUBDIVISION, NEWGATE INTERNATIONAL BUSINESS CENTER, EAST GRANBY, CONNECTICUT, SCALE:1"=100', SEPT. 17, 1996. LOUREIRO ENGINEERING ASSOCIATES, JULIO LOUREIRO - P.E. CERTIFIED A-2 BY RONALD H. DUFOUR - L.S. #12319
- "PHASE I FINAL RE-SUBDIVISION, NEWGATE INTERNATIONAL BUSINESS CENTER, EAST GRANBY, CONNECTICUT, SCALE:1"=100', JAN. 17, 1986. REVISED 7/1/86. LOUREIRO ENGINEERING ASSOCIATES, EDWIN R. LANG - L.S. #7055
- "MAP OF LAND OWNED BY HARTSPRING ASSOCIATES, ROUTE 20 A.K.A. RAINBOW ROAD EAST GRANBY, CONN. SCALE:1"=200', SEPT. 17, 1996." RONALD H. DUFOUR - L.S. #12319

TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON. THIS MAP AND SURVEY WERE PREPARED IN ACCORDANCE WITH THE STANDARDS OF A CLASS A-2 + T-2 SURVEY AS DEFINED IN THE CODE OF PRACTICE FOR STANDARDS OF ACCURACY OF SURVEYS AND MAPS, ADOPTED SEPT. 26, 1996 AS AMENDED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INCORPORATED.

CARMINE J. MATRASIA - L.S. #70219
NOT VALID WITHOUT EMBOSSED SEAL



TOPOGRAPHIC SURVEY		
PREPARED FOR: HARP REALTY LLC		
LOT 21 #10 CONNECTICUT SOUTH DRIVE EAST GRANBY, CONNECTICUT		
SCALE: 1"=30'	APPROVED: CARMINE J. MATRASIA - L.S. #70219	
DATE: 2-18-2021	JOB NO.: 21-07	FILE NO.: /21-07
DUFOUR SURVEYING LLC 575 NORTH MAIN STREET BRISTOL, CT 860-314-0502 860-738-0222		

LOT 20
N/F KINSLEY, LLC
VOL 127 PG 197